

Central Mindanao High Standard Highway Construction Project
(Cagayan de Oro Malaybalay Section)

Preliminary Right-of-Way Action Plan
(Main Text)

June 2024



Department of Public Works and Highways

Table of Contents

LIST OF TABLES	III
LIST OF FIGURES	V
LIST OF ABBREVIATIONS	VI
DEFINITION OF TERMS	VII
EXECUTIVE SUMMARY	1
1 INTRODUCTION	4
1.1 RATIONALE	4
1.2 OBJECTIVES	4
1.3 METHODOLOGY	5
1.4 PROJECT DESCRIPTION	6
1.5 PROJECT DESIGN	6
1.6 RIGHT-OF-WAY LIMITS.....	10
1.7 PROJECT TARGETS	12
2 NECESSITY OF LAND ACQUISITION, OBJECTIVES OF RAP, AND PREVENTIVE/MITIGATING MEASURES	14
2.1 SCALE OF LAND ACQUISITION AND RESETTLEMENT.....	14
2.2 OBJECTIVES OF THE STUDY	14
2.3 PREVENTIVE/MITIGATING MEASURES	14
3 LEGAL FRAMEWORK	16
3.1 LEGAL FRAMEWORK POLICY ON ELIGIBILITY FOR COMPENSATION AND ENTITLEMENT.....	16
3.2 OBJECTIVES AND PRINCIPLES OF THE INVOLUNTARY RESETTLEMENT POLICY	21
3.3 JICA POLICIES	21
3.4 GAP ANALYSIS AND PROJECT PRINCIPLES	22
4 SCOPE OF LAND ACQUISITION AND RESETTLEMENT	32
4.1 SUMMARY OF PROJECT IMPACTS	32
4.2 PROJECT-AFFECTED HOUSEHOLDS (PAHs).....	34
4.3 ASSET INVENTORY	35
5 CENSUS, ASSET INVENTORY AND SOCIOECONOMIC STUDY.....	44
5.1 SOCIOECONOMIC PROFILE.....	44
6 INDIGENOUS PEOPLES	60
6.1 BRIEF BACKGROUND	60
6.2 IP PROJECT AFFECTED FAMILIES	60
6.3 INFORMATION ON EMPLOYMENT.....	64
7 COMPENSATION POLICY.....	70
7.1 PROJECT AFFECTED PERSONS AND ELIGIBILITIES	70
7.2 COMPENSATION AND ENTITLEMENT MATRIX	72
8 LIVELIHOOD RESTORATION PROGRAM.....	88
8.1 LIVELIHOOD RESTORATION OF BUSINESS ENTITIES.....	90
8.2 LIVELIHOOD RESTORATION OF DISPLACED PERSONS AND VULNERABLE GROUPS	90
9 GRIEVANCE PROCEDURE	94
9.1 OBJECTIVES AND ADVANTAGES OF DEVELOPING A GRIEVANCE REDRESS MECHANISM	94
9.2 COMPOSITION OF THE RAP IMPLEMENTATION COMMITTEE	94
9.3 COMPOSITION OF DPWH-UPMO ROW TASK FORCE.....	95
9.4 PROCEDURES OF GRIEVANCE REDRESS.....	96
9.5 FORMATION OF MUNICIPAL/CITY RAP IMPLEMENTATION COMMITTEE	97
10 INSTITUTIONAL FRAMEWORK	98
10.1 CURRENT DPWH CAPACITIES ON SOCIAL SAFEGUARDS	98
10.2 NATIONAL LEVEL	98
10.3 SITE LEVEL	99
11 POSSIBLE RESETTLEMENT SITE	101

12	IMPLEMENTATION SCHEDULE	103
12.1	OVERALL ROW ACQUISITION WORKFLOW.....	103
12.2	NEXT STEPS.....	106
13	BUDGET	107
13.1	PRELIMINARY ROW COST ESTIMATES FOR LAND.....	109
13.2	PRELIMINARY ROW COST ESTIMATES FOR STRUCTURES AND IMPROVEMENTS	110
13.3	PRELIMINARY ROW COST ESTIMATES FOR CROPS AND TREES.....	112
13.4	PRELIMINARY ROW COST ESTIMATES FOR OTHER ENTITLEMENTS	112
13.5	PRELIMINARY ROW COST ESTIMATES FOR RESETTLEMENT SITE DEVELOPMENT	112
14	MONITORING AND EVALUATION.....	114
14.1	SUPERVISION AND INTERNAL MONITORING	114
14.2	EXTERNAL MONITORING AND EVALUATION	114
14.3	STAGES AND FREQUENCY OF MONITORING.....	115
14.4	SCHEDULE OF IMPLEMENTATION OF RAPS AND MONITORING.....	116
14.5	REPORTING	116
14.6	MONITORING INDICATORS	116
15	CONSULTATION.....	121
15.1	PRELIMINARY ACTIVITIES.....	121
15.2	REVIEW OF PREVIOUS STUDIES, PLANS AND DESIGN STANDARDS.....	121
15.3	PUBLIC CONSULTATION MEETINGS	121

List of Tables

Table 1-1-1 Road geometric design standard for main alignment (80kph design speed)	7
Table 1-1-2 Road geometric design standard for ramp (40kph design speed).....	8
Table 1-3. Jurisdictions of the Project alignment	10
Table 1-4. Project Targets	12
Table 3-1. Gap Analysis and Gap Filling Measures	23
Table 4-1. Summary of Project Impacts.....	32
Table 4-2. Total Project-Affected Persons	33
Table 4-3. Total Project-Affected Households (PAHs)	34
Table 4-4. Distribution of Affected Indigenous Peoples.....	35
Table 4-5. Loss of Land*	38
Table 4-6. Loss of Structures	39
Table 4-7. Loss of Residential Structures	39
Table 4-8. Loss of Residential-Commercial Structures	40
Table 4-9. Loss of Commercial Structures	40
Table 4-10. Loss of Institutional Structures	41
Table 4-11. Loss of Community Structures.....	41
Table 4-12. Loss of Other Structures.....	41
Table 4-13. Type of Structures.....	42
Table 4-14. Loss of Crops	43
Table 4-15. Loss of Trees (No.)	43
Table 5-1. Provincial Statistics by Affected City/Municipality	44
Table 5-2. 2020 Population of Affected Barangay in Tagoloan.....	45
Table 5-3. 2020 Population of Affected Barangay in the City of Cagayan de Oro	45
Table 5-4. 2020 Population of Affected Barangay in the Manolo Fortich.....	45
Table 5-5. 2020 Population of Affected Barangay in the Sumilao	46
Table 5-6. 2020 Population of Affected Barangay in the Impasug-ong	46
Table 5-7. 2020 Population of Affected Barangay in the City of Malaybalay	46
Table 5-8. Total Project-Affected Households (PAHs)	47
Table 5-9. Household Size.....	48
Table 5-10. Sex of Household Heads.....	48
Table 5-11. Age of Household Heads.....	49
Table 5-12. Civil Status of Household Heads.....	49
Table 5-13. Educational Attainment of Household Heads.....	50
Table 5-14. Religion.....	50
Table 5-15. Place of Origin	51
Table 5-16. Length of Residence.....	51
Table 5-17. Employment Status.....	52
Table 5-18. Occupation	52
Table 5-19. Employment Status of Household Heads	52
Table 5-20. Monthly Household Income.....	53
Table 5-21. Monthly Household Expenditure.....	54
Table 5-22. Roof Material	54
Table 5-23. Wall Material	54
Table 5-24. Light Source	55
Table 5-25. Water Source.....	55

Table 5-26. Fuel Source for Cooking.....	56
Table 5-27. Toilet	56
Table 5-28. Vulnerability of PAHs	57
Table 5-29. Ethnicity/ Ethnic Group	58
Table 6-1: Distribution of Affected Indigenous Peoples.....	60
Table 6-2: Sex of Household Head.....	61
Table 6-3: Age of Household Head	61
Table 6-4: Household Size.....	62
Table 6-5: Civil Status of Household Head	62
Table 6-6: Educational Attainment of Household Head	62
Table 6-7: Religion of Household Head	63
Table 6-8: House Ownership	63
Table 6-9: Length of Residence.....	63
Table 6-10: Place of Origin	64
Table 6-11: Reason for Establishing Residence	64
Table 6-12: Employed vs Unemployed	64
Table 6-13: Occupation Household Head.....	64
Table 6-14: Employment Status of Household Head	65
Table 6-15: Place of Work of Household Head	65
Table 7-1: Compensation and Entitlement Matrix	72
Table 8-1. Existing/Present Skills	89
Table 8-2. Skills/Training Preference.....	89
Table 8-3. Business Interest Preference	90
Table 11-1. Proposed Relocation sites of the Affected Cities and Municipalities	101
Table 13-1. Estimated RAP Implementation Cost	108
Table 14-1. Monitoring Indicators	116
Table 15-1. LGUs Coordination/ Consultation Meeting.....	123
Table 15-2. 1 st Barangay Public Consultation Meeting	126
Table 15-3. Private Sector Consultation Meeting.....	127
Table 15-4. 2 nd Public Consultation Meeting	128
Table 15-5. Major Issues and Concerns Raised During Consultation.....	129

List of Figures

Figure 1-1-1 Typical Cross Section Embankment and Cut: Row=60m.....	9
Figure 1-1-2 Typical Cross Section at Interchange: One-Lane Ramp	10
Figure 1-1-3 Typical Cross Section at Interchange: Two-Lane, Two-Direction Ramp	10
Figure 1-4. Jurisdictions of the Project alignment	12
Figure 4-1 Cadastral Map.....	36
Figure 6-1. Geolocation of the 13 IP PAFs (a).....	66
Figure 6-2. Geolocation of the 13 IP PAFs (b)	66
Figure 6-3. Geolocation of the 13 IP PAFs (c).....	67
Figure 6-4. Geolocation of the 13 IP PAFs (d)	67
Figure 6-5. Geolocation of the 13 IP PAFs (e).....	68
Figure 6-6. Geolocation of the 13 IP PAFs (f)	68
Figure 6-7. Geolocation of the 13 IP PAFs (g)	69
Figure 6-8. Geolocation of the 13 IP PAFs (h)	69
Figure 8-1 LRP Implementation Structure	91
Figure 11-1. NHA Sumilao Resettlement Project Phase 1	102
Figure 11-2. NHA Sumilao Resettlement Project Phase 2	102
Figure 12-1. Implementation Schedule	105

List of Abbreviations

AD	Ancestral Domain
ADB	Asian Development bank
ADR	Alternative Dispute Resolution
BIR	Bureau of Internal Revenue
CLOA	Certificate of Land Ownership Award
CMHSHCP	Central Mindanao High Standard Highway Construction Project
DEO	District Engineering Office
DPWH	Department of Public Works and Highways
EA	Executing Agency
EMA	External Monitoring Agents
EO	Executive Order
ESSD	Environmental and Social Safeguards Division
EXECOM	Executive Committee
FPIC	Free and Prior Informed Consent
GO	Government of the Philippines
GRM	Grievance Redress Mechanism
ICC/IP	Indigenous Cultural Community/Indigenous People
IMA	Internal Monitoring Agent
IOL	Inventory of Loss
IPA	Independent Property Appraiser
IPAP	Indigenous Peoples' Action Plan
IPP	Indigenous People Plan
IPRA	Indigenous People's Rights Act
JICA	Japan International Cooperation Agency
LARR	Land Acquisition, Resettlement and Rehabilitation
LARRIPP	Land Acquisition, Resettlement, Rehabilitation and Indigenous Peoples Policy
LGU	Local Government Unit
LRP	Livelihood Restoration Program
NCIP	National Commission on Indigenous Peoples
NEDA	National Economic and Development Authority
NGO	Non-Government Organization
OCT	Original Certificate of Title
PAH	Project-Affected Household
PAP	Project-Affected Person
PhP	Philippine Peso
RA	Republic Act
RAP	Right-of-Way Action Plan
RIC	Resettlement Implementation Committee
RO	Regional Office
ROW	Right-of-Way
SES	Socioeconomic Survey
TCT	Transfer Certificate of Title
UPMO-RMC1	Unified Project Management Office-Road Management Cluster 1 (Bilateral)

Definition of Terms

Abbreviated Resettlement Action Plan (ARAP) -- The Resettlement Action Plan (RAP) refers to the planning document that describes what will be done to address the direct social and economic impacts associated with involuntary taking of land or land acquisition. The ARAP is acceptable if fewer than 200 people are affected. It is also acceptable if more than 200 people are affected so long as all land acquisition is minor (10 percent or less of all holdings is taken) and no physical relocation is required.

Ancestral Domain -- As defined in R.A. 8371 (IPRA), refers to all areas generally belonging to Indigenous Cultural Communities/Indigenous Peoples (ICCs/IPs) comprising lands, inland waters, coastal areas, and natural resources therein, held under a claim of ownership, occupied or possessed by ICCs/IPs, themselves or through their ancestors, communally or individually since time immemorial, continuously to the present except when interrupted by war, force majeure or displacement by force, deceit, stealth or as a consequence of government projects or any other voluntary dealings entered into by government and private individuals, corporations, and which are necessary to ensure their economic, social, and cultural welfare. It includes land, forests, pasture, residential, agricultural, and other lands individually owned whether inalienable and disposable or otherwise, hunting grounds, burial grounds, worship areas, bodies of water, mineral and other natural resources, and lands which may no longer be exclusively occupied by ICCs/IPs but from which they traditionally had access to for their subsistence and traditional activities, particularly the home ranges of ICCs/IPs who are still nomadic and/or who practice shifting cultivation. As clarified in Section 4 of R.A. 8371, ancestral domains cover not only the physical environment but the total environment including the spiritual and cultural bonds to the area which the ICCs/IPs possess, occupy, and use and to which they have claims of ownership.

Ancestral Lands -- As defined in R.A. 8371 refers to land occupied, possessed and utilized by individuals, families and clans who are members of the ICCs/IPs since time immemorial, by themselves or through their predecessors-in-interest, under claims of individual or traditional group ownership, continuously, to the present except when interrupted by war, force majeure or displacement by force, deceit, stealth, or as a consequence of government projects and other voluntary dealings entered into by government and private individuals/corporations, including, but not limited to, residential lots, rice terraces or paddies, private forests, swidden farms and tree lots.

Appraised Value -- means the market value of a property as estimated by an Independent Property Appraiser or Government Financial Institution.

BIR Zonal Valuation -- is an approved zonal schedule of fair market values on real property set by the Bureau of Internal Revenue (BIR) as basis for computation of internal revenue taxes.

Certificate of Land Ownership Award (CLOA) -- It refers to a certificate issued to grantees of the comprehensive agrarian reform program. The provisions of CA 141 shall govern in the CLOAs awarded under the Public Land Act.

Compensation -- This means payment in cash or in kind at replacement cost for an asset to be acquired or affected by an infrastructure project.

Cut-off Date -- Determination of informal PAPs and affected improvements shall be based on cut-off date, which is the start of census of PAPs and tagging for improvements. For formal PAPs, cut-off date is reckoned upon receipt of Notice of Taking.

Customary Law -- It refers to a body of written and/or unwritten rules, usages, customs and practices traditionally and continually recognized, accepted, and observed by respective ICCs/IPs.

Disturbance Compensation -- It is the compensation amount for lessees of agricultural land severely affected (i.e., >20% of the land or when the land is no longer economically viable) by the project, equivalent to five times the average gross harvest during the last five years (RA 6389 and EO 1035, series of 1985).

External Monitoring Agent (EMA) -- It is an independent entity or individual designated by the Department to monitor the implementation of the RAP and the IPAP.

Financial Assistance -- It is the cash amount paid to agricultural tenants/settlers/ occupants severely affected by the project, equivalent to the average gross harvest for the last three years and not less than PhP15, 000 per ha (EO 1035), in addition to the cash payment/compensation for their crops damaged by the project.

Free and Prior Informed Consent -- As defined in R.A. 8371, it means the consensus of all members of the ICCs/IPs to be determined in accordance with their respective customary laws and practices, free from any external manipulation, interference, and coercion, and obtained after fully disclosing the intent and scope of the activity, in a language and process understandable and appropriate to the community.

Free and Prior Informed Consent Guidelines of 2006 -- It is also known as National Commission on Indigenous Peoples' Administrative Order No. 1, Series of 2006 implementing Sections 44 (m), 46(a), 57, 58, 59, and 7 of Republic Act 8371 or the Indigenous Peoples' Rights Act.

Government Financial Institution or GFI -- refers to a national government owned or controlled corporation that the Implementing Office may engage to provide property appraisal services, including estimates of the market values of the property, affected by the ROW for a project.

Implementing Agency or IA -- refers to any department, bureau, office, commission, authority, or agency of the national government, including any government-owned or -controlled corporation or state college or university, authorized by law or its respective charter to undertake national government projects. The DPWH is an IA.

Inconvenience Allowance -- It is the compensation amount given to each PAP who holds full title to or a legalizable tax declaration over the land and structures severely affected by the project, and who consequently must move elsewhere.

Independent Property Appraiser or IPA -- refers to an individual or firm that may be engaged by the Implementing Office to provide property appraisal services, including estimates of the market values of the property, affected by the ROW for a project.

Indigenous Cultural Community/Indigenous People -- As defined in R.A. 8371, it refers to a group of people or homogenous societies identified by self-ascription and ascription by other, who have continuously lived as organized community on communally bounded and defined territory, and who have, under claims of ownership since time immemorial, occupied, possessed customs, tradition and other distinctive cultural traits, or who have, through resistance to political, social and cultural inroads of colonization, non-indigenous religions and culture, became historically differentiated from the majority of Filipinos. ICCs/IPs shall likewise include peoples who are regarded as indigenous on account of their descent from the populations which inhabited the country, at the time of conquest or colonization, or at the time of inroads of non-indigenous religions or cultures, or the establishment of present state boundaries, who retain some or all of their own social, economic, cultural and political institutions, but who may have been displaced from their traditional domains or who may have resettled outside their ancestral domains.

Indigenous Peoples' Action Plan (IPAP) -- An IPAP is written when an infrastructure project has been found through the social assessment to have potentially adverse effects on Indigenous Peoples. The IPAP sets out measures through which the DPWH and other government agencies will ensure that Indigenous Peoples affected by the project receive culturally appropriate social and economic benefits. It also specifies ways that the identified adverse effects are avoided, minimized, mitigated, or compensated. The formulation of the IPAP is mandated by DPWH Department Order No. 327 series of 2003.

Informal Settler -- refer to households living in a lot, whether private or public, without the consent of the property owner; or those without legal claim over the property they are occupying; or those living in danger areas such as esteros, railroad tracks, garbage dumps, riverbanks, shorelines, and waterways.

Land Acquisition -- It is the process of acquiring land from the current owners pursuant to the provisions of RA 10752 modes of acquisition. The modes of land acquisition are Donation, Barter or Exchange, Purchase, Quit Claim or Expropriation.

Market Value -- means the price of what a willing buyer would pay a willing seller for a given property or asset if both have a reasonable knowledge of the worth of the property.

Older People/ Elderly/ Senior Citizens -- Individuals belonging to the age group 60 years and over

Parcellary Survey -- refers to the activities undertaken as part of the Detailed Engineering Design of a project to define the proposed ROW alignment and limits, the affected lots showing the name of the owners/claimants, lot numbers, and areas, and technical descriptions, and all improvements within the ROW limits.

Poor -- The Philippine Statistics Authority (PSA) said the poverty threshold per family amounted to PhP 12,082 a month. An income below this amount would categorize a family as being poor and an income above this would mean a family is nonpoor.

Prescription Period -- As stipulated in Article 1141 of Civil Code, real actions over immovables prescribe after thirty (30) years. This provision is without prejudice to what is established for the acquisition of ownership and other real rights by prescription (1963).

Production Cost (palay, vegetable and corn) -- This includes among others, land preparation, transportation, seedling, and fertilizer. The amount may vary depending on the location, type of seedling, etc.

Project-Affected Household (PAH) -- It consists of all members of a household residing under one roof and operating as a single economic unit, who will be adversely affected by the project. For resettlement purposes, the affected “Persons” will be dealt with as members of Project-Affected Household (PAH).

Project-Affected Person (PAP) -- Include any person or persons, household, a firm, or a private or public institution who, because of the need to acquire right-of-way for the implementation of an infrastructure project, will lose their land, house, and other improvements fully or partially. Only those PAPs found to be residing in, doing business, or cultivating land, or having rights over resources within the ROW to be acquired as of the date of the census survey (which is the cut-off date) are eligible for compensation of lost assets.

Project Boundaries -- It may be defined as the project construction limits, or it may refer to the Right-of-Way limits, whose width varies from 20 to 60 meters as prescribed in the special laws such as Commonwealth Act 141 (Public Land Act), PD 635, EO 113 (1955), EO 621 (1980), etc.

Project Implementation Office -- It refers to the duly designated Management Office (for foreign-funded projects) within the DPWH Central Office and to Regional and District Offices (for locally funded projects)

Rehabilitation Assistance -- It refers to assistance provided to PAHs seriously affected due to the loss of productive assets, incomes, employment, or sources of living, as supplement compensation for acquired assets in order to achieve full restoration of living standards and quality of life.

Relocation -- This refers to the physical displacement of a PAH from his/her pre- project place of residence and his/her transfer to another place.

Replacement Cost -- This is the amount necessary to replace the structure or improvements based on the current market prices for materials, equipment, labor, contractor's profit and overhead, and all other costs associated with the acquisition and installation in place of the affected improvements/installation.

Resettlement -- This is a generic term that covers all measures taken to mitigate all adverse social impacts of a project on the PAHs, including compensation and relocation.

Right-of-Way (ROW) -- means a part or the entirety of a property, site, or location, with defined physical boundaries, used or required by a government infrastructure project.

Right-of Way Action Plan (RAP) -- refers to the document that defines the extent of the ROW to be acquired for a project, including, among other things, cost estimates for acquiring land, structures/improvements, crops/trees, relocation of informal settlers, and recommended compensation and entitlement package for owners and project-affected persons (PAPs), implementation schedule, and impact and mitigating measures for the ROW acquisition.

Social Impact Assessment or Social Assessment -- It is a framework for incorporating social or stakeholders' analysis and participatory processes in project design and implementation.

Time of Taking -- This refers to the time when both parties, the landowner, and the proponent, agreed on the true value of the land being purchased.

EXECUTIVE SUMMARY

1. **Project Description** – The proposed Central Mindanao High Standard Highway Project (CMHSHCP) (“Project”, “alignment”) is part of the Phase II of the Master Plan on High Standard Highway Network Development. The objectives of the plan were to improve the transport efficiency in the region and contribute to enhancing the connectivity between the cities of Cagayan de Oro and Malaybalay as well as the economic development of the surrounding area.
2. **Necessity of Land Acquisition And Resettlement Objectives of RAP** - The preparation of the RAP for land, structures and improvements, and crops and trees was in accordance with the Republic Act 10752, and as prescribed in the Land Acquisition, Resettlement, Rehabilitation and Indigenous People’s Policy (LARRIP), the JICA Environmental and Social Safeguards Guidelines and other related social safeguards policies/issuances of the Department, such as Department Order (DO) Nos. 5 Series of 2003, DO 327 series of 2003, DO 34 series of 2007, D.O 73 series of 2014 – Prohibited Use within the Right-Of-Way of National Roads, and DO 152: DPWH ROW Acquisition Manual series of 2017.
3. **Legal Framework** – The policy framework within which this Preliminary Right-of-Way Action Plan for land, structures, other improvements, and crops and trees will operate was derived from the Philippine Constitution, Republic Act 10752, DPWH LARRIP Policy, and other social safeguards issuances, and JICA Environmental and Social Safeguard Guidelines, relative to the ROW acquisition.
4. **Summary of Project Impacts** – The CMHSHCP will involve road construction and improvements to include widening, slope protection and drainage that will require the road right-of-way acquisition of public land and private land. Land acquisition will cause physical and economic displacement such as (i) permanent loss of land along the required minimum of 60-m ROW, (ii) loss/damage to structures and improvement, (iii) loss of crops and trees, and (iv) loss of income/business.

A total of 484 PAPs with affected assets and properties within the road right-of-way, consists a total area of 3,943,800 m² of land which traverse 27 barangays in two (2) cities and four (4) municipalities.

5. **Grievance Redress Mechanism** – A project level GRM was developed to receive and resolve project related concerns, complaints, and grievances. Conflicts within affected communities will be addressed within the community itself through dispute resolution process and mechanisms.
6. **Compensation Policy** – Compensation and entitlements are designed to enhance or at least restore the livelihoods of all displaced persons in real terms relative to pre-project levels and to improve the standards of living of the displaced poor and other vulnerable groups. DPWH will offer to the property owner concerned, as compensation price, the sum of 1) replacement cost of land based on the current market value of land, free of taxes; 2) the replacement cost of structures and improvements; and 3) the current market value of crops and trees.

7. **Livelihood Restoration Program** –The LRP provides the PAPs assistance whose livelihoods are directly adversely affected by the Project by restoring their income generating capacity to at least pre-project levels. For vulnerable PAPs, the LRP is also aimed at improving their living standards.
8. **Institutional Framework** – The DPWH is the implementing agency for the Project. The overall direction and leadership for implementing the RAP will be exercised by the Secretary, supported by the Undersecretary of UPMO Operations and other members of the Executive Committee (EXECOM) of the DPWH composed of the Undersecretaries and Assistant Secretaries of the Department. The Roads Management Cluster I, Bilateral, Unified Project Management Office of DPWH is the overall project management unit. Land acquisition activities will be carried out in close coordination with the DPWH Planning Service through its ESSD, RO, DEO, LGUs, NCIP, RIC and all other pertinent agencies and instrumentalities of the government to fully address the impacts of involuntary resettlement.
9. **Possible Resettlement Site** – There are 96 PAHs (379 persons) whose houses and houses-cum-shops will be fully affected. If relocation is necessary to be undertaken during the implementation of the project, the Municipality of Sumilao committed to provide a land dedicated to affected households. The other LGUs are still determining the location of their relocation sites.
10. **Implementation Schedule** – DPWH is expected to initiate the process of land acquisition and compensation for structures, crops and trees starting July 2023 to secure the project's ROW prior to construction. The DPWH shall ensure that ROW acquisition proceeds in close parallel with the construction schedule, making sure that land and structure owners are adequately compensated and re-established away from the construction site months ahead of the civil works implementation. The implementation of the RAP is expected to be completed by February 2023.
11. **Budgetary Requirement** – The total budget for RAP Implementation of CMHSHCP, (Cagayan De Oro – Malaybalay Section) is **PhP 1,303,267,200 (USD 242,944,845)**. The budget items cover (i) compensation for loss of land, structures, trees, crops and other entitlements (ii) livelihood restoration program (iii) transitional allowance; (iv) administrative cost; (v) external monitoring; and (vi) contingencies. Table below shows the details of the budget to implement this RAP.

Summary of Budgetary Requirement

Kind of affected assets	Amount (PhP)	Amount (USD)
1. Land	847,966,900	14,928,995
2. Structures	53,789,139	946,992
3. Crops (<i>agricultural crops/coconut</i>)	23,072,305	406,203
	8,499,121	149,632
4. Trees (<i>including seedling replacement</i>)	120,051,751	2,113,587
5. Livelihood Restoration Program	1,440,000	25,352

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Kind of affected assets	Amount (PhP)	Amount (USD)
6. Relocation and Resettlement	<i>The determination shall be made by the affected LGUs and covered under their regular budgets</i>	
7. Other Entitlements	5,275,000	92,870
8. Other Assistance	84,158,852	1,481,670
Administrative Costs (5% of Direct Costs: 1-7)	53,004,711	933,182
Cost contingencies (10% of Direct Costs: 1-7)	106,009,422	1,866,363
TOTAL	1,303,267,200	22,944,845

Note: 1 USD = PhP 56.80

12. **Monitoring and Evaluation** – There will be two types of monitoring, the internal and external monitoring. The UPMO in coordination with the ESSD shall conduct the supervision and in-house monitoring of RAP implementation. An External Monitoring Agent (EMA) shall do the external monitoring and evaluation. The EMA for this Projects is a consultancy firm with qualified and experienced staff with Terms of Reference acceptable to the Bank.
13. **Public Consultation** – The Coordination and Public Consultations Meetings for CMHSHCP were undertaken to inform the primary and secondary stakeholders about the project information such as background, scope, objectives, benefits, updates, basic resettlement policies (GOP and JICA), cut-off-date and announcement of succeeding resettlement activities such as conduct of socioeconomic survey and detailed measurement and inventory of affected assets and properties. The Coordination and Public Consultations for CMHSHCP were conducted on March 22 – May 19, 2022.

1 INTRODUCTION

1.1 Rationale

The Central Mindanao High Standard Highway Construction Project (CMHSHCP), particularly the Cagayan de Oro - Malaybalay section, is conceptualized as a vital infrastructural undertaking designed to bolster economic growth and regional connectivity in Mindanao. The CMHSHCP is multi-dimensional, focusing on:

Economic Growth: This highway will serve as a catalyst for economic activities in the region, enhancing trade and industry by providing a more efficient transportation route.

Regional Connectivity: It aims to enhance the connectivity between major cities and rural areas, fostering inclusive growth and development.

Traffic Decongestion: By providing an alternative route, it aims to alleviate traffic congestion in existing roads, thus reducing travel time and improving logistics efficiency.

Safety Improvements: The highway is designed to adhere to high safety standards, aiming to reduce the rate of road accidents in the region.

Sustainable Development: The project incorporates environmental considerations, ensuring minimal ecological impact and promoting sustainable infrastructural development.

1.2 Objectives

The primary objective of the Central Mindanao High Standard Highway Construction Project (Cagayan de Oro - Malaybalay Section) is to establish a high-standard, safe, and efficient transportation corridor that will:

- Facilitate seamless movement of goods and people between Cagayan de Oro and Malaybalay, thereby strengthening economic ties.
- Reduce travel time and transportation costs, thereby enhancing the overall productivity of the region.
- Foster socio-economic development in adjacent areas, leading to the upliftment of local communities.
- Encourage tourism by improving access to key tourist destinations in Central Mindanao.
- Incorporate sustainable and eco-friendly construction practices to preserve the natural landscape and biodiversity of the region.

1.3 Methodology

This comprehensive methodology will facilitate effective coordination with LGUs, engage the community through public consultations, and systematically gather data through socioeconomic and inventory surveys, all in compliance with DPWH DO 152 series of 2017 and RA 10752.

1.3.1 Coordination/Orientation Meeting with the Local Government Units (LGUs)

The RAP team presented the proposed project and outlined the activities for preparing the RAP report to the LGUs. This meeting aimed to inform the LGUs about the rules and procedures for the acquisition of right-of-way for the Central Mindanao High Standard Highway Construction Project (Cagayan de Oro – Malaybalay Section) in accordance with the DPWH DO 152 series of 2017 and Republic Act (RA) 10752, titled 'An Act Facilitating the Acquisition of Right-of-Way, Site, or Locations for National Government Infrastructure Projects.

1.3.2 Public Consultations

Public consultations were held in the affected barangays of the cities and municipalities involved. These meetings aimed to inform the Project Affected Persons (PAPs) about DPWH ROW acquisition as per DPWH DO 152 series of 2017 and RA 10752. Specifically, the discussions covered various aspects:

- a. The concept and objective of the project.
- b. Definitions of severe and marginal impacts.
- c. The importance of tagging structures to be affected.
- d. The necessity to photograph the structures and improvements that would be affected.
- e. The process for conducting a census, socio-economic survey, and inventory/detailed measurement survey of assets and properties belonging to PAPs.

Furthermore, the team notified participants that a City/Municipal RAP Implementation Committee (C/MRIC) would be established to assist DPWH in implementing the RAP for affected structures, other improvements, trees, crops, and lots required for the acquisition of right-of-way (ROW).

Moreover, the Consultant informed the PAPs that the RAP team would conduct socio-economic surveys and inventory/detailed measurement surveys of assets and properties within the ROW after the consultations in all barangays traversed by the project. Permission was sought to access their premises for conducting these surveys/assessments and to inform affected families of the cutoff dates.

1.3.3 Socioeconomic/Inventory Survey

During the survey, we identified affected structures and other improvements, both temporary and permanent, including residential and commercial structures. Additionally, we identified

other improvements such as storage facilities, comfort rooms, extensions, etc. Furthermore, we documented crops and trees, both fruit-bearing and non-fruit-bearing, that will be affected by the project.

1.4 Project Description

The Central Mindanao High Standard Highway Construction Project (Cagayan de Oro - Malaybalay Section) encompasses the following key features:

Route Specifications: The highway will stretch approximately 65.5 kilometers, connecting Cagayan de Oro and Malaybalay with a multi-lane, dual carriageway standard.

Design and Construction: The design includes modern road infrastructure features such as emergency lanes, pedestrian crossings, and advanced signage. The construction will utilize high-quality, durable materials ensuring long-term usability.

Technology and Safety Features: The project incorporates smart road technologies, including intelligent transportation systems (ITS), traffic management systems, and automated emergency response mechanisms.

Environmental Considerations: Environmental Impact Assessments (EIA) have been conducted, with plans in place for reforestation, wildlife protection, and minimizing carbon footprint during construction.

Community Engagement and Development: The project includes initiatives for local community engagement, job creation, and skill development programs, ensuring inclusive growth.

Funding and Partnerships: The civil works for Section 1 which is 11.5 kilometers long will be funded by JICA while civil works for Sections 2-5 which is 54 kilometers in length will be funded by ADB.

1.5 Project Design

The project design is summarized below.

1.5.1 Geometric design standard

The standard references used for the Central Mindanao High Standard Highway are a) Policy on Geometric Design of Highways and Streets, AASHTO 2011, 6th Edition, b) Design Guidelines, Criteria & Standards, volume 4 Highway Design, 2015, DPWH, and c) Japan Road Association, Road Structure Ordinance, 2019.

1.5.2 Design speed

The recommended design speed of 80 kph taken from the previous pre-feasibility study (HSH

MP Phase-2 report) was used for the main alignment. The design speed was selected considering moderate topographic conditions at the proposed alignment and traffic safety.

1.5.3 Interchange ramps

The interchange ramp design speed is 40 kph which is half of the highway design speed. It is also the identified minimum design speed in AASHTO 2011.

1.5.4 High Standard Highway geometry

The geometry applied to the design of main alignment and ramp is summarized in Table 1-1-1 and Table 1-1-2.

Table 1-1-1 Road geometric design standard for main alignment (80kph design speed)

Item	Unit	Standard	Absolute minimum
Design Speed	kph	80	
Design Vehicle	-	WB-19	
Stopping Sight Distance	m	130	
Passing Sight Distance	m	245	
ROW	m	60	
Terrain Condition		Rolling	
Cross Section Elements			
Pavement			
Lane Width	m	3.65	
Median Width	m	3	
Inner shoulder Strip	m	0.75	
Outer shoulder Strip	m	3	2.5
Number of Lanes	Nos	4	
Normal Cross Slope	%	2	
Horizontal Alignment			
Minimum Radius	m	252	
Min. Transition Curve Length	m	70	
Min. Radius not requiring Transition Curve	m	379	
Min. Radius not requiring Super elevation	m	3,500	
	m	2,000	
Max. Relative Slope		1/200	
Vertical Alignment			
Maximum Vertical Gradient	%	4	5

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Item		Unit	Standard	Absolute minimum
Minimum K value	Sag		30	
	Crest		26	
Minimum Radius	Sag	m	2,000	
	Crest	m	3,000	
Min Vertical Curve Length		m	70	
Max. Composition Grade		m	10.5	
Vertical Clearance				
Road		m	5.2	

Source: JICA Study Team

Table 1-1-2 Road geometric design standard for ramp (40kph design speed)

Item		Unit	Standard	Absolute minimum
Design Speed		kph	40	
Design Vehicle		-	WB-15	
Stopping Sight Distance		m	50	
Passing Sight Distance		m	140	
ROW		m	60	
Terrain Condition			Rolling	
Cross Section Elements				
Pavement				
Lane Width		m	4.5	
Median Width		m	0	
Inner shoulder Strip		m	0.75	
Outer shoulder Strip		m	3	2.5
Number of Lanes		Nos	1	
Normal Cross Slope		%	2	
Horizontal Alignment				
Minimum Radius		m	43	
Min. Transition Curve Length		m	50	
Min. Radius not requiring Transition Curve		m	95	
Superelevation Runoff			1/143	
Vertical Alignment				
Maximum Vertical Gradient		%	6	8
Minimum K value	Sag		9	
	Crest		4	

Item	Unit	Standard	Absolute minimum
Min Vertical Curve Length	m	35	
Max. Composition Grade	m	11.5	
Vertical Clearance			
Road	m	5.2	

Source: JICA Study Team

1.5.5 Vertical clearance

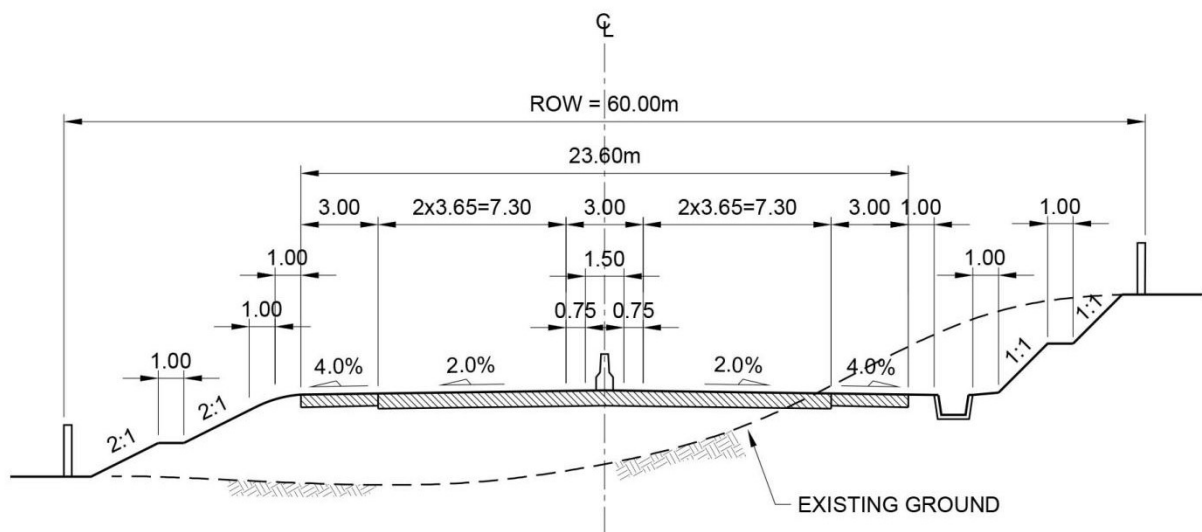
The design vertical clearances of the highway and crossing road is 4.0 to 5.2 meters.

1.5.6 Number of lanes

The alignment is a dual 2-lane (2x2) road in accordance with the traffic demand.

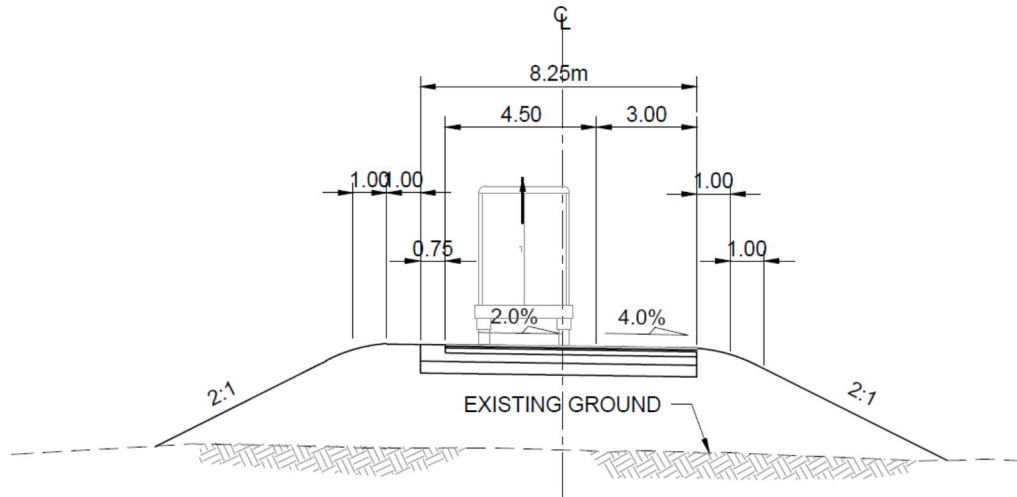
1.5.7 Carriageway, Shoulder, and Median widths

The recommended cross-section configurations are presented in the succeeding paragraphs.



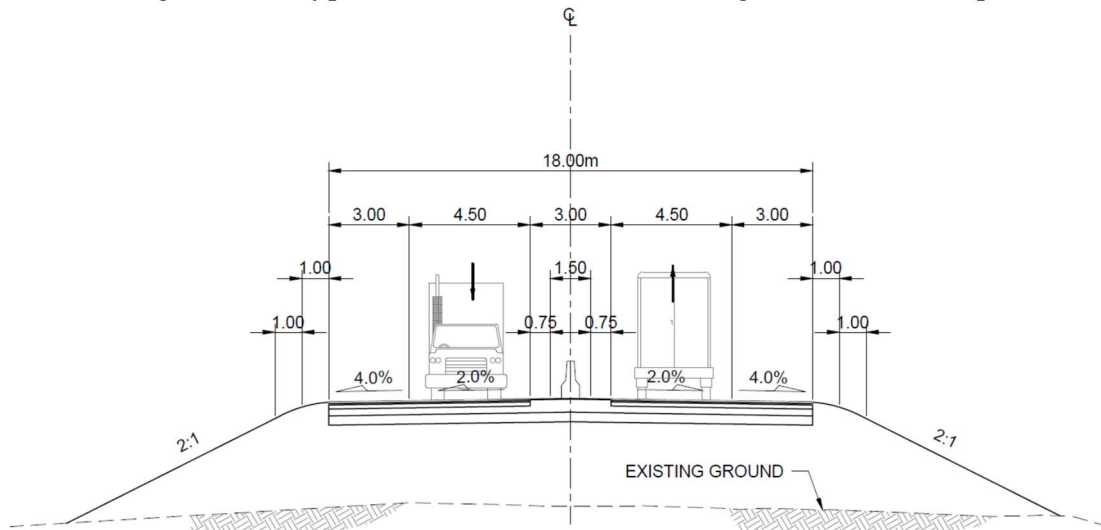
Source: JICA Study Team

Figure 1-1-1 Typical Cross Section Embankment and Cut: Row=60m



Source: JICA Study Team

Figure 1-1-2 Typical Cross Section at Interchange: One-Lane Ramp



Source: JICA Study Team

Figure 1-1-3 Typical Cross Section at Interchange: Two-Lane, Two-Direction Ramp

1.6 Right-of-Way Limits

The Central Mindanao High Standard Highway Construction Project (CMHSHCP) having a length of 65.50 kilometers with 60 meters ROW will traverse 27 barangays of four (4) municipalities and two (2) cities in the Provinces of Misamis Oriental and Bukidnon in Region X (Northern Mindanao). The host barangays and general location and jurisdiction maps are shown in Table 1 1 and Figure 1 1, respectively.

Table 1-3. Jurisdictions of the Project alignment

Province	City/Municipality	Barangay
Misamis Oriental	Cagayan de Oro City	Balubal
		Bugo
		Puerto

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Province	City/Municipality	Barangay
Bukidnon	Tagoloan	Casinglot
		Natumolan
	Manolo Fortich	Mambatangan
		Alae
		San Miguel
		Damilag
		Diclum
		Tankulan (Poblacion)
		Sankanana
		Ticala
	Sumilao	Puntian
		Villa Vista
		San Roque
		Culasi
		Poblacion
		Kisolon
	Impasug-ong	Poblacion
		La Fortuna
		Capitan Bayong
		Cawayan
		Impalutao
	Malaybalay	Dalwangan
		Patpat (Lapu-Lapu)
		Kalasungay

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

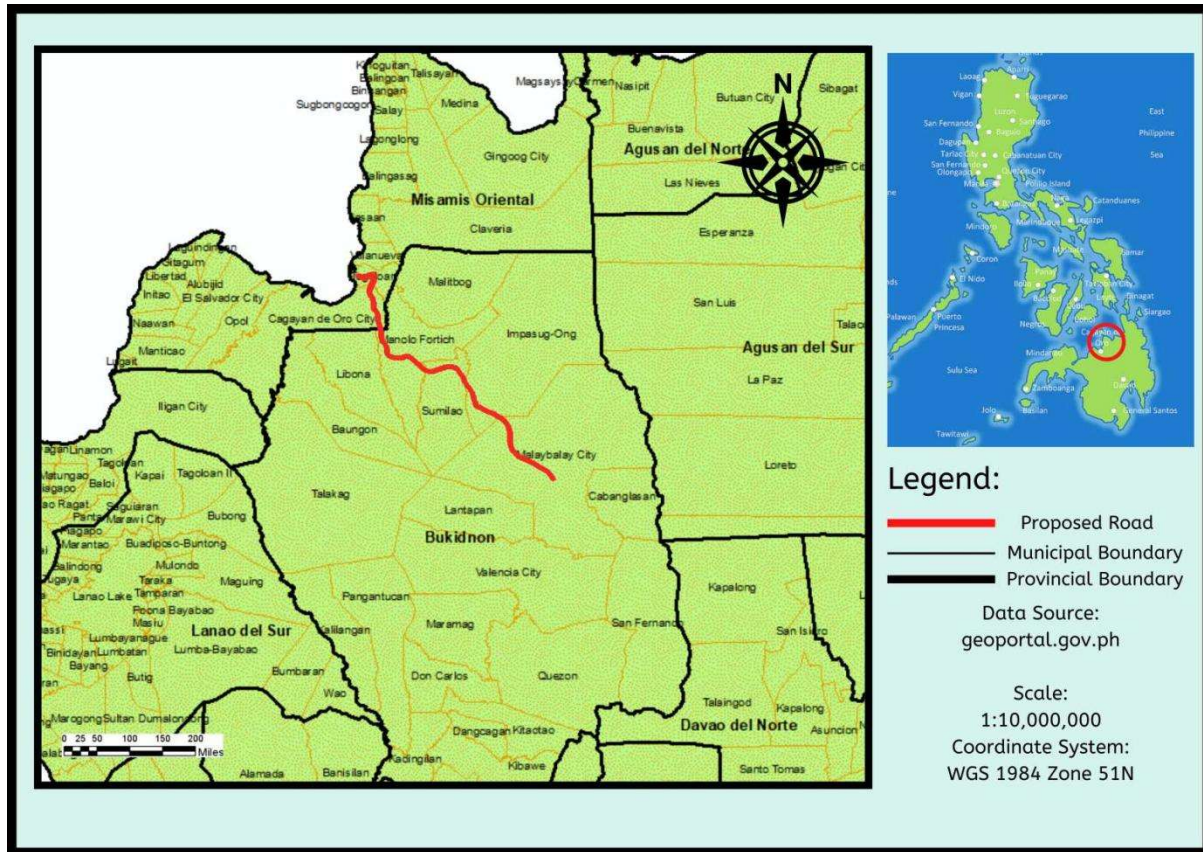


Figure 1-4. Jurisdictions of the Project alignment

1.7 Project Targets

During the preparation of this preliminary RAP, target PAPs were identified to establish the necessary assistance measures for inclusion in the report. Of the total 484 PAPs, 132 lack proof of land ownership and are classified as informal occupants (non-landowners). Conversely, 352 PAPs possess land ownership documentation and are classified as formal occupants (landowners). Of the 132 informal occupants, 96 PAPs (residing households) qualify for relocation assistance. A summary of the project targets follows below.

Table 1-4. Project Targets

Summary of Project Targets		Unit	Total	
No. of Project-Affected Persons	PAP		¹ Formal	² Informal
			352	132
No. of Project-Affected Households that require relocation or resettlement	PAH		-	96 (379 persons)
Tenurial Status of PAPs				
-owns land only	No.		350	-
-owns structure only	No.		0	130

¹ Formal (landowners) are defined as the people who have legal rights over the affected land.

² Informal (non-landowners) include structure owners, renters, rent-free occupants/sharers, and caretakers who do not own the land.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Summary of Project Targets	Unit	Total	
-owns both land and structure	No.	2	0
-sharer/rent-free occupant	No.	0	2
Loss of Main Structures (breakdown shown below)	No.	103	
-Residential Structures	No.	99	
-Residential-Commercial Structures	No.	1	
-Commercial Structures	No.	3	
Loss of Institutional Structures	No.	4	
Loss of Community Structures	No.	52	
Loss of Other Structures	No.	139	
Loss of Land (breakdown shown below)			
-Affected Parcels of Land	No.	405	
-Owners of Affected Parcels of Land	No.	352	
-Total Affected Land Area	m ²	3,943,800	
Land Area of Affected Agricultural Crops	m ²	2,571,526	
No. of Affected Coconut	No.	2,552	
No. of Affected Forest / Fruit Trees / Other Forest Products	No.	9,815	

2 NECESSITY OF LAND ACQUISITION, OBJECTIVES OF RAP, AND PREVENTIVE/MITIGATING MEASURES

2.1 Scale of Land Acquisition and Resettlement

The preparation of the RAP for land, structures and improvements, and crops and trees was in accordance with the Republic Act 10752, (An Act Facilitating the Acquisition of Right-of-Way Site or Location for National Government Infrastructure projects) and as prescribed in the Land Acquisition, Resettlement, Rehabilitation and Indigenous People's (LARRIP) Policy, the JICA Environmental and Social Safeguards Guidelines and other related social safeguards policies/issuances of the Department, such as Department Order (DO) Nos. 5 Series of 2003, DO 327 series of 2003, DO 34 series of 2007, D.O. 73 series of 2014 – Prohibited Use within the Right-Of-Way of National Roads, and DO 152: DPWH ROW Acquisition Manual series of 2017.

The preparation of this Preliminary RAP covers a length of 65.50 kilometers, including the affected assets and properties within the right-of-way (ROW) width required for the project. The project will traverse twenty-seven barangays across six (6) LGUs in Central Mindanao.

2.2 Objectives of the Study

The objectives of the Preliminary Right-of-Way Action Plan are as follows:

- 1) To determine the number of Project Affected Persons (PAPs) and properties/assets affected by the project based on the road alignment in the feasibility study;
- 2) To identify the extent of impacts of the project on their properties/assets and the measures to mitigate these impacts;
- 3) To determine the compensation and entitlements to the PAPs for their affected properties/assets for inclusion in the Medium-Term Infrastructure Program (MTIP); and
- 4) To ensure public participation in the implementation and monitoring of the RAP.

2.3 Preventive/Mitigating Measures

Like many large infrastructure projects, the Central Mindanao High Standard Highway Project (Cagayan de Oro – Malaybalay Section) has the potential to impact local communities, environments, and economies. To address these impacts, the Implementing Agency will implement strategies to ensure the well-being of project-affected persons (PAPs), as follows:

2.3.1 Preventive Measures

Community Consultation and Participation: Engage with local communities early in planning. This includes informing them about the project, listening to their concerns, and incorporating their feedback into the design.

Resettlement Planning: If displacement is inevitable, develop a comprehensive resettlement plan that includes adequate compensation, housing, and livelihood support for affected persons.

Environmental Impact Assessment (EIA): Conduct a thorough EIA to understand the environmental impacts and develop strategies to minimize negative effects.

Cultural and Heritage Preservation: Identify and protect areas of cultural, historical, or religious significance that might be affected by the project.

Employment Opportunities: Prioritize local hiring to provide job opportunities for affected communities.

Land Use Planning: Ensure that the project aligns with local and regional land use plans, minimizing disruption to existing land use patterns.

2.3.2 Mitigating Measures

Fair Compensation: Ensure that all affected persons receive fair and timely compensation for loss of land, property, or livelihood.

Livelihood Restoration Programs: Implement programs to restore or enhance the livelihoods of affected persons, such as vocational training, microfinance, and job placement services.

Health and Safety Measures: Implement measures to protect local communities from construction-related risks, such as noise, dust, and traffic disruptions.

Ongoing Community Engagement: Maintain open communication channels with affected communities throughout the project to address concerns and provide updates.

Monitoring and Evaluation: Regularly monitor and evaluate the impact of the project on local communities and adjust strategies as necessary to address emerging issues.

Grievance Redress Mechanism: Establish a transparent and accessible mechanism for affected individuals to raise concerns and grievances related to the project.

Environmental Conservation Programs: Implement programs to mitigate environmental impacts, such as reforestation, wildlife protection, and water management initiatives.

3 LEGAL FRAMEWORK

3.1 Legal Framework Policy on Eligibility for Compensation and Entitlement

The policy framework within which this Right-of-Way Action Plan for land, structures, other improvements, and crops and trees will operate was derived from the Philippine Constitution, Republic Act 10752, DPWH LARRIP Policy, and other social safeguards issuances, and JICA Environmental and Social Safeguard Guidelines, relative to the ROW acquisition.

3.1.1 Basic National Policy

The overall objective of this RAP Policy is anchored on the Bill of Rights of the Constitution of the Republic of the Philippines.

- 1) Article III, Bill of Rights, Section 1: “No person shall be deprived of life, liberty, or property without due process of law, nor shall any person be denied the equal protection of the laws.”
- 2) Article III, Bill of Rights, Section 9: Private property shall not be taken for public use without “just compensation”.
- 3) Article XII, Section 5: “The State...shall protect the rights of indigenous cultural communities to their ancestral lands to ensure their economic, social, and cultural well-being “By act of Congress, customary laws governing property rights or relations can be applied in determining the ownership and extent of ancestral domains.
- 4) Article XIII, Urban Land Reform and Housing, Section 10: “Urban or rural poor dwellers shall not be evicted, nor their dwelling demolished, except in accordance with law and in a just and humane manner. No resettlement of urban or rural dwellers shall be undertaken without adequate consultation with them and the communities where they are to be relocated.”

3.1.2 RA 10752 “The Right-of-Way Act”

RA 10752- An Act Facilitating the Acquisition of Right-of-Way (ROW), Site or Location for National Government Infrastructure Projects, a law that was signed and took effect in March 2016 and its IRR. The RA 10752 provides the different bases for land valuation for the following modes of acquisition: negotiated sale and expropriation.

The law states that the Implementing Agency (IA) shall negotiate with the owner for the purchase of the property by offering the current market value issued by the Government Financing Institution (GFI) for the area where the affected property is located, or appraised market value identified by the private independent property appraiser (IPA) accredited by the Central Bank of the Philippines.

The law also states that valuation of the improvements and/or structures on the land to be acquired shall be based on the replacement cost which is defined as the amount necessary to replace the structure or improvement based on the current market prices for materials,

equipment, labor, contractor's profit and overhead, and all other attendant costs associated with the acquisition and installation in place of the affected improvements/installation.

Modes of Acquisition - Under the law, RA 10752 specifies the following methods: Donation, Quit Claim, Exchange or Barter, Negotiated Sale or Purchase, Expropriation and any other modes of acquisition authorized by law.

Market Value - Standards to determine market value. Negotiated sale between DPWH and the property owner based on the following standards to determine the market value:

- 1) The classification and use for which the property is suited;
- 2) The development costs for improving the land;
- 3) The value declared by the owners;
- 4) The current selling price of similar lands in the vicinity;
- 5) The reasonable disturbance compensation for the removal and/or demolition of certain improvements on the land and for the value for improvements thereon;
- 6) The size, shape and location, tax declaration and zonal valuation of the land;
- 7) The price of the land as manifested in the ocular findings, oral as well as documentary evidence presented; and
- 8) Such facts and events as to enable the affected property owners to have sufficient funds to acquire similarly-situated lands of approximate areas as those required from them by the government, and thereby rehabilitate themselves as early as possible.

Mode of Payment for Negotiated Sale - DPWH shall pay the property owner (i) fifty percent (50%) of the negotiated price of the affected land, exclusive of the payment of unpaid taxes remitted to the LGU concerned and (ii) seventy percent (70%) of the negotiated price of the affected structures, improvements, crops, and trees, exclusive of unpaid taxes remitted to the LGU concerned. DPWH shall pay the property owner the remaining fifty percent (50%) of the negotiated price of the affected land after the transfer of title in the name of the Republic of the Philippines, in cases where the land is wholly affected and at the time of the annotation of a deed of in cases where the land is partially affected. DPWH shall pay the remaining thirty percent (30%) of the affected structures, improvements, crops, and trees, exclusive of unpaid taxes remitted to the LGU concerned after the land is already completely cleared of structures, improvements, crops, and trees.

Quit Claim - A quit claim instrument is required to be executed by owners of lands acquired under the Public Land Act (Commonwealth Act 141) because of the reservation made in the issuance of patents or titles thereto. Even if the title or free patent describes the whole area as owned by the patentee or title holders, by operation of the law, a strip of 20 or 60 meters, as the case maybe, of that area described is not absolutely owned by him/her, because it is reserved by the government for public use. Hence, if the government should exercise its right to use the area reserved by it for public use, the owner shall be required to execute a Quit Claim over such area reserved and taken by the government for public use. This mode can be availed if the landowner is the original patent holder or the acquisition of the land from the original patent holder is through a gratuitous title, subject for the provision of CA 141 "Public Land Act" or PD 635. No payment shall be made for land acquired under the quit claim mode except for damages to improvements. However, if the landowner is not the

original patent holder and any previous acquisition of said land is not through gratuitous title, then this land is subject to other mode of acquisition as enumerated in RA 10752.

In case PAPs are qualified for compensation but with arrears on land tax. To facilitate the processing of payment on land acquired from the PAPs with tax arrears, the DPWH upon request by the property owner, will pay the arrears and deduct the amount to the total compensation cost provided that the amount is not more than the negotiated price.

In case the PAPs are qualified but already dead and the heirs have not undergone extra-judicial partition, the PAPs will be given a grace period to meet the requirement within the validity period of allotment for two (2) years. Beyond two years that the PAPs cannot comply with the requirement they have to settle the case in court.

In case of expropriation, the following will be followed:

- 1) For Structures: If the PAP rejects the compensation for structures at replacement cost offered by DPWH, the Department or the PAP may take the matter to court. When court cases are resorted to either by DPWH through expropriation or by the PAPs through legal complaints, the DPWH will deposit the replacement cost at current market value of structures and improvements.
- 2) For Land: If the owner contests the Department's offered value for compensation for land, the PAP or the DPWH may take the matter to court. DPWH shall immediately deposit to the court in favor of the owner the amount equivalent to a 100% of the value of the property based on the BIR zonal valuation. The court shall determine the just compensation, considering the standards for the assessment of the value of the land (Sec.7, RA 10752).

3.1.3 Other Applicable laws and Policies

DPWH Land Acquisition, Resettlement, Rehabilitation, and Indigenous Peoples Policy (LARRIPP) (March 2007) - To ensure uniformity of standards in the Resettlement Planning, a revised LARR Policy, 3rd edition, was formulated, now contains the Departments Indigenous People's policy in accordance with the Indigenous People Right Acts (IPRA) law, called the LARRIPP.

This policy includes the principles and objectives of the involuntary resettlement policy, the legal framework, eligibility, compensation and entitlements, the indigenous peoples' policy framework, implementation procedures that ensure complaints are processed, public support and participation, and the provision of internal and external monitoring of the implementation of the RAP and safeguard instrument for IPs.

Commonwealth Act 141 Section 112 or Public Land Act - prescribes a 20-meter strip of land reserved by the government for public use, with damages being paid for improvements only.

Presidential Decree 635 amended Section 112 of CA 141 increasing the width of the reserved strip of 20 meters to 60 meters.

EO 113 (1955) and EO 621 (1980)

- 1) National Roads shall have a ROW width of at least 20 meters in rural areas which may be reduced to 15 meters in highly urbanized areas.
- 2) ROW shall be at least 60 meters in unpatented public land.
- 3) ROW shall be at least 120 meters through natural forested areas of aesthetic or scientific value.

EO 1035

- 1) Financial assistance to displaced tenants, cultural minorities, and settlers equivalent to the annual gross harvest for the last 3 years and not less than PhP15, 000 per ha.
- 2) Compensation for improvements on land acquired under Commonwealth Act 141.
- 3) Government has the power to expropriate in case agreement is not reached.

MO 65, Series of 1983

- 1) Easement of ROW where the owner is paid the land value for the Government to use the land, but the owner still retains ownership over the land.
- 2) Quit claim where the Government has the right to acquire a 20 to 60 m width of the land acquired through CA 141. Only improvements will be compensated.

Republic Act 6389. Provides for disturbance compensation to agricultural lessees equivalent to 5 times the average gross harvest in the last 5 years.

Article 141, Civil Code. Real actions over immovable prescribe after thirty (30) years. This provision is without prejudice to what is established for the acquisition of ownership and other real rights by prescription (1963).

The Comprehensive Agrarian Reform Law Republic Act 6657 (1988). Section 28 provides that landowner shall retain his share of any standing crop un-harvested at the time the DAR shall take possession of the land under Section 16 of this Act and shall be given a reasonable time to harvest.

DPWH Department Order No. 34 s. 2007 to streamline and standardize its operating procedures DPWH issued the department order was issued to simplify the guidelines for the validation and evaluation of Infrastructure right-of-way claims. The Guidelines is in line with the provisions of the DPWH ROW Procedural Manual adopted under Department Order No.5, s. 2003, as amended, particularly in the validation and evaluation of claims for ROW acquisitions.

DPWH Department Order No.5 s. 2003 this order was issued to identify, acquire, and manage right-of-way (ROW) efficiently and in a timely manner for the implementation of infrastructure projects, an improved ROW process was adopted, among others, (i) it shall be applicable to all foreign-assisted and locally funded projects. (ii) The Implementing Office (IO) shall ensure that ROW costs are always included in project budgets. (iii) All ROW must be fully acquired and cleared before the issuance of the Notice of Award for the project.

DPWH Department Order No. 130 Series of 2016 provides the guidelines for the Implementation of the Provisions of Republic Act No. 6685 and Republic Act 9710 or the Magna Carta of Women. The Implementing Rules and Regulations mandates that contractors to hire a minimum percentage of 50% of unskilled and 30% skilled manpower requirement from the unemployed bona fide residents of the locality and shall be equally accessible to both women and men.

DPWH Department Order No. 152 Series of 2017 Directing the Use of DPWH Right-of-Way Acquisition Manual (DRAM) by All Concerned DPWH offices. The Manual provides a clear, uniform, and user-friendly guide on the rules and procedures for the acquisition of DPWH ROW for its infrastructure projects.

Indigenous People. The Indigenous Peoples' Rights Act (IPRA) of 1997. IPRA sets conditions, requirements, and safeguards for plans, programs, and projects affecting IPs. The important provisions of IPRA are:

- 1) Right to their ancestral domains. (Chapter III, Section 11);
- 2) Right to an informed and intelligent participation in the formulation and implementation of any project, government or private, that will impact upon their ancestral domains; (Chapter III, Section 7b);
- 3) Right to participate fully, if they so choose, at all levels of decision-making in matters which may affect their rights, lives and destinies through procedures determined by them; (Chapter IV, Section 16);
- 4) Right to receive just and fair compensation for any damages inflicted by or as a result of any project, government or private; (Chapter III, Section 7b);
- 5) Right to stay in their territory and not be removed from that territory. If relocation is necessary as an exceptional measure, it can only take place with the free and prior informed consent of the IPs and indigenous cultural communities (ICC) concerned; (Chapter III, Section 7c);
- 6) Right to be secure in the lands to which they have been resettled; (Chapter III, Section 7d);
- 7) Right to determine and decide their own priorities for the lands they own, occupy, or use; (Chapter IV, Section 17);
- 8) Right to maintain, protect, and have access to their religious and cultural sites; (Chapter IV, Section 33)

NCIP has issued number of administrative orders (AO) that put into operation the provisions of IPRA. The most important AO for purposes of this RAP is NCIP AO No. 3 or the Revised Guidelines on FPIC and Related Processes of 2012.

Republic Act 7279 is an act to provide for a comprehensive and continuing urban development and housing program, establish the mechanism for its implementation, and for other purposes. The law also provides that local government units in coordination with the National Housing Authority (NHA), shall implement the relocation and resettlement of persons living in danger areas such as esteros, railroad tracks, garbage dumps, riverbanks, shorelines, waterways, and in other public places as sidewalks, roads, parks, and playgrounds. The local government unit, in coordination with the National Housing Authority, shall provide relocation or resettlement

sites with basic services and facilities and access to employment and livelihood opportunities sufficient to meet the basic needs of the affected households and estate management.

3.2 Objectives and Principles of the Involuntary Resettlement Policy

- 1) Involuntary resettlement should be avoided where feasible.
- 2) Where population displacement is unavoidable, it should be minimized by exploring all viable project options.
- 3) People unavoidably displaced should be compensated and assisted, so that their economic and social future would be generally as favorable as it would have been in the absence of the project.
- 4) People affected should be fully informed and consulted on resettlement and compensation options.
- 5) As far as possible, involuntary resettlement should be conceived and executed as part of the project.

3.3 JICA Policies

The key policies and principles governing involuntary resettlement prescribed in the Japan International Cooperation Agency (JICA) Guidelines for Environmental and Social Considerations (April 2010) are as follow:

- 1) Involuntary resettlement and loss of means of livelihood are to be avoided when feasible by exploring all viable alternatives.
- 2) When, after such an examination, avoidance is proved unfeasible, effective measures to minimize impact and to compensate for losses must be agreed upon with the people who will be affected.
- 3) People who must be resettled involuntarily and people whose means of livelihood will be hindered or lost must be sufficiently compensated and supported by project proponents in a timely manner.
- 4) Prior compensation, at full replacement cost, must be provided as much as possible.
- 5) Host countries must make efforts to enable people affected by projects and to improve their standard of living, income opportunities, and production levels, or at least to restore these to pre-project levels. Measures to achieve this may include providing land and monetary compensation for losses (to cover land and property losses), supporting means for an alternative sustainable livelihood, and providing the expenses necessary for the relocation and re-establishment of communities at resettlement sites.
- 6) Meaningful participation of affected people and their communities must be promoted in the planning, implementation, and monitoring of resettlement action plans and measures to prevent the loss of their means of livelihood.
- 7) In addition, appropriate and accessible grievance mechanisms must be established for the affected people and their communities.
- 8) For projects that will result in large-scale involuntary resettlement, resettlement action plans must be prepared and made available to the public.

- 9) In preparing a resettlement action plan, consultations must be held with the affected people and their communities based on sufficient information made available to them in advance.
- 10) When consultations are held, explanations must be given in a form, manner, and language that are understandable to the affected people.

3.4 Gap Analysis and Project Principles

To ensure compliance and consistency with JICA Guidelines on Social and Environmental Considerations (2010), the review of JICA guidelines to compare to existing laws and policies on the road right-of-way acquisition has been conducted.

Table 3-1 present the results of the Gap Analysis.

Table 3-1. Gap Analysis and Gap Filling Measures

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
1	Involuntary resettlement and loss of means of livelihood are to be avoided when feasible by exploring all viable alternatives. (JICA GL)	<p>No person shall be deprived of life, liberty, or property without due process of law, nor shall any person be denied the equal protection of the laws (Article III, Bill of Rights, Section 1)</p> <p>Private property shall not be taken for public use without “just compensation (Article III, Bill of Rights, Section 9).</p> <p>Involuntary resettlement should be avoided where possible. Where population displacement is unavoidable, it should be minimized by exploring all viable project options (LARRIPP, 2007, Chapter II)</p>	While there is no specific law in the Philippines, there is no notable gap.	The project will compare and analyze different project alternatives considering the economic, environmental, and social impacts with priority given to the option that minimizes the scale of involuntary resettlement.
2	When population displacement is unavoidable, effective measures to minimize impact and to compensate for losses should be taken. (JICA GL)	<p>Provides compensation and entitlements for affected assets and properties within road right-of-way (LARRIPP, 2007, Chapter III)</p> <p>RA 10752 – provide just compensation for affected assets and properties within road right-of-way</p>	There is no notable gap.	The impact on the PAPs will be analyzed in view of the land, structure, crops, trees. Once the impacts have been identified, efforts to minimize such impacts would be undertaken and an appropriate level of compensation would be considered and described in the RAP for implementation.
3	People who must be resettled involuntarily and people whose means of livelihood will be hindered or lost must be sufficiently	<p>Monetary compensation will be made to people that legally own the land and structures affected by the project (RA10752, Article 5).</p> <p>The government will, in coordination with DHSUD and NHA, discuss with LGUs about</p>	LARRIPP covers compensation against lost livelihood including loss attributed to impact on business activities and	Compensation policy and package will be formulated based on the census, lost-asset inventory, and socioeconomic surveys

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
	compensated and supported, so that they can improve or at least restore their standard of living, income opportunities and production levels to pre-project levels. (JICA GL)	<p>identifying the resettlement site and developing them (RA10752 No.9)</p> <p>Government shall provide adequate appropriations that will allow Implementing Agencies to acquire ROW for national government projects. These appropriations include cost of development and implementation of resettlement projects including planning, and social preparation. Where necessary, this may include land development and housing construction, provision of basic services and community facilities, livelihood restoration and improvement (RA10752 Section 15).</p> <p>Among other types of entitlements that may be afforded to the PAFs/PAPs as compensation for lost livelihood is income loss and rehabilitation assistance (LARRIPP, 2007, Chapter III)</p> <p>For illegal residents, LGUs and NHA will collaborate to provide low-cost housings or a resettlement site to the PAPs (RA7279).</p>	therefore, there is no notable gap while there are limitations for the compensation amount.	and will consider the project impact on livelihood including that caused by project impact on business activities based on their socioeconomic status, the laws, and regulations in the Philippines and JICA Guidelines. Impact on business activities will be avoided as much as possible.
4	Compensation must be based on the full replacement cost as much as possible. (JICA GL)	<p>In negotiating the level of compensation, project proponents must pay to the owner:</p> <ol style="list-style-type: none"> 1) Current market price of land; 2) For negotiated sale, payment of capital gains tax (CGT), the documentary stamp tax, transfer tax and registration fees are shouldered by the Implementing Agency (IA). 	There is no notable gap for the negotiated sale.	Compensation will be provided to the PAPs based on the full replacement cost measured based on the current market value.

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
		<p>3) Replacement cost for structure and other assets; and</p> <p>4) Current market value of the crops and trees (RA 10752 No.5, No.6).</p>		
5	Compensation and other kinds of assistance must be provided prior to displacement. (JICA GL)	<p>Under R.A. 10752, PAPs will be paid only 50% of the negotiated price of the affected land and 70% of the negotiated price of the affected structures, improvements, crops, and trees upon the execution of a deed of sale. The balance of payment is paid as stated below provided that the land is already completely cleared of structures, improvements, crops, and trees.</p> <p>(1) At the time of the transfer of title in the name of the Republic of the Philippines, in cases where the land is wholly affected; or</p> <p>(2) At the time of the annotation of a deed of sale on the title, in cases where the land is partially affected.</p>	Compensation and other support to the PAPs are not provided fully prior to displacement	All compensation and support will be provided to the PAPs prior to displacement.
6	For projects that entail large-scale involuntary resettlement, resettlement action plans must be prepared and made available to the public. (JICA GL)	<p>National Economic and Development Authority (NEDA) ICC Policy requires the project proponent to acquire the ROW and to prepare and submit a resettlement action plan.</p> <p>DPWH ROW Manual states that the RAP will be disclosed at the validation stage during the DED stage.</p>	LARRIPP 2007 requires the RAP to be disclosed at the validation stage so there is no notable gap.	RAP will be prepared and be made available on DPWH's webpage under this project.
7	In preparing a resettlement action plan, consultations must be held with the affected people and	No resettlement of urban or rural dwellers shall be undertaken without adequate consultation with them and the communities	There is no notable gap.	PAPs will be invited to attend the stakeholder meetings from the early stage of the project to

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
	their communities based on sufficient information made available to them in advance. (JICA GL)	<p>where they are to be relocated. (Philippine Constitution: Section 10).</p> <p>Adequate consultations on the matter of resettlement with the duly designated representatives of the families to be resettled and the affected communities in the areas where they are to be relocated shall be mandatory (RA 7279 Section 28).</p> <p>Conduct barangay Public Consultation Meetings (PCMs). PCMs must be held in each barangay that will be traversed by the project. (DPWH DO 152 2017)</p>		implementation stage.
8	When consultations are held, explanations must be given in a form, manner, and language that are understandable to the affected people. (JICA GL)	All information on the project must be made public in a language and form easily understandable to the people (DENR Administrative Order No. 96-37 Article 2).	While the laws in the Philippines do not clearly mention affected people (*instead they use the word beneficiaries), there appears to be no notable gap in essence.	Stakeholder meetings and public consultations will be held in a language widely used in the local area with visual aids.
9	Appropriate participation of affected people must be promoted in planning, implementation, and monitoring of resettlement action plans. (JICA GL)	<p>No. 23 of RA 7279 states that the beneficiaries of the project must, in coordination with the Presidential Commission for the Urban Poor (PCUP) and relevant government bodies, participate in the decision-making process concerned with protecting and promoting legal collective interest.</p> <p>Public Consultation Meetings (PCMs) must be held in each barangay that will be</p>	There is no notable gap.	Participation of the PAPs will be promoted by having discussions with the PAPs from early stage of RAP preparation at the scoping stage throughout the survey. Their livelihood will be monitored continuously

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
		traversed by the project. Venues for PCMs must be neutral grounds such as barangay halls, day care centers, public schools, and the like (DPWH ROW Acquisition Manual Section 2.4 and 2.5).		into the implementation stage of the project.
		With regards to monitoring, Chapter VIII of LARRIPP 2007 stipulates the objective, scope, monitoring mechanism, stages and frequency of monitoring, schedule of implementation, reporting and monitoring indicators		
10	Appropriate and accessible grievance mechanisms must be established for the affected people and their communities. (JICA GL)	<p>RA9285 (Alternative Dispute Resolution (ADR) Act of 2004) recommends that disputes be resolved through an alternative dispute resolution (ADR).</p> <p>A grievance redress procedure is described in Chapter VI of the LARRIPP that if the complaint is not satisfactorily resolved in 15 days or the PAP does not receive any response from the RIC, the PAP can forward the complaint to or file an appeal at the DPWH Regional Office (RO) and if the complaint is not satisfactorily resolved in 15 days or the PAP does not receive any response from the DPWH RO, the PAP can file a legal complaint in any appropriate Court of Law.</p>	There is no notable gap.	A grievance redress mechanism (i.e. municipal and city RAP implementation committee/ M/CRIC) will be formed based on LARRIPP prior to implementation of the RAP and finalized in consultation with DPWH and other relevant government bodies.
11	Affected people are to be identified and recorded as early as possible to establish their eligibility through	<p>LGUs must prepare an inventory of informal settler families (ISFs) (RA7279).</p> <p>According to Article 4 of the rules for registers of welfare housing:</p>	There is no notable gap.	Affected people will be identified at an early stage of the study as part of the RAP survey, which consists of census,

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
	an initial baseline survey (including population census that serves as an eligibility cut-off date, asset inventory, and socioeconomic survey), preferably at the project identification stage, to prevent a subsequent influx of encroachers of others who wish to take advance of such benefits. (WB OP4.12 Para.6)	<ul style="list-style-type: none"> Under each LGU, the city/town will be responsible for registering socially vulnerable and homeless people; and Registration will take place at the barangay level in the barangay registration committee with the barangay captain taking responsibility <p>DRAM stipulates the procedures of preparing a RAP, which mentions carrying out census and socioeconomic surveys as well as tagging of affected structures.</p> <p>DRAM stipulates that PAPs shall be determined based on the cut-off date.</p>		lost-asset inventory, and socioeconomic surveys. A cut-off date will be set at the commencement day of the census survey and announced at the first stakeholder meeting and/or through other appropriate means.
12	Eligibility of benefits includes, the PAPs who have formal legal rights to land (including customary and traditional land rights recognized under law), the PAPs who don't have formal legal rights to land at the time of census but have a claim to such land or assets and the PAPs who have no recognizable legal right to the land they are occupying. (WB OP4.12 Para.15)	<p>Compensation of structures and improvements - among the non-regular residents of the public land, those eligible for relocation based on RA 10752 Section 5 (b) are those:</p> <ul style="list-style-type: none"> having Filipino nationality; be a homeless citizen below the poverty level; do not own real estate in urban and rural areas; and not a member of a professional squatter or squatter syndicate. <p>According to RA Implementation Rule 10 of 10752, informal settlers of private land is: those that do not meet the above four requirements but have proof of ownership of the structure (such as a disclaimer certificate issued by the owner or</p>	Many informal settlers that do not meet the requirements may occupy the site of the government but unless they: (a) meet the requirements set forth in RA10752 and RA7279; or (b) have a certificate that shows the consent of the owner, they cannot receive compensation for their structure.	Based on the findings of socioeconomic survey, an entitlement matrix will be prepared for both formal and informal settlers.

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
		<p>a local government) and have the right to compensation.</p> <p>The government, through the Housing and Urban Development Coordinating Council (HUDCC) and the National Housing Authority (NHA), in coordination with the LGUs and implementing agencies concerned, shall establish, and develop resettlement sites for informal settlers. Eligible Residents (RA 7279) who are informal settlers are:</p> <ul style="list-style-type: none"> • having Filipino nationality; • be a homeless citizen below the poverty level; • do not own real estate in urban and rural areas; and • not a member of a professional squatter or squatter syndicate. 		
13	Preference should be given to land-based resettlement strategies for displaced persons whose livelihoods are land-based. (WB OP4.12 Para.11)	According to Chapter III A-4-d of LARRIPP 2007, Land swapping if feasible, 'land for land', will be provided in terms of a new parcel of land of equivalent market value, at a location acceptable under zoning laws, or a plot of equivalent value, whichever is larger, in a nearby resettlement area with adequate physical and social infrastructure.	There is no legal rule that prioritize land-based resettlement strategies.	Preference would be given to the extent possible, subject to availability of land and other circumstances, to land-based resettlement strategies for displaced persons whose livelihoods are land-based. FGDs will be held based on the socioeconomic survey to ensure that there is no negative change when compared with the

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
				affected people's income before relocation (land-based livelihoods etc.).
14	Provide support for the transition period (between displacement and livelihood restoration). (WB OP4.12 Para.6)	DO 327 ANNEX B Guideline for Infra project stipulates the “Transitional allowance” for house tenants: equivalent to one month rent and shop owners: income loss during demolition and reconstruction of their shop maximum one month. Moreover, DO 327 provides Rehabilitation Assistance in the form of special skills training or other development activities (P15,000 per training).	The DO 327 provides for a transition period allowance, ensuring no gaps in the support item.	Support for the transition period will be offered to the dislocated PAPs under this project.
15	Particular attention must be paid to the needs of the vulnerable groups among those displaced, especially those below the poverty line, landless, elderly, women and children, ethnic minorities etc. (WB OP4.12 Para.8)	RA 8381 section II declare that the states shall recognize and promote all the rights of Indigenous Cultural Communities /Indigenous Peoples. DO 327 ANNEX B Guideline for Infra project stipulates the “Rehabilitation Assistance” in the form of special skill trainings for severely affected PAPs. LARRIPP 2007 Chapter II stipulated the provision of appropriate assistance to the vulnerable group.	There is no notable gap.	During the public consultation, the socially vulnerable groups will be invited to know their needs and solicit comments and suggestions on what assistance they need. In addition to this, they will be identified during the RAP survey and necessary support will be provided.
16	For projects that entail land acquisition or involuntary resettlement of fewer than 200 people, abbreviated	The Resettlement Action Plan (RAP) refers to the planning document that describes what will be done to address the direct social and economic impacts associated with involuntary taking of land or land acquisition. The RAP is acceptable if	There is no notable gap.	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No	JICA Guidelines and World Bank OP 4.12	Legislation of Philippines	Major Gaps	Proposed Gap Filling Measures
	resettlement plan is to be prepared. (WB OP4.12 Para.25)	fewer than 200 people are affected. It is also acceptable if more than 200 people are affected so long as all land acquisition is minor (10 percent or less of all holdings is taken) and no physical relocation is required (LARRIPP, 2007).		

4 SCOPE OF LAND ACQUISITION AND RESETTLEMENT

4.1 Summary of Project Impacts

The feasibility study aimed to identify the road alignment option that would result in minimal disturbance to the community, especially in terms of involuntary displacement. However, the study showed that complete avoidance of existing properties was not possible, and displacement will still occur.

Project impacts are classified into three (3) main types: impacts on land, impacts on structure and improvements, and impacts on crops and trees.

A total of 484 PAPs will be affected by the project. In terms of the number of project-affected households, there are 96 PAHs comprising 92 owners, two (2) co-owners, and two (2) sharers/rent-free occupants.

The 96 PAHs who are informal (non-landowner) settlers are considered for relocation to the resettlement site, subject to the eligibility criteria under SEC. 16. Eligibility Criteria for Socialized Housing Program Beneficiaries of the Republic Act No. 7279. This eligibility can be further validated during the conduct of the Detailed Engineering Design study.

Based on Table 4-1, a total of 298 structures will be affected by the project. These structures are distributed as residential structures (99 units), residential-commercial structures (1 unit), commercial structures (3 units), institutional structures (4 units), community structures (52 units), and other structures (139 units). Notably, all structures used for commercial purposes are reported to have no employees.

In terms of land acquisition, a total of 3,943,800 m² will be acquired, which traverses the 27 barangays. The project affected area has a total of 352 parcels of land. In terms of loss of crops and trees, agricultural crops covering an area of 2,571,526 m² & 2,552 coconuts and 9,815 productive trees will lose, respectively.

A summary of the project impacts is shown in Table 4-1.

Table 4-1. Summary of Project Impacts

Summary of Project Impacts		Total
No. of Project-Affected Households		96 (379 persons)
No. of Project-Affected Persons		484
Loss of Structures/Improvements and utilities	No. of Project-Affected Persons by Losing Structures	132
	No. of Affected Residential Structures	99
	No. of Affected Residential-Commercial Structures	1
	No. of Affected Commercial Structures	3

Summary of Project Impacts		Total
	No. of Affected Institutional Structures	4
	No. of Affected Community Structures	52
	No. of Affected Other Structures	139
Loss of Land	No. of Project-Affected Persons by Losing Parcel of Land	352
	No. of Affected Parcels of Land	405
	Total Affected Land Area (m ²)	3,943,800
Loss of Crops	Land Area of Affected Agricultural Crops (m ²)	2,571,526
	No. of Affected Coconut	2,552
Loss of Trees	No. of Affected Forest / Fruit Trees / Other Forest Products	9,815

The survey identified a total of 484 Project-Affected Persons (PAPs). Among these, 350 are landowners, and 130 are exclusively structure owners. Notably, only two (2) PAPs are land and structure owners, while the other two (2) are neither, as they reside as sharers or rent-free occupants.

Of the 350 landowners, a significant majority are individuals, amounting to 338. The remaining landowners are entities; eight (8) are firms or private entities, and four (4) are public or government entities.

Table 4-2. Total Project-Affected Persons

Project-Affected Persons (PAPs)	Total PAPs	Tenurial Status on Land	
		Formal ³ (landowner)	Informal ⁴ (non-landowner)
1. PAPs for Relocation/Resettlement	96 (379 persons)	0	96 (379 persons)
a) Project-Affected Households (owns structure only)	94	0	94
a) Project-Affected Households (sharer/rent-free occupant)	2	0	2
2. PAPs which do not need relocation	388	352	36
a) Project-Affected Firm/Private Entity	14	9	5
i. owns land only	8	8	0
ii. owns structure only	5	0	5
iii. owns both land and structure	1	1	0
b) Project-Affected Public/Government Entity	10	5	5

³ Formal (landowners) are defined as the people who have legal rights over the affected land.

⁴ Informal (non-landowners) include structure owners, renters, rent-free occupants/sharers, and caretakers who do not own the land.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Project-Affected Persons (PAPs)	Total PAPs	Tenurial Status on Land	
		Formal ³ (landowner)	Informal ⁴ (non-landowner)
<i>i. owns land only</i>	4	4	0
<i>ii. owns structure only</i>	5	0	5
<i>iii. owns both land and structure</i>	1	1	0
c) PAPs (individual)	364	338	26
<i>i. owns land only</i>	338	338	0
<i>ii. owns structure only</i>	26	0	26
Total PAPs	484	352	132

Note: The table above is subject to validation during the Detailed Design stage

4.2 Project-Affected Households (PAHs)

In the conduct of the socioeconomic survey, the study team considered the households and business owners occupying the project area. These PAHs either have structures for residential, residential-commercial, and commercial purposes and were surveyed to determine their socioeconomic profile. A total of **96 PAHs** (including 22 IP PAFs) with **103 structures** were classified further as **99 residential**, one **(1) residential-commercial**, and three **(3) commercial structures**. These were considered in the survey (excluding under-construction and secondary structures) but only **71 PAHs** were interviewed since the 15 PAHs were out during the survey, two (2) PAHs refused to be interviewed and eight (8) absentee house owners. The two households who did not participate in the survey were not supportive of the project since their properties will be affected and they are requesting for realignment.

Table 4-3. Total Project-Affected Households (PAHs)

Tenurial Status	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug -ong	City of Malaybalay	No	%
Interviewed	2	13	21	11	15	9	71	74%
<i>Owner</i>	2	13	19	10	15	8	67	
<i>Co-owner</i>	0	0	0	1	0	1	2	
<i>Sharer/ Rent-Free Occupant</i>	0	0	2	0	0	0	2	
Not Interviewed	1	6	11	1	3	3	25	26%
<i>Out During Census</i>	1	5	6	0	1	2	15	
<i>Refused to be Interviewed</i>	0	0	2	0	0	0	2	
<i>Absentee House Owner</i>	0	1	3	1	2	1	8	
Total	3	19	32	12	18	12	96	100%

The confirmed 22 IP PAFs, who occupied land inside the ROW, belong to the Higaonon (15), Talaandig (6), and Bukidnon-Tagoloanon (1) communities, with an average household size of 5. All affected IP PAFs considered vulnerable are entitled to compensation and inclusion in the livelihood restoration program. Additionally, all IP PAFs were invited to attend a series of consultation meetings during both the RAP public consultation and the IPP FPIC process.

Out of these 22 IP PAFs, 19 IP PAFs are located in the province of Bukidnon, and three (3) IP PAFs are situated in the Province of Misamis Oriental. However, only 13 IP PAFs are located within the Ancestral Domain (AD) area and have undergone the FPIC process for inclusion in the Indigenous Peoples Plan.

Furthermore, all 22 IP PAFs were invited to attend during the RAP public consultations meetings. While the 19 PAFs were invited during the FPIC and IPP Consultation Meetings.

Table 4-4. Distribution of Affected Indigenous Peoples

Ethnicity/ Ethnic Group	Misamis Oriental		Bukidnon				Total	
	Tagloan	City of Cagayan De Oro	Manolo Fortich	Sumilao	Impasug- ong	City of Malaybaly	No.	%
IP PAFs inside the affected Ancestral Domain								
Higanon	0	0	0	7	0	0	7	32%
Talaandig	0	0	6	0	0	0	6	27%
Sub-total	0	0	6	7	0	0	13	59%
IP PAFs inside the affected Ancestral Domain								
Bukidnon- Tagoloanon	0	0	0	0	0	1	1	5%
Higanon	1	2	0	0	5	0	8	36%
Sub-total	1	2	0	0	5	1	9	41%
Total	1	2	6	7	5	1	22	100%

4.3 Asset Inventory

The CMHSHCP will involve road construction and improvements to include widening, slope protection and drainage that will require the road right-of-way acquisition of public land and private land. Land acquisition will cause physical and economic displacement such as (i) permanent loss of land along the required 60-m ROW, (ii) loss/damage to structures and improvement, (iii) loss of crops and trees, (iv) loss of income/business, (v) increase vulnerability, and (vi) temporary loss or disruption of land use or other assets during construction works, specifically the nature of movement of construction materials to and from work sites is also anticipated.

4.3.1 Impacts on Land

The CMHSHCP measures 65.50 km long and will require a total land area of 3,943,800 m² of land. Since no complete/updated land use plan was provided by the LGUs, the RAP team delineated using GPS. The road traverses 27 affected barangays of the six (6) affected LGUs. Based on research data the land use classification of project area is agricultural land.

On the other hand, there are 405 parcels of land owned by 352 PAPs, out of which 129 were identified based on the official land ownership documents provided by the LGUs and DENR. The remaining 223 PAPs will be determined during the conduct of a parcel survey under the DED stage. Thus, the severity of impacts on all affected land cannot be determined at this time. All land parcel owners live outside the ROW.

4.3.1.1 Cadastral Maps

Figure 4-1 presents the available maps from DENR and affected LGUs:

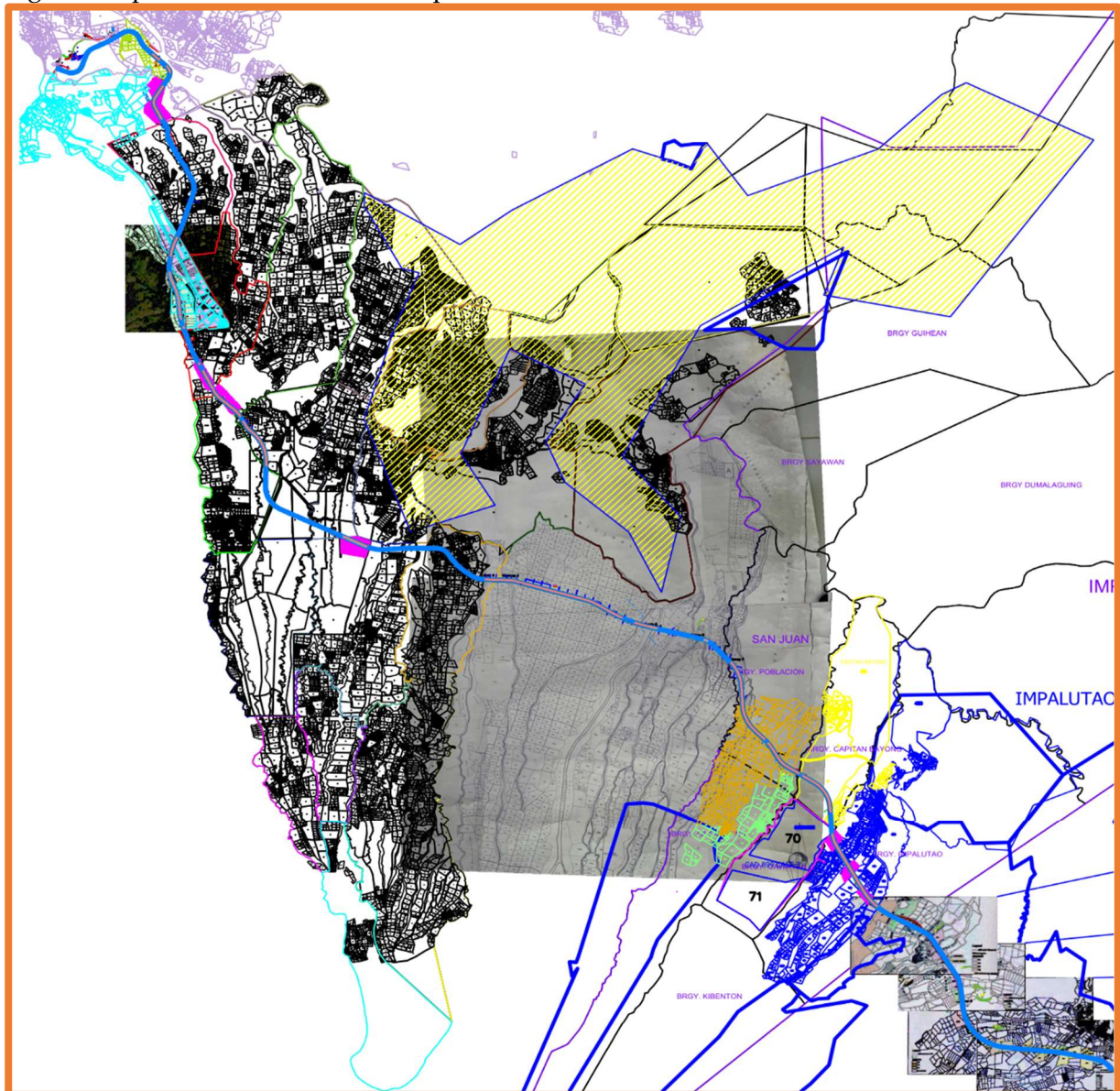


Figure 4-1 Cadastral Map

4.3.1.2 Land Use and Areas affected

The majority of the affected land by the projects is currently classified as agricultural land, some with plantations typically designated for the cultivation of pineapples and bananas.

4.3.1.3 Land Valuation Map

The affected Cities and Municipalities' valuation maps are unavailable due to the ongoing updating of their tax mapping system.

4.3.1.4 Pricing of Land Based on BIR Zonal Values

The complete list of BIR zonal valuations is appended in Volume 2- Appendix 2b.

4.3.1.5 Pricing of Land Based on Tax Declaration

The available tax declaration is appended in Volume 2- Appendix 2c.

4.3.1.6 Recent Prices of Comparable Properties in the Area

The complete list of recent prices of comparable properties in the area based on the IPA, is appended in Volume 2- Appendix 2d.

4.3.1.7 OCTs/TCTs and Tax Declaration with Lot Descriptions

The available OCTs/TCTs and Tax Declaration with Lot Descriptions is appended in Volume 2- Appendix 2e.

Additionally, Table 4-5 provides details of the project components requiring land acquisition and bridge approaches (Appendix 1 – Impacts on Land).

Table 4-5. Loss of Land*

Affected LGUs	No. of Parcel of Land**	Total No. of Affected Landowner			Loss of Land (sq.m.)					Total (sq.m.)
		Identified Landowner	To be identified during DED	Total No. of Affected Landowners	Agricultural	Others				
						Canyon	Creek	River	Road	
Misamis Oriental	80	37	20	57	598,418	-	-	-	2,506	600,924
Tagoloan	23	7	16	23	369,425	-	-	-	1,280	370,705
City of Cagayan de Oro	57	30	4	34	228,993	-	-	-	1,226	230,219
Bukidnon	325	92	203	295	3,035,932	26,853	89,418	152,646	38,027	3,342,876
Manolo Fortich	129	-	129	129	1,329,240	-	1,596	37,645	1,622	1,370,103
Sumilao	44	-	44	44	536,084	26,853	7,785	82,034	21,704	674,460
Impasug-ong	84	45	14	59	506,381	-	38,368	32,967	5,715	583,431
City of Malaybalay	68	47	16	63	664,227	-	41,669	-	8,986	714,882
Total	405	129	223	352	3,634,350	26,853	89,418	152,646	40,533	3,943,800
%		36.6%	63.4%	100%	92.2%	0.7%	2.3%	3.9%	1.0%	100%

* Due to the unavailability of most land data from the affected LGUs, the severity of land impacts can only be determined during the conduct of the parcel survey at the DED stage.

**excluding canyon, creek, river and road

4.3.2 Impacts on Structures

Interviews conducted with structure owners revealed that all the affected structures are situated on private lands. Table 4-6 shows a list of these structures per LGU. Details such as the valuation of each structure based on replacement cost as defined in Section 10 of the IRR of R.A. 10752 are in Appendix 2 - Impacts on Structure.

Table 4.6 shows that out of the total 298 structures, 103 are considered main structures, including 99 residential, 1 residential-commercial, and 3 commercial structures. Additionally, institutional and community facilities such as a basketball court, chapel, stage, and electrical post are affected. The remaining structures, like comfort rooms, kitchens, fences, storage, etc., make up nearly half (139) of the total affected structures. All structures and improvements are severely impacted.

Table 4-6. Loss of Structures

Affected LGUs	Loss of Structures						Total
	Residential	Residential Commercial	Commercial	Institutional	Community	Others	
Misamis Oriental	24	1	0	0	8	30	63
<i>Tagoloan</i>	3	0	0	0	6	7	16
<i>City of Cagayan de Oro</i>	21	1	0	0	2	23	47
Bukidnon	75	0	3	4	44	109	235
<i>Manolo Fortich</i>	31	0	1	3	17	50	102
<i>Sumilao</i>	13	0	0	0	3	17	33
<i>Impasug-ong</i>	19	0	1	1	11	19	51
<i>City of Malaybalay</i>	12	0	1	0	13	23	49
Total	99	1	3	4	52	139	298
%	33.2%	0.3%	1.0%	1.3%	17.4%	46.6%	100%

Affected structures used for residential purposes are tabulated below. The 99 severely affected structures have an area of 4,059 m² and this translates to 98% severity.

Table 4-7. Loss of Residential Structures

Affected LGUs	No. of Residential Structures	Affected Residential Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	24	721	721	100%	0	24
<i>Tagoloan</i>	3	101	101	100%	0	3
<i>City of Cagayan de Oro</i>	21	620	620	100%	0	21
Bukidnon	75	3,443	3,339	97%	0	75
<i>Manolo Fortich</i>	31	1,478	1,417	96%	0	31
<i>Sumilao</i>	13	573	530	92%	0	13
<i>Impasug-ong</i>	19	844	844	100%	0	19

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Affected LGUs	No. of Residential Structures	Affected Residential Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
<i>City of Malaybalay</i>	12	549	549	100%	0	12
Total	99	4,163	4,059	98%	0	99

For residential-commercial use, one (1) severely affected structure was identified during the socioeconomic survey covering an area of 22 m². The sari-sari with a house is located in Cagayan de Oro City.

Table 4-8. Loss of Residential-Commercial Structures

Affected LGUs	No. of Residential-Commercial Structures	Affected Residential-Commercial Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	1	22	22	100%	0	1
<i>Tagoloan</i>	0	0	0	0%	0	0
<i>City of Cagayan de Oro</i>	1	22	22	100%	0	1
Bukidnon	0	0	0	0%	0	0
<i>Manolo Fortich</i>	0	0	0	0%	0	0
<i>Sumilao</i>	0	0	0	0%	0	0
<i>Impasug-ong</i>	0	0	0	0%	0	0
<i>City of Malaybalay</i>	0	0	0	0%	0	0
Total	1	22	22	100%	0	1

For the loss of commercial structure, it shows that there are three (3) severely affected structures with an area of 108 m². The 3 affected commercial structures are piggery, sari-sari store, and small-scale waste processing.

Table 4-9. Loss of Commercial Structures

Affected LGUs	No. of Commercial Structures	Affected Commercial Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	0	0	0	0%	0	0
<i>Tagoloan</i>	0	0	0	0%	0	0
<i>City of Cagayan de Oro</i>	0	0	0	0%	0	0
Bukidnon	3	108	108	100%	0	3
<i>Manolo Fortich</i>	1	8	8	100%	0	1
<i>Sumilao</i>	0	0	0	0%	0	0
<i>Impasug-ong</i>	1	70	70	100%	0	1
<i>City of Malaybalay</i>	1	30	30	100%	0	1
Total	3	108	108	100%	0	3

For the loss of institutional structures such as basketball court, chapels and stage, it shows that the four (4) severely affected structures have an area of 458 m².

Table 4-10. Loss of Institutional Structures

Affected LGUs	No. of Institutional Structures	Affected Institutional Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	0	0	0	0%	0	0
<i>Tagoloan</i>	0	0	0	0%	0	0
<i>City of Cagayan de Oro</i>	0	0	0	0%	0	0
Bukidnon	4	496	458	92%	0	4
<i>Manolo Fortich</i>	3	447	409	92%	0	3
<i>Sumilao</i>	0	0	0	0%	0	0
<i>Impasug-ong</i>	1	49	49	100%	0	1
<i>City of Malaybalay</i>	0	0	0	0%	0	0
Total	4	496	458	92%	0	4

For the loss of community structures such as electric post, waiting shed, water tank, etc., it shows that all of them are severely affected structures.

Table 4-11. Loss of Community Structures

Affected LGUs	No. of Community Structures	Affected Community Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	8	9	9	100%	0	8
<i>Tagoloan</i>	6	0	0	0%	0	6
<i>City of Cagayan de Oro</i>	2	9	9	100%	0	2
Bukidnon	44	267	267	100%	0	44
<i>Manolo Fortich</i>	17	30	30	100%	0	17
<i>Sumilao</i>	3	36	36	100%	0	3
<i>Impasug-ong</i>	11	201	201	100%	0	11
<i>City of Malaybalay</i>	13	0	0	0%	0	13
Total	52	276	276	100%	0	52

Majority of the other structures are comfort room, dirty kitchen, extensions, fences, etc. are severely affected by the project.

Table 4-12. Loss of Other Structures

Affected LGUs	No. of Other Structures	Affected Other Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
Misamis Oriental	30	5,710	3,550	62%	1	29
<i>Tagoloan</i>	7	1,851	1,851	100%	0	7

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Affected LGUs	No. of Other Structures	Affected Other Structures				
		Total Area	Affected Area	Severity		
				% Severity	Marginally-Affected	Severely-Affected
<i>City of Cagayan de Oro</i>	23	3,859	1,699	44%	1	22
Bukidnon	109	18,486	11,117	60%	4	105
<i>Manolo Fortich</i>	50	10,073	4,323	43%	3	47
<i>Sumilao</i>	17	1,023	1,023	100%	0	17
<i>Impasug-ong</i>	19	2,377	777	33%	1	18
<i>City of Malaybalay</i>	23	5,013	4,995	100%	0	23
Total	139	24,196	14,667	61%	5	134

Majority of the structures are made up of light materials (51%) followed by concrete/permanent (38%) and semi-permanent materials (11%).

Table 4-13. Type of Structures

Affected LGUs	Type of Structure			Total
	Concrete/Permanent	Semi-Permanent	Light	
Misamis Oriental	15	10	38	63
<i>Tagoloan</i>	6	3	7	16
<i>City of Cagayan de Oro</i>	9	7	31	47
Bukidnon	99	22	114	235
<i>Manolo Fortich</i>	51	10	41	102
<i>Sumilao</i>	11	2	20	33
<i>Impasug-ong</i>	17	4	30	51
<i>City of Malaybalay</i>	20	6	23	49
Total	114	32	152	298
%	38%	11%	51%	100%

4.3.3 Summary of Affected Crops

The project is also seen to impact livelihood as crops that provide income to PAPs will be displaced. As discussed during the public consultation meetings, production of agricultural products such as banana, corn, rice, and other crops play a vital role as sources of income of the residents and farm workers in the locality (Appendix 3 – Impacts on Crops).

The estimated number of affected agricultural crops and number of affected coconuts is shown in Table 4-14.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Table 4-14. Loss of Crops

Affected LGUs	Total Number of Coconut	Agricultural Crops (sq. m.)						Total Agricultural Crops (sq.m.)
		Pineapple	Corn	Banana	Sugarcane	Cassava	Others*	
Misamis Oriental	2,143	0	9,600	7,866	3,600	21,600	16,200	58,866
<i>Tagoloan</i>	<i>1,037</i>	<i>0</i>	<i>0</i>	<i>4,866</i>	<i>3,600</i>	<i>0</i>	<i>5,400</i>	<i>13,866</i>
<i>City of Cagayan de Oro</i>	<i>1,106</i>	<i>0</i>	<i>9,600</i>	<i>3,000</i>	<i>0</i>	<i>21,600</i>	<i>10,800</i>	<i>45,000</i>
Bukidnon	409	1,434,000	453,800	215,210	168,000	121,150	120,500	2,512,660
<i>Manolo Fortich</i>	<i>333</i>	<i>677,400</i>	<i>84,000</i>	<i>9,460</i>	<i>0</i>	<i>83,850</i>	<i>26,400</i>	<i>881,110</i>
<i>Sumilao</i>	<i>40</i>	<i>285,000</i>	<i>48,000</i>	<i>5,200</i>	<i>1,200</i>	<i>32,500</i>	<i>8,400</i>	<i>380,300</i>
<i>Impasug-ong</i>	<i>21</i>	<i>305,400</i>	<i>189,000</i>	<i>88,950</i>	<i>51,600</i>	<i>4,800</i>	<i>44,800</i>	<i>684,550</i>
<i>City of Malaybalay</i>	<i>15</i>	<i>166,200</i>	<i>132,800</i>	<i>111,600</i>	<i>115,200</i>	<i>0</i>	<i>40,900</i>	<i>566,700</i>
Total	2,552	1,434,000	463,400	223,076	171,600	142,750	136,700	2,571,526

*Others include: squash, rice, dragon fruit, calamansi, baguio beans, etc.

4.3.4 Summary of Affected Trees

The affected number of trees is 9,815. Data on the number, type and valuation of rubber plant, gmelina, falcata, african tulip, mango, lansones, and others are provided in Appendix 4 – Impacts on Trees.

Table 4-15. Loss of Trees (No.)

Affected LGUs	Forest / Fruit Trees / Other Forest Products (n)							Total**
	Rubber Tree	Gmelina	Falcata	African Tulip	Mango	Lansones	Others*	
Misamis Oriental	0	197	12	8	195	34	683	1,129
<i>Tagoloan</i>	<i>0</i>	<i>86</i>	<i>12</i>	<i>4</i>	<i>169</i>	<i>0</i>	<i>508</i>	<i>779</i>
<i>City of Cagayan de Oro</i>	<i>0</i>	<i>111</i>	<i>0</i>	<i>4</i>	<i>26</i>	<i>34</i>	<i>175</i>	<i>350</i>
Bukidnon	2,296	892	697	633	341	490	3,337	8,686
<i>Manolo Fortich</i>	<i>635</i>	<i>345</i>	<i>53</i>	<i>329</i>	<i>302</i>	<i>203</i>	<i>1,640</i>	<i>3,507</i>
<i>Sumilao</i>	<i>1</i>	<i>103</i>	<i>58</i>	<i>110</i>	<i>11</i>	<i>91</i>	<i>606</i>	<i>980</i>
<i>Impasug-ong</i>	<i>417</i>	<i>250</i>	<i>121</i>	<i>87</i>	<i>15</i>	<i>118</i>	<i>635</i>	<i>1,643</i>
<i>City of Malaybalay</i>	<i>1,243</i>	<i>194</i>	<i>465</i>	<i>107</i>	<i>13</i>	<i>78</i>	<i>456</i>	<i>2,556</i>
Total	2,296	1,089	709	641	536	524	4,020	9,815

*Others include: mahogany, antipolo, agoho, marang, nangka, etc.

**One of the affected landowner (Magic Farm and Ranch) did not allow the survey team to conduct the IOL for Crops and Trees.

5 CENSUS, ASSET INVENTORY AND SOCIOECONOMIC STUDY

5.1 Socioeconomic Profile

In determining the extent of impacts on the loss of land, structures, crops, and tress, only the households occupying the affected project areas were considered during the conduct of the socioeconomic survey (SES).

The SES includes information on gender, age, civil status, educational attainment, religion, place of origin, length of stay, primary occupation/source of income of household heads, estimated income from primary source for the last 12 months, secondary occupation/income source, total income for the last 12 months, estimated total monthly household expenditures, and average monthly expenses. The results provide the socioeconomic profiles of the directly affected households.

5.1.1 Affected Local Government Units (LGUs)

Table 5-1 shows the population of Bukidnon and Misamis Oriental in the 2020 census. For Misamis Oriental, it has a population of 1,685,302 with a density of 519 inhabitants per square kilometer. Almost half of the inhabitants in Misamis Oriental live in Cagayan de Oro City with a total of 728,402 or 43.22% of the province population while the municipality of Tagoloan has a population of 80,319 (4.77%). Both the population densities of the two LGUs are higher compared to the province as shown in Table 5-1. The City of Cagayan de Oro has 1,765 persons per km square while Tagoloan has 682 inhabitants per square kilometer. In terms of number of barangays, the province has a total of 504 barangays, 10 of which are in Tagoloan and 80 barangays are in City of Cagayan de Oro.

The other province that will be affected by the proposed project is Bukidnon with four (4) affected LGUs, namely: Manolo Fortich, Sumilao, Impasug-ong, and City of Malaybalay. Based on the 2020 PSA data, the province has a population of 1,541,308. The City of Malaybalay has the highest population of 190,712 (12.37%) followed by Manolo Fortich with population of 113,200 (7.34%) while the third is Impasug-ong having a population of 53,863 (3.49%) and lastly is Sumilao with population of 29,531 (1.92%). Manolo Fortich (274), City of Malaybalay (197), and Sumilao (150) all have higher population density as compared to Bukidnon (147) while Impasug-ong (51) has the lowest population density. The total number of barangays in Bukidnon is 464, 22 of which are in Manolo Fortich, 10 barangays in Sumilao, 13 barangays in Impasug-ong, and 46 barangays are in City of Malaybalay.

Table 5-1. Provincial Statistics by Affected City/Municipality

Affected LGUs	Population		Area (km ²)		Density (Persons/ km ²)	No. of Barangays
	Total	% from Province	km ²	% from Province		
Misamis Oriental	1,685,302	100.00%	3,249.25	100.00%	519	504
Tagoloan	80,319	4.77%	117.73	3.62%	682	10
City of Cagayan de Oro	728,402	43.22%	412.80	12.70%	1765	80
Bukidnon	1,541,308	100.00%	10,498.59	100.00%	147	464

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Affected LGUs	Population		Area (km ²)		Density (Persons/ km ²)	No. of Barangays
	Total	% from Province	km ²	% from Province		
Manolo Fortich	113,200	7.34%	413.60	3.94%	274	22
Sumilao	29,531	1.92%	196.95	1.88%	150	10
Impasug-ong	53,863	3.49%	1,051.17	10.01%	51	13
City of Malaybalay	190,712	12.37%	969.19	9.23%	197	46

Population, Land Area, Population Density, and Percent Change in Population Density of the Philippines by Region, Province/Highly Urbanized City, and City/Municipality: 2010, 2015, and 2020, PSA

Table 5-2 to Table 5-7 shows the population of affected LGUs and affected barangays.

Table 5-2. 2020 Population of Affected Barangay in Tagoloan

Location	Population	
	Total	% from Municipality
Tagoloan	80,319	100%
Casinglot	10,207	13%
Natumolan	10,878	14%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

Table 5-3. 2020 Population of Affected Barangay in the City of Cagayan de Oro

Location	Population	
	Total	% from City
City of Cagayan de Oro	728,402	100%
Bugo	31,229	4%
Balubal	7,013	1%
Puerto	13,174	2%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

Table 5-4. 2020 Population of Affected Barangay in the Manolo Fortich

Location	Population	
	Total	% from Municipality
Manolo Fortich	113,200	100%
Mambatangan	5,332	5%
Alae	11,913	11%
San Miguel	5,515	5%
Damilag	16,303	14%
Diclum	4,507	4%
Tankulan (Pob.)	8,954	8%
Sankanalan	3,776	3%
Ticala	1,353	1%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

Table 5-5. 2020 Population of Affected Barangay in the Sumilao

Location	Population	
	Total	% from Municipality
Sumilao	29,531	100%
Puntian	1,642	6%
Villa Vista	2,669	9%
San Roque	1,380	5%
Culasi	617	2%
Poblacion	4,927	17%
Kisolon	12,306	42%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

Table 5-6. 2020 Population of Affected Barangay in the Impasug-ong

Location	Population	
	Total	% from Municipality
Impasug-ong	53,863	100%
Poblacion	12,693	24%
La Fortuna	4,812	9%
Capitan Bayong	3,751	7%
Cawayan	2,315	4%
Impalutao	7,081	13%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

Table 5-7. 2020 Population of Affected Barangay in the City of Malaybalay

Location	Population	
	Total	% from City
City of Malaybalay	190,712	100%
Dalwangan	7,785	4%
Patpat (Lapu-lapu)	4,366	2%
Kalasungay	9,961	5%

Total Population by Province, City, Municipality, and Barangay as of May 1, 2020, PSA

The male population⁵ of the affected LGUs is slightly higher (51.5%) than the number of females (48.5%). In terms of age, the less than 15 years old population constitutes 34%, while the productive or 15 – 64 years of age is 62%. The elderly or 65 years and above is 4%. This places the dependency ratio or the number of dependents 0-14 years and 65 years and over for every 100% in the productive age 15-64 at 60.7.

Affected LGUs regular income are derived from taxes, licenses, fees and the Internal Revenue Allotment (IRA). According to the Bureau of Local Government Finance⁶, the combined annual regular income of affected LGUs for the fiscal year of 2018 was PHP 5,452,920,235.35. Looking at the involvement of employed males and females in the area, almost half of the employed workers are those performing simple and routine tasks which may require the use

⁵ Total Population by Age Group, Sex, and City/Municipality, PSA (<https://psa.gov.ph/population-and-housing/statistical-tables>)

⁶ Annual Regular Income, DOF – Bureau of Local Government Finance (<https://blgf.gov.ph/lgu-fiscal-data/>)

of handheld tools and considerable physical effort (elementary occupation) and service and sales workers.

According to the Municipal and City Level Small Area Poverty Estimates⁷, the average poverty incidence in the affected LGUs is 33.7, which is 30.4 lower than the previous estimates. Majority of the gainful workers (15 years old and over) are elementary occupations and service & sales workers.

In terms of the gainful worker's occupational groups⁸, major group occupations in the affected LGUs are elementary occupations (27.1%), service and sales workers (18.7%), managers (9.3%), craft and related trades workers (8.9%), skilled agricultural forestry and fishery workers (8.8%), plant and machine operators and assemblers (8.3%), professionals (6.7%), clerical support workers (6.6%), technicians and associate professionals (5.1%), armed forces occupations (0.4%), and those did not report any occupation(0.1%)

From the population of ten (10) years old and over, the literacy rate is 98.9%⁹. Highest educational attainment of five (5) years old and over by highest grade/year completed are the following: pre-school (2.91%), elementary undergraduate (21%), elementary graduate (9.39%), high school undergraduate (14.81%), high school graduate (21.41%), post-secondary undergraduate (0.04%), post-secondary graduate (1.21%), college undergraduate (12.81%), academic degree holder (13.39%), post-baccalaureate (0.20%) and those with special education, not stated/no grade completed are (2.83%).

There are also various health and wellness facilities like hospitals, medical clinics, lying-in clinics/birthing within the affected LGUs, and nearby provinces that provide essential health services to the residents that can administer first aid treatment for emergency cases and perform minor/major surgical operations.

5.1.2 Project-Affected Households (PAHs)

A total of **96 PAHs** were considered in the survey including 22 IP PAFs but only **71 PAHs** were interviewed since the 15 PAHs were out during the survey, two (2) PAHs refused to be interviewed and eight (8) absentee house owners the average household size is 3.94. The breakdown of the PAHs and household size is shown in Table 5-8 and Table 5-8.

Table 5-8. Total Project-Affected Households (PAHs)

Tenurial Status	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Interviewed	2	13	21	11	15	9	71	74%

⁷ Municipal and City Level Small Area Poverty Estimates, PSA (<https://psa.gov.ph/content/psa-releases-2015-municipal-and-city-level-poverty-estimates>)

⁸ Gainful Workers 15 Years Old and Over by Major Occupation Group, Age Group, Sex, and City/Municipality, PSA (<https://psa.gov.ph/population-and-housing/statistical-tables>)

⁹ Literacy of the Household Population 10 Years Old and Over by Age Group, Sex, and City/Municipality, PSA (<https://psa.gov.ph/population-and-housing/statistical-tables>)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Tenurial Status	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Not Interviewed	1	5	11	1	4	3	25	26%
Total	3	18	32	12	19	12	96	100%

Table 5-9. Household Size

Household Size	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
One (1)	0	0	3	0	3	0	6	8%
Two (2)	1	1	7	0	3	2	14	20%
Three (3)	0	5	3	0	1	1	10	14%
Four (4)	1	4	3	4	2	2	16	23%
Five (5)	0	1	2	3	2	2	10	14%
Six (6)	0	1	0	4	3	2	10	14%
Seven (7)	0	0	1	0	1	0	2	3%
Eight (8)	0	0	1	0	0	0	1	1%
Ten (10)	0	1	1	0	0	0	2	3%
Total	2	13	21	11	15	9	71	100%

5.1.2.1 Gender of Household Heads

Based on the 71 household heads that were interviewed, 61 or 86% are male-headed households while the remaining 10 or 14% are female-headed households. The households headed by women are also included in the vulnerable groups.

Table 5-10. Sex of Household Heads

Sex	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Male	2	10	19	11	12	7	61	86%
Female	0	3	2	0	3	2	10	14%
Total	2	13	21	11	15	9	71	100%

5.1.2.2 Age of Household Heads

In terms of age, 77% of the household heads are 20-59 years old, while the remaining 23% are considered senior citizens.

Table 5-11. Age of Household Heads

Age	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
20 - 24	0	0	0	1	1	0	2	3%
25 - 29	0	0	1	1	1	0	3	4%
30 - 34	0	3	2	0	1	0	6	8%
35 - 39	0	1	0	1	4	1	7	10%
40 - 44	0	1	2	5	1	1	10	14%
45 - 49	1	3	5	1	2	3	15	21%
50 - 54	0	1	0	0	2	1	4	6%
55 - 59	0	1	4	2	0	1	8	11%
60 - 64	1	2	1	0	1	0	5	7%
65 - 69	0	1	2	0	0	1	4	6%
70 - 74	0	0	2	0	0	0	2	3%
75 - 79	0	0	2	0	2	0	4	6%
No Response	0	0	0	0	0	1	1	1%
Total	2	13	21	11	15	9	71	100%

5.1.2.3 Civil Status of Household Heads

The majority of the affected household heads are married (55%) followed by with common-law partner/cohabitating (21%), widow/er (15%), single (7%) and one (1) separated (1%).

Table 5-12. Civil Status of Household Heads

Civil Status	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Single	0	0	1	0	4	0	5	7%
With Common-Law Partner/ Cohabitating	0	5	3	3	3	1	15	21%
Married	2	5	12	8	5	7	39	55%
Separated	0	0	0	0	0	1	1	1%
Widow/er	0	3	5	0	3	0	11	15%
Total	2	13	21	11	15	9	71	100%

5.1.2.4 Educational Attainment of Household Heads

Of the 71 affected household heads, 32% are elementary graduates, 28% are high school graduates, and 1% are college graduates while some are undergraduates of elementary (17%), high school (14%), and college (1%). Among the household heads only three percent

completed a vocation/technical course. The remaining two (2) household heads are with no education while another AH did not provide any response.

Table 5-13. Educational Attainment of Household Heads

Educational Attainment	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Elementary Undergraduate	1	4	3	2	1	1	12	17%
Elementary Graduate	0	4	6	2	7	4	23	32%
High School Undergraduate	0	2	2	1	3	2	10	14%
High School Graduate	1	2	7	5	4	1	20	28%
Vocational/ Technical	0	1	1	0	0	0	2	3%
College Undergraduate	0	0	1	0	0	0	1	1%
College Graduate	0	0	0	1	0	0	1	1%
No Education	0	0	1	0	0	0	1	1%
No Response	0	0	0	0	0	1	1	1%
Total	2	13	21	11	15	9	71	100%

5.1.2.5 Religion of Household Heads

Seventy-seven percent (77%) of the affected household heads are Roman Catholic and the rest are called Protestant/Evangelical (8%), Born-again (6%), Baptist/Seventh Day Adventist (4%), Iglesia Ni Cristo (3%), and Islam (1%).

Table 5-14. Religion

Religion	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Roman Catholic	0	12	16	7	13	7	55	77%
Born-Again	1	1	0	1	0	1	4	6%
Iglesia Ni Cristo	0	0	0	2	0	0	2	3%
Protestant/Evangelical	0	0	4	1	1	0	6	8%
Islam	0	0	0	0	0	1	1	1%
Others (Baptist & Seventh Day Adventist)	1	0	1	0	1	0	3	4%
Total	2	13	21	11	15	9	71	100%

5.1.2.6 Place of Origin of Household Heads

Before residing in their current location, 82% of the affected households said they lived within the same LGU. Only 3% came from the other LGUs but within the province of Bukidnon and Misamis Oriental. A significant 8% resided outside the province but within Mindanao and Visayas.

Table 5-15. Place of Origin

Place of Origin	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Within LGU	2	11	14	10	14	7	58	82%
Outside LGU, but within the Province	0	0	2	0	0	0	2	3%
Outside the Province	0	2	3	1	1	1	8	11%
Visayas	0	0	1	0	0	0	1	
Mindanao	0	2	2	1	1	1	7	
No Response	0	0	2	0	0	1	3	4%
Total	2	13	21	11	15	9	71	100%

5.1.2.7 Length of Residence of Household Heads

Survey results also indicated that 45% have lived in the area for more than 20 years, while 21% have been in the area for 1-5 years. Thirty percent (30%) of the households have been living in their residences for 6-20 years. Only 4% of the households did not respond to the question.

Table 5-16. Length of Residence

Length of Residence	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
1-5 years	1	4	1	2	4	3	15	21%
6-10 years	0	3	3	1	1	0	8	11%
11-15 years	0	1	2	1	3	2	9	13%
16-20 years	0	1	0	1	1	1	4	6%
More than 20 years	1	4	13	5	6	3	32	45%
No Response	0	0	2	1	0	0	3	4%
Total	2	13	21	11	15	9	71	100%

5.1.2.8 Employment Status and Occupation of Household Heads.

Out of the total 71 interviewed, 59 or 83% are employed while the remaining 12 or 17% are unemployed and the occupation of the employed household head is shown in Table 5-8.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Table 5-17. Employment Status

Employed vs Unemployed	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
Employed	2	13	13	11	11	9	59	83%
Unemployed	0	0	8	0	4	0	12	17%
Total	2	13	21	11	15	9	71	100%

Table 5-18. Occupation

Occupation	Misamis Oriental		Bukidnon				Total*	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
Barangay Kagawad	1	0	0	0	0	0	1	2%
Bgy. Health Worker	0	1	0	0	0	0	1	2%
Businessman	0	1	0	0	0	0	1	2%
Caretaker	0	1	1	0	2	0	4	7%
Carpenter	0	1	0	0	0	0	1	2%
Construction Worker	0	1	0	1	1	0	3	5%
Driver	0	0	1	2	0	2	5	8%
Electrician	0	1	0	0	0	0	1	2%
Farmer	1	4	5	2	2	3	17	29%
OFW	0	2	4	5	6	3	20	34%
Security Guard	0	0	1	0	0	0	1	2%
Team Leader	0	0	0	1	0	0	1	2%
Vendor	0	1	0	0	0	0	1	2%
Watchman	0	0	0	0	0	1	1	2%
Welder	0	0	1	0	0	0	1	2%
Total	2	13	13	11	11	9	59	100%

*based on employed household head

On employment status, 64% are self-employed or employees in the family business, 8% contractual, 3% are casuals or have temporary jobs while the remaining 25% are not employed.

Table 5-19. Employment Status of Household Heads

Employment Status	Misamis Oriental		Bukidnon				Total*	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
Permanent	1	5	2	2	1	0	11	19%
Temporary/Casual	0	2	3	3	5	1	14	24%
Contractual	0	3	3	3	3	2	14	24%
Seasonal	1	1	5	3	1	5	16	27%

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Employment Status	Misamis Oriental		Bukidnon				Total*	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
For self - employed workers/ Employee in family business	0	2	0	0	0	0	2	3%
No Response	0	0	0	0	1	1	2	3%
Total	2	13	13	11	11	9	59	100%

*based on employed household head

5.1.2.9 Household Income

The survey results revealed that 70% of the PAHs have monthly household incomes of PhP15,999 and below. On the other hand, about 26% of the total PAHs earn PhP16,000 – PhP49,999, and the remaining 4% earn PhP50,000 and above. While for their monthly expenditures, majority (73%) have a monthly expense of below 10,000.

Table 5-20. Monthly Household Income

Total Monthly Household Income	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
PhP 2,000-3,999	0	1	2	0	2	0	5	7%
PhP 4,000-5,999	0	2	4	3	0	0	9	13%
PhP 6,000-7,999	0	1	1	1	0	2	5	7%
PhP 8,000-9,999	0	0	2	2	8	0	12	17%
PhP 10,000-11,999	0	3	3	1	1	2	10	14%
PhP 12,000-15,999	0	2	4	0	1	2	9	13%
PhP 16,000-19,999	0	1	3	0	0	2	6	8%
PhP 20,000-24,999	0	1	1	0	2	0	4	6%
PhP 25,000-29,999	0	0	0	1	0	0	1	1%
PhP 30,000-49,999	1	2	1	2	0	1	7	10%
PhP 50,000-above	1	0	0	1	1	0	3	4%
Total	2	13	21	11	15	9	71	100%

5.1.2.10 Household Expenditure

The monthly expenditure of the PAHs are as follows: PhP10,000 and below (71%), PhP10,001 – PhP20,000 (32%), and PhP20,001 – PhP30,000 (4%).

Table 5-21. Monthly Household Expenditure

Total Monthly Household Expenditure	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
PhP 1,000-1,999	0	0	1	0	1	0	2	3%
PhP 2,000-3,999	0	1	5	3	1	1	11	15%
PhP 4,000-5,999	0	5	3	2	4	3	17	24%
PhP 6,000-7,999	0	2	4	2	5	2	15	21%
PhP 8,000-9,999	0	2	2	1	1	1	7	10%
PhP 10,000-11,999	0	2	2	0	0	0	4	6%
PhP 12,000-15,999	1	0	3	0	2	0	6	8%
PhP 16,000-19,999	0	1	1	2	1	1	6	8%
PhP 20,000-24,999	1	0	0	1	0	1	3	4%
Total	2	13	21	11	15	9	71	100%

5.1.2.11 Housing

Majority (92%) of the affected households used G.I. sheets while 8% used mixed materials as roofing for their houses. The various wall materials used are wood (42%), concrete (39%), bamboo (7%), and 11% of the affected households used mixed materials.

Table 5-22. Roof Material

Construction Materials of the Roof	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
G.I. Sheets	2	13	21	11	12	6	65	92%
Others (mixed)	0	0	0	0	3	3	6	8%
Total	2	13	21	11	15	9	71	100%

Table 5-23. Wall Material

Construction Materials of the Outer Wall	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasug-ong	City of Malaybalay	No	%
Concrete	1	4	11	5	4	3	28	39%
Wood	1	8	8	3	6	4	30	42%
Bamboo	0	0	1	2	2	0	5	7%
Others (mixed)	0	1	1	1	3	2	8	11%
Total	2	13	21	11	15	9	71	100%

5.1.2.12 Electricity

Most of the affected households use Electricity (66%) as their main source of light while some (6%) use mixed sources of electricity. A significant 27% do not have electricity. Only one (1%) use Coleman as their light source.

Table 5-24. Light Source

Source/s of Power/Lighting	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Electric	1	12	15	10	3	6	47	66%
Coleman	0	0	0	0	1	0	1	1%
Others (mixed)	1	1	1	0	1	0	4	6%
None	0	0	5	1	10	3	19	27%
Total	2	13	21	11	15	9	71	100%

5.1.2.13 Water Source

Households rely on the following sources of water: piped water (56%), spring/river (23%), open well (8%), pump well (4%) and some (2%) rely on rainwater and artisan well while six percent (6%) use mixed sources of water. The survey on water sources implies an underdeveloped water service system.

Table 5-25. Water Source

Main Source/s of Drinking Water	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Rain water	0	0	0	0	0	1	1	1%
Spring/river	0	2	3	1	10	0	16	23%
Open well	0	0	3	1	0	2	6	8%
Artisan well	0	0	1	0	0	0	1	1%
Pump well	0	0	1	0	0	2	3	4%
Piped water	2	11	13	8	4	2	40	56%
Others (mixed)	0	0	0	1	1	2	4	6%
Total	2	13	21	11	15	9	71	100%

5.1.2.14 Fuel source for cooking

Seventy-six percent (76%) of the PAHs used wood as the primary means of fuel for cooking some (15%) use an LPG while 8% use a mixed fuel source for cooking.

Table 5-26. Fuel Source for Cooking

Fuel for Cooking	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Wood	0	11	16	9	9	9	54	76%
LPG	1	1	4	2	3	0	11	15%
Others (combination of the above)	1	1	1	0	3	0	6	8%
Total	2	13	21	11	15	9	71	100%

5.1.2.15 Toilet

Two of every three affected households use a semi-flush as their toilet. Others use open pits (14%) and a flush (7%) in their homes, while 1% have more than one type of toilet facility. Only seven percent (7%) of the respondents do not have a toilet.

Table 5-27. Toilet

Kind of Toilet Facilities	Misamis Oriental		Bukidnon				Total	
	Tagoloan	City of Cagayan de Oro	Manolo Fortich	Sumilao	Impasugong	City of Malaybalay	No	%
Open pit	0	3	4	1	2	0	10	14%
Semi-flush	2	8	12	10	11	7	50	70%
Flush	0	2	3	0	0	0	5	7%
Others (combination of the above)	0	0	0	0	1	0	1	1%
None	0	0	2	0	1	2	5	7%
Total	2	13	21	11	15	9	71	100%

5.1.3 Vulnerable Project-Affected Households/Persons

This Preliminary RAP extends the compensation and assistance to the vulnerable PAHs of the project. Following the definition of the Philippine Statistics Authority (PSA) regarding vulnerable groups which includes (i) households with elderly (aged 60 years old and above); (ii) indigenous people (IP); (iii) poor households whose income fall below the poverty threshold; (iv) households with member who has disability (PWD); (v) solo parent; and (vi) women-headed households (WHH). Further, regardless of number of vulnerabilities of one household, there will be only one unit of assistance for vulnerability for that household.

As shown in Table 5-28, there are 92 instances of vulnerability affecting 53 PAHs. Majority of the instances were profiled from IP (29%), Elderly, ages 60 and up (21%) and Poor households were derived from the combined monthly income of the household heads and employed

household members (21%). This is followed by WHH (11%), Solo Parent (3%) and PWDs with 2%.

Table 5-28. Vulnerability of PAHs

Affected LGUs	No. of Vulnerable Households	Vulnerabilities						Total Instances
		Elderly	IP	Poor	PWD	Solo Parent	WHH	
Misamis Oriental	12	4	5	5	1	1	3	31
<i>Tagoloan</i>	2	1	1	0	0	0	0	4
<i>City of Cagayan de Oro</i>	10	3	4	5	1	1	3	27
Bukidnon	41	15	22	14	1	2	7	61
<i>Manolo Fortich</i>	16	9	6	4	1	0	2	38
<i>Sumilao</i>	9	0	7	6	0	0	0	22
<i>Impasug-ong</i>	10	4	8	3	0	1	3	29
<i>City of Malaybalay</i>	6	2	1	1	0	1	2	13
Total	53	19	27	19	2	3	10	92
%		21%	29%	21%	2%	3%	11%	100%

The Philippine Statistics Authority (PSA) said the poverty threshold per family amounted to PhP 12,082 a month. An income below this amount would categorize a family as being poor and an income above this would mean a family is nonpoor. In determining the poverty threshold, the PSA uses the formula below:

$$PT = FT / (FE / TBE)$$

Where:

PT is poverty threshold

FT is food threshold

FE is actual food expenditure families within the +/- 10 percentile of the food threshold

TBE is total basic food expenditure families within the +/- 10 percentile of the food threshold

5.1.3.1 On Indigenous Peoples (IPs)

During the conduct of socioeconomic survey, the team learned from the local officials that there are Higaonon, Talaandig, and Bukidnon-Tagoloan tribes located in the project area.

The Higaonon is one of the least known ethnolinguistic groups that inhabit North-Central Mindanao. They occupy the mountainous regions of Misamis Oriental, Bukidnon plateau, the mountain borders of the provinces of Agusan and Lanao in the east and west, respectively. The word Higaonon is derived from the native words higa (living), goan (mountains), and onon (people), or literally people of the living mountains or people of the wilderness.

On the other hand, the Talaandig are one of the indigenous groups in the province of Bukidnon, Mindanao Philippines who has continued to preserve and promote its indigenous

customs, beliefs and practices despite the strong influx of modernization and change. The members of the group are found in barangays and municipalities surrounding the mountain of Kitanglad, the historic domain of the Talaandig people.

Lastly, the Bukidnon-Tagoloan who mostly resides in City of Malaybalay. But these IP communities are not living in a declared ancestral domain/land.

The National Commission on Indigenous People (NCIP) Region X issued a Certificate of No Overlap (CNO) (Appendix 6) for both Misamis Oriental and Bukidnon. However, NCIP Region X issued Work Order No. 429-A, dated June 16, 2022, requiring the proponent to conduct a Free and Prior Informed Consent (FPIC) (Appendix 6).

After the supplementary survey, it was known that there are one (1) Higaonon in the Municipality of Tagoloan and two (2) in the City of Cagayan de Oro, both located in the Province of Misamis Oriental. Nonetheless, there were six (6) Talaandig in the Municipality of Manolo Fortich, while there were seven (7) Higanon in the Municipality of Sumilao and five (5) Higanon in the Municipality of Impasug-ong and one (1) Bukidnon-Tagoloan in the City of Malaybalay, Bukidnon. As a result, a Total of 19 IPs PAFs were all located in the Province of Bukidnon, while there were only three (3) IP PAFs in the Province of Misamis Oriental. Out of the 22 IP PAFs, only 13 are within the Ancestral Domain (AD) area and thus considered and have undergone the FPIC process for inclusion in the Indigenous Peoples Plan.

The breakdown of the affected IPs is shown in Table 5-29.

Table 5-29. Ethnicity/ Ethnic Group

Ethnicity/ Ethnic Group	Misamis Oriental		Bukidnon				Total	
	Tagloan	City of Cagayan De Oro	Manolo Fortich	Sumilao	Impasug- ong	City of Malaybaly	No.	%
IP PAFs inside the affected Ancestral Domain								
Higanon	0	0	0	7	0	0	7	54%
Talaandig	0	0	6	0	0	0	6	46%
Total	0	0	6	7	0	0	13	100%

Based on the abovementioned survey results, there is no AD and/or CADT at all in the proposed alignment in the Province of Misamis Oriental. The three (3) IPs PAFs within the ROW alignment were all immigrants, thus the NCIP Region X issued a Certificate of Non-Overlap (CNO) on March 30, 2022 for these three cases and they were eliminated from the target IPs of the project at this step.

5.1.3.2 On Informal Settler Families

Republic Act No. 11201 (An Act Creating the Department of Human Settlements and Urban Development) defines Informal Settler Families (ISFs) as:

1. households living in a lot, whether private or public, without the consent of the property owner; or
2. those without legal claim over the property they are occupying; or
3. those living in danger areas such as esteros, railroad tracks, garbage dumps, riverbanks, shorelines, and waterways.

The government, through the Housing and Department of Human Settlements and Urban Development and the National Housing Authority (NHA), in coordination with the LGUs and implementing agencies concerned, shall establish and develop resettlement sites for informal settlers, including the provision of adequate basic services and community facilities, in anticipation of informal settlers that have to be removed from the right-of-way site, pursuant to the provisions of Republic Act No. 7279, otherwise known as the “Urban Development and Housing Act of 1992”. Whenever applicable, the concerned LGUs shall provide and administer the resettlement sites.

In the preparation of this RAP, the eligibility of benefits include, the PAPs who have formal legal rights to land (including customary and traditional land rights recognized under law), the PAPs who don't have formal legal rights to land at the time of census but have a claim to such land or assets and the PAPs who have no recognizable legal right to the land they are occupying. For this project, the 96 PAHs were not able to present any documents showing their ownership of the land, thus they are considered informal settlers. Though their structures will be affected by the project, they will be compensated as mandated by RA 10752 and RA 7279. However, this will be validated during the conduct of parcellary survey in the DED stage.

Replacement cost of structures and improvement shall also apply to all owners of structures and improvements who do not have legally recognized rights to the land, and who meet all of the following criteria:

1. Must be a Filipino citizen;
2. Must not own any real property or any other housing facility, whether in an urban or rural area;
3. Must not be a professional squatter or a member of a squatting syndicate, as defined in Republic Act No. 7279, otherwise known as the “Urban Development and Housing Act of 1992”; and
4. Must not occupy an existing government ROW.

Land ownership can be a form of economic security among PAHs, business owners, and landowner/claimants. During the conduct of the census, the PAHs stated that they have no legal ownership on the land since no documents were shown to determine the proof of ownership. Therefore, all the PAHs are considered ISF.

The budget for the livelihood restoration program and relocation and resettlement are shown in Table 12-1.

6 INDIGENOUS PEOPLES

6.1 Brief Background

The Inventory of Losses (IOL) and census were initially conducted from November 5, 2021 – February 4, 2022, based on the project design of 65.50-km and 60m road right-of-way. A supplementary survey was undertaken on June 15-18, 27-28, 2022 to gather additional information pertaining to the IPs' traditions, way of life, sacred places, etc. A total of 13 IP PAFs who occupied land inside ROW are Higaonon (7), Talaandig (6) with an average household size of 4.95. All of the affected IP PAFs who are considered vulnerable are entitled to compensation and inclusion in the livelihood restoration program.

As explained in Section 5.1.3.1, NCIP Region X issued CNOs for both Misamis Oriental and Bukidnon. Additionally, NCIP Region X issued Work Order No. 429-A to Bukidnon, identifying 19 IP PAFs, while it was not issued to Misamis Oriental, where 3 IP families were identified. Out of the 22 IP PAFs, only 13 are within the Ancestral Domain (AD) area and have undergone the FPIC process for inclusion in the Indigenous Peoples Plan.

6.2 IP Project Affected Families

The confirmed 13 IP PAFs who occupied land inside the ROW are Higaonon (7), and Talaandig (6). All the affected IP PAFs who are considered vulnerable are entitled to compensation and inclusion in the livelihood restoration program.

Table 6-1: Distribution of Affected Indigenous Peoples

Ethnicity/ Ethnic Group	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Higaonon	-	7	7	54%
Talaandig	6	-	6	46%
Total	6	7	13	100%

The socioeconomic survey (SES) was conducted to establish a profile of the socioeconomic conditions of the indigenous people affected by the implementation/construction of the project. The SES took place during the Focus Group Discussions (FGD) held on June 17 and June 24 in Barangays Kisolon and Ticala, within the Municipalities of Sumilao and Manolo Fortich, respectively.

The survey was undertaken to determine the potential impact of land acquisition on the local economy, economic circumstances, occupations, employment trends, income levels, economic interdependence among households, poverty rates, ethnicity, religious affiliations, and educational achievements. The tables below present the characteristics of the household survey respondents affected by the project.

From the 13 household heads that were interviewed, 7 (54%) are male-headed households while the remaining 6 respondents are female.

Table 6-2: Sex of Household Head

Sex	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Male	3	4	7	54%
Female	3	3	6	46%
Total	6	7	13	100%

Regarding age, 84.6% of the household heads are 20-59 years old, while the remaining 14.4% are considered senior citizens.

Table 6-3: Age of Household Head

Age	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
20 - 24	0	1	1	7.7%
25 - 29	1	0	1	7.7%
35 - 39	0	1	1	7.7%
40 - 44	1	4	5	38.5%
45 - 49	1	0	1	7.7%
55 - 59	1	1	2	15.4%
60 - 64	1	0	1	7.7%
75 - 79	1	0	1	7.7%
Total	6	7	13	100.0%

As for the household size, four (4) or 30.08% of the respondents have a household size of 4 which was followed by 2 respondents all having a household size of three, five and six. For the average household size, Ticala, Manolo Fortich and Kisolon, Sumilao have a size of 4.83 and 4.86, respectively.

Table 6-4: Household Size

Household Size	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
One (1)	1	0	1	7.7%
Three (3)	2	0	2	15.4%
Four (4)	1	3	4	30.8%
Five (5)	0	2	2	15.4%
Six (6)	0	2	2	15.4%
Eight (8)	1	0	1	7.7%
Ten (10)	1	0	1	7.7%
Total	6	7	13	100%
Average Household Size	4.83	4.86	4.85	

The majority of the affected household heads are married (69.2%), followed by common-law partner/cohabitating (23.1%), and widowed (8.8%).

Table 6-5: Civil Status of Household Head

Civil Status	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
With Common - Law Partner/ Cohabitating	1	2	3	23.1%
Married	4	5	9	69.2%
Widowed	1	0	1	7.7%
Total	6	7	13	100%

Of the 13 affected household heads, 31% are elementary graduates, 31% are high school graduates, and 8% are college graduates, while some are undergraduates of elementary (7.7%), and high school (15.4%). The remaining one (1) household head did not attend any formal education.

Table 6-6: Educational Attainment of Household Head

Educational Attainment	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Elementary Undergraduate	1	0	1	7.7%
Elementary Graduate	3	1	4	30.8%
High School Undergraduate	1	1	2	15.4%
High School Graduate	0	4	4	30.8%
College Graduate	0	1	1	7.7%
No Education	1	0	1	7.7%
Total	6	7	13	100%

In terms of religion, the ICCs/IPs has been exposed to the mainstream cultures that are predominant in the community. Due to this, their religious belief has also been influenced by

the various religions proliferating in the community. Based on the result of the SES, eight (8) or 62% are Roman Catholic while there are 2 IP respondents that are member of the Iglesia ni Cristo.

Table 6-7: Religion of Household Head

Religion	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Roman Catholic	4	4	8	62%
Born-Again	0	1	1	8%
Iglesia ni Cristo	0	2	2	15%
Protestant/Evangelical	1	0	1	8%
Others (Baptist and SDA)	1	0	1	8%
Total	6	7	13	100%

In terms of ownership of house of the respondents, seven (7) responded that they are the owner of the house while five (5) are co-owners and one (1) is sharer/rent-free occupant.

Table 6-8: House Ownership

House Ownership	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Owner	5	2	7	54%
Co-Owner	0	5	5	38%
Sharer/Rent-Free-Occupant	1	0	1	8%
Total	6	7	13	100%

Instead of moving from one place or another, the ICCs/IPs learned to live in one place to preserve their culture. This is as long as there are means for a living. Majority of the respondents have been residents of their respective communities for more than 20 years while (76.9%).

Table 6-9: Length of Residence

Length of Residence	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
1-5 years	0	2	2	15.4%
11-15 years	0	1	1	7.7%
More than 20 years	6	4	10	76.9%
Total	6	7	13	100%

In terms of place of origin, all of the respondents originated from their own LGU.

Table 6-10: Place of Origin

Place of Origin	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Within LGU	6	7	13	100%
Total	6	7	13	100%

The main reason for establishing residence within the LGU is because of economic reasons such as proximity to livelihood followed by family ties.

Table 6-11: Reason for Establishing Residence

Reason for Establishing Residence	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Economic (Proximity to Livelihood)	4	6	10	77%
Social (Family Ties)	2	1	3	23%
Total	6	7	13	100%

6.3 Information on Employment

Out of the 13 respondents, 12 are employed and one (1) is unemployed.

Table 6-12: Employed vs Unemployed

Employed vs Unemployed	Ticala, Manolo Fortich	Kisolon, Sumilao	Total	
			No	%
Employed	5	7	12	92%
Unemployed	1	0	1	8%
Total	6	7	13	100%

Five (5) out of the 13 respondents are laborer followed property administrator (3), farmers (2), and one (1) driver and service crew.

Table 6-13: Occupation Household Head

Occupation	Ticala, Manolo Fortich	Kisolon, Sumilao	Total*	
			No	%
Driver	0	1	1	8%
Farmer	0	2	2	16.7%
Laborer	3	2	5	41.7%
Property Administrator	1	2	3	25.0%
Service Crew	1	0	1	8%
Total	5	7	12	100%

In terms of employment status, half of the respondents have seasonal work whole 3 IPs are contractual, two (2) are temporary or casual whole one (1) is permanent.

Table 6-14: Employment Status of Household Head

Employment Status	Ticala, Manolo Fortich	Kisolon, Sumilao	Total*	
			No	%
Permanent	0	1	1	8%
Temporary/Casual	1	1	2	17%
Contractual	1	2	3	25%
Seasonal	3	3	6	50%
Total	5	7	12	100%

When it comes to place of work, half of the respondents are working within their town while three (3) are doing their work within their residence. The rest are working outside the province and no definite area.

Table 6-15: Place of Work of Household Head

Place of Work	Ticala, Manolo Fortich	Kisolon, Sumilao	Total*	
			No	%
Residence/House	1	2	3	25%
Within LGU	4	2	6	50%
Outside the Province	0	1	1	8%
No Definite Area	0	2	2	17%
Total	5	7	12	100%

6.3.1 Geolocation of the 13 IP PAFs

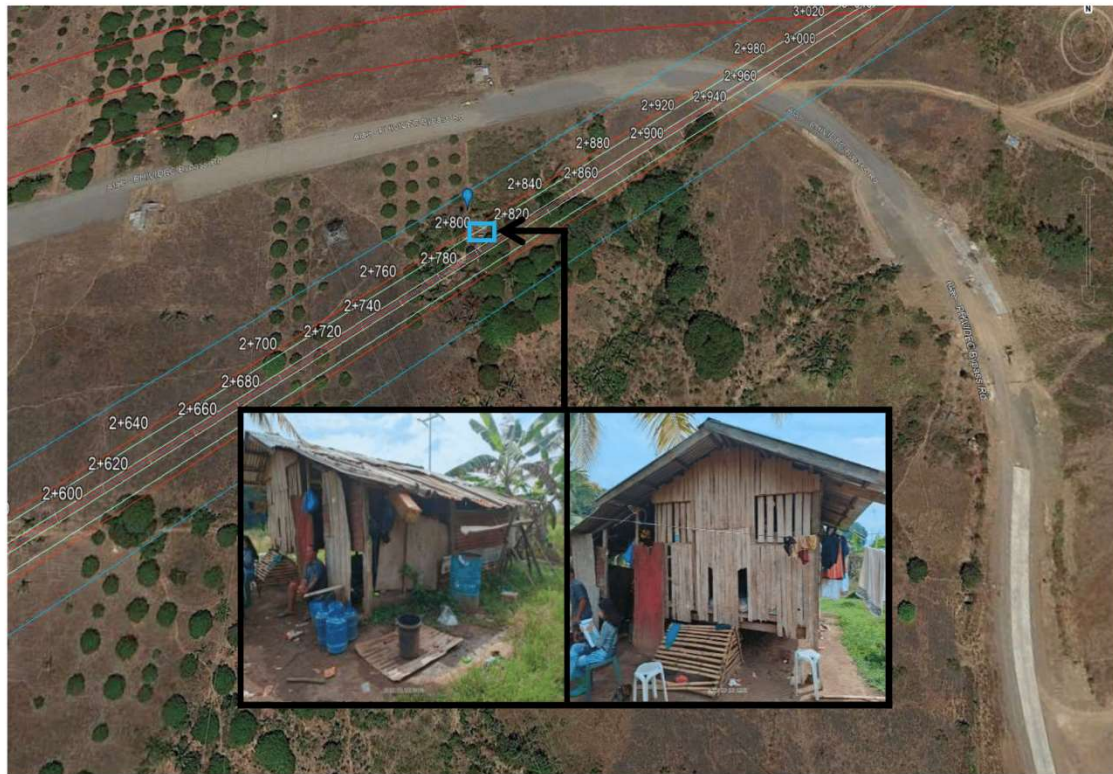


Figure 6-1. Geolocation of the 13 IP PAFs (a)



Figure 6-2. Geolocation of the 13 IP PAFs (b)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Figure 6-3. Geolocation of the 13 IP PAFs (c)



Figure 6-4. Geolocation of the 13 IP PAFs (d)

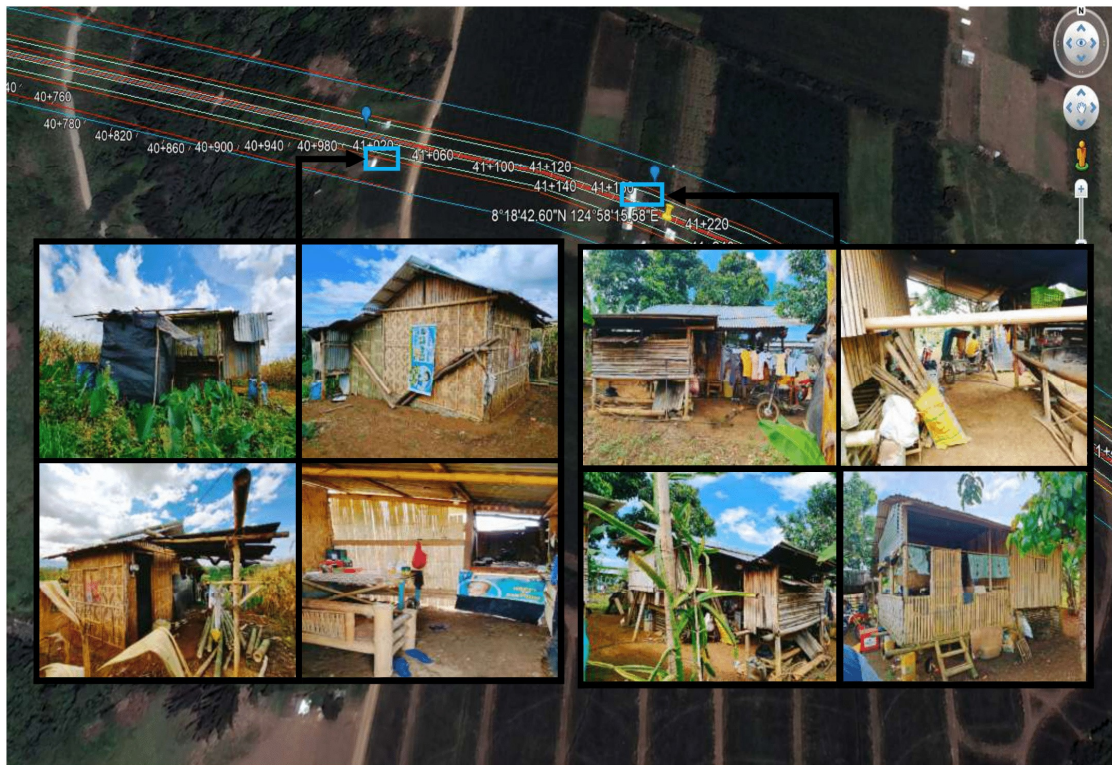


Figure 6-5. Geolocation of the 13 IP PAFs (e)

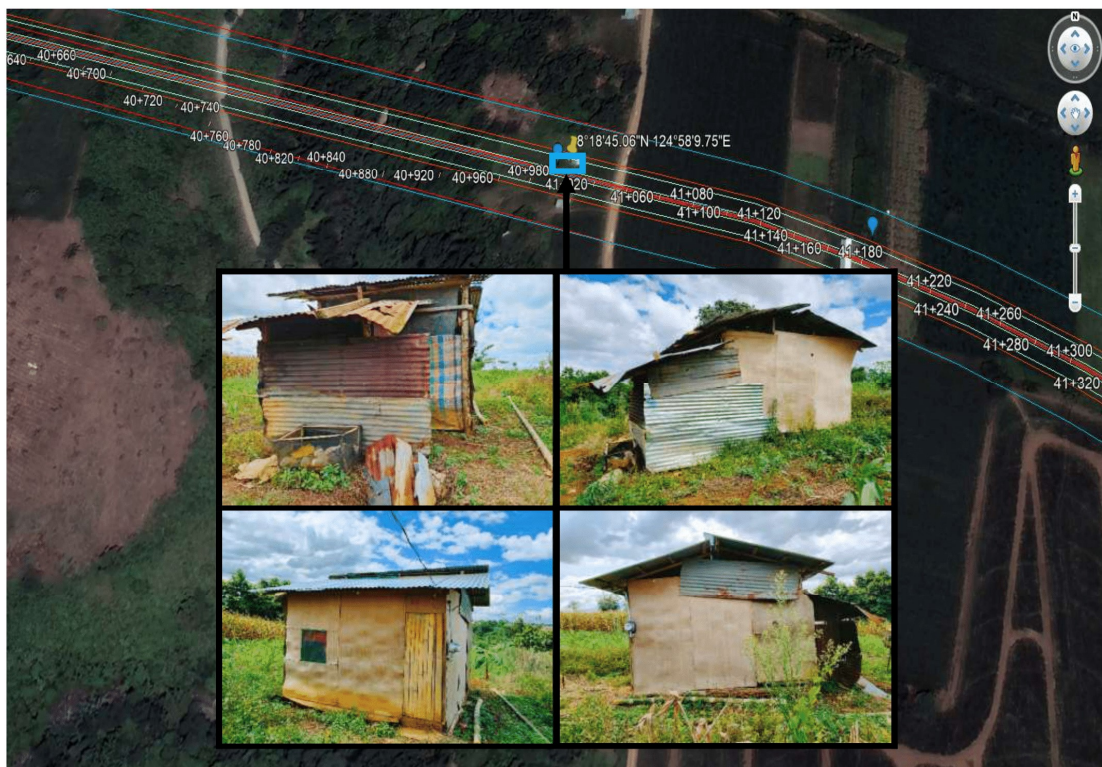


Figure 6-6. Geolocation of the 13 IP PAFs (f)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Figure 6-7. Geolocation of the 13 IP PAFs (g)



Figure 6-8. Geolocation of the 13 IP PAFs (h)

7 COMPENSATION POLICY

Compensation and entitlements are designed to enhance or at least restore the livelihoods of all displaced persons in real terms relative to pre-project levels and to improve the standards of living of the displaced poor and other vulnerable groups¹⁰.

DPWH will offer to the PAPs, as compensation price, the sum of:

- 1) replacement cost of land based on the current market value of land, free of taxes¹¹;
- 2) the replacement cost of structures and improvements; and
- 3) the current market value of crops and trees.

Replacement cost refers to the cost necessary to replace the affected structure or improvement with a similar asset based on current market prices. The replacement structure must perform the same functions and meet the performance of specifications as original structure.

To determine the appropriate price offer for the acquisition of ROW through negotiated sale, DPWH will engage the services of a government financial institution (GFI) with adequate experience in property appraisal or an independent property appraiser (IPA) accredited by: (1) the Bangko Sentral ng Pilipinas (BSP) or (2) a professional association of appraisers recognized by BSP.

In terms of entitlements and compensation, these are determined according to the nature of the impacts. Compensation and resettlement assistance will be provided in full to PAPs prior to displacement, land clearance and commencement of works in any affected areas.

If PAPs are unable or unwilling to receive their entitlements due to contested ownership, PAPs being absent and unreachable, or PAPs contest the compensation offered, and following reasonable efforts to identify owners, and adjudicate resolution of disputes as required under RA10752, DPWH will deposit the full amount of compensation and allowances due in an escrow account until such time as the money can be released to the PAPs.

7.1 Project Affected Persons and Eligibilities

Project Affected Persons (PAPs) are those who stand to lose, as a consequence of the project, all or part of their physical and non-physical assets, including homes, communities, productive lands, and resources such as forests, range lands, fishing areas, or important cultural sites, commercial properties, tenancy, income-earning opportunities, social and cultural networks and activities. Such impacts may be permanent or temporary. To sum up, PAPs are:

- 1) Persons with formal legal rights to land and structures lost in its entirety or in part;

¹⁰Vulnerable groups include (i) households with elderly (aged 60 years old and above); (ii) indigenous people (IP); (iii) poor households whose income fall below the poverty threshold; (iv) households with member who has disability (PWD); (v) solo parent; and (vi) women-headed households (WHH).

¹¹ Free of taxes, including capital gains tax, documentary stamps tax, transfer tax, and registration fees, except Real Property Tax (RPT) arrears

- 2) Persons who have no formal legal rights to such land and/or structures wholly or in part but who have claims to such lands that are recognized or recognizable under national laws; and
- 3) Persons who lost the land they occupy in entirety or in part who have neither legal rights nor recognized or recognizable claims to such land.

Specific to the project, the following types of PAPs are qualified:

1. Landowners and Land Users.
 - a) Legal owners (e.g. agricultural, residential, commercial and institutional) who have full title, tax declaration, or who are covered by customary law (e.g. possessory rights, usufruct, etc.) or other acceptable proof of ownership over the affected land.
 - b) Users or occupants that have no land title or tax declaration over the affected land.
2. PAPs with Structures
 - a) Owners of structures who have full title, tax declaration, or other acceptable proof of ownership (e.g. possessory rights, usufruct, etc.)
 - b) Owners of structures, including shanty dwellers, who have no land title or tax declaration or other acceptable proof of ownership
3. PAPs with Crops, Fruit Trees, and other Perennials
 - a) Owners of affected crops, fruit trees and perennials who have full title, tax declaration, or other acceptable proof of ownership (e.g. possessory rights, usufruct, etc.)
 - b) Owners of affected crops, fruit trees and perennials who have no land title or tax declaration or other acceptable proof of ownership.
4. PAPs Affected by the Loss of Livelihood and Sources of Income
 - a) Owners of registered or unregistered shops, regardless of land tenure status, whose business operation will be disrupted temporarily or permanently due to the project.

Cut-off date is the date of commencement of the census of PAHs within the project boundaries. Persons not covered at the time of census-taking will not be eligible for claims of compensation entitlements. For formal PAPs, cut-off date is reckoned upon receipt of Notice of Taking but the value of the land will be based on the agreed values of the land at the time of taking.

In this Project, the cut-off date of eligibility for structures and entitlements is provisionally set on November 5, 2021 though the official cut-off date shall be set in accordance with the parcellary survey. Determination of informal PAPs and affected improvements shall be based on cut-off date, which is the start of census of PAPs and tagging for improvements.

7.2 Compensation and Entitlement Matrix

A range of entitlements is provided in エラー! 参照元が見つかりません。 .

Table 7-1: Compensation and Entitlement Matrix¹²

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
1	Loss of Land (352 PAPs)				
1a	Land (Classified as Agricultural, Residential, Commercial, or Institutional)	<p>PAPs with Original Certificate of Title (OCT), Transfer Certificate of Title (TCT), emancipation patents (EP), or Certificates of Land Ownership Award (CLOA) granted under Comprehensive Agrarian Reform Act.</p> <p>PAPs who are not original patent holders of lands granted through Commonwealth Act (CA) 141 (i.e., those who have bought the patent for land previously granted through CA 141) and where any previous acquisition is not through gratuitous title (e.g., donation or succession)</p>	<p>Cash compensation for land at replacement cost¹³.</p> <p>OR</p> <p>Where the livelihood is land based, land for land of equivalent productivity, if land is available.</p>	<p>Replacement Cost will be computed based on the current market value of the land determined by Government Financial Institutions (GFI) with adequate experience in property appraisal or an accredited Independent Property Appraiser (IPA).</p> <p>The compensation will include Capital Gains Tax (CGT), Documentary Stamp Tax (DST), Transfer Tax, and Registration Fees. The unpaid Real Property Tax shall be paid by the landowner.</p> <p>As provided by RA 10752, payment for compensation of affected land– upon the execution of a deed a deed of sale, the implementing agency shall pay the property owner:</p> <ul style="list-style-type: none"> • Fifty percent (50%) of the negotiated price of the affected land, exclusive of taxes. • The remaining fifty percent (50%) will be 	DPWH-UPMO (RMC I)

¹² All claims and documents will be subject to validation

¹³ This provision would apply when land is acquired through negotiation (Section 6 of RA 10752). If land is acquired through expropriation, the provisions of Section 7 of RA 10752 would apply.

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
		For untitled land, PAPs with (a) Tax Declaration showing 30 or more years of continuous possession; (b) Department of Environment and Natural Resources (DENR) certification showing that land is alienable and disposable; or (c) other documents that show proof of ownership PAPs who were formerly ISFs but now hold title of land because of social government housing program.		provided upon transferring of Land Title to the Philippine Government. (RA 10752 – Section 6 (6.10a) Easement Agreement Included.	
1b		PAPs who are original patent holders of lands granted through CA 141 which has not been subject to previous government exercise of its lien	No compensation for land up to 20 m width if patent was granted prior to 1975 and up to 60 m width for patents granted thereafter. For area more than government lien, same as PAPs with OCT.	Presidential Decree (PD) No. 635, dated 07 January 1975, which increased the ROW strip reserved for public use from 20 meters in the with to a width not exceeding 60 meters. If the government decides to exercise its right to use the ROW strip reserved for public use within the land acquired under CA No. 141, the owner is required to execute a quit claim. The Implementing Agency (IA) shall then take possession of the property affected by the ROW without any compensation to the owner for the land, but shall pay the owner the cost of the damages for the improvements within that land equivalent to their replacement cost as determined by the Government Financial Institution (GFI) or accredited Independent Property Appraiser (IPA) by the Bangko Central of the Philippines.	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
				Easement Agreement Included.	
1c		PAPs whose properties are mortgaged	Cash compensation for land at replacement cost.	<p>Replacement cost will be computed based on the current market value of the land determined by Government Financial Institutions (GFI) with adequate experience in property appraisal or an accredited Independent Property Appraiser (IPA). (RA 10752 – Section 6 (6.2 to 6.6))</p> <p>The compensation will include Capital Gains Tax (CGT), Documentary Stamp Tax (DST), Transfer Tax, and Registration Fees. The unpaid Real Property Tax shall be paid by the landowner. (RA 10752 – Section 6 (6.9))</p> <p>The PAP will have the option of relinquishing the severed portion of the remaining unviable land for acquisition.</p> <p>Payment of compensation will be made after deducting the remaining amortization payable to the mortgagee.</p> <p>The remaining amortization amount deducted, computed based on the original amount of principal, less interests for remaining amortization period, will be paid to the mortgagee.</p> <p>Easement Agreement Included. (RA 10752 Section 10)</p>	DPWH-UPMO RMC1
2	Loss of Structures and Improvements (134 PAPs)				
2a	Structures (Residential, Commercial,	PAPs who own affected structures including absentee owners and owners	Cash compensation for the structure at replacement cost including transaction	For partly affected structures, if the unaffected portion is safe and viable for the intended use, in addition to compensation for affected portion	DPWH-UPMO (RMC I)

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
	Industrial/ Institutional)	of structures who do not own the land	costs without deduction for depreciation or salvaged materials ¹⁴	<p>of the structure, additional cash assistance for the restoration and / or repairs of the affected portion of the structure shall be provided. The cost of cash assistance shall be commensurate with actual costs of repairs including reconnection fees for utilities.</p> <p>If the unaffected portion is unsafe and/or unviable for the intended use, compensation for the entire structure shall be paid.</p> <p>Affected Structures and Improvements, Crops and Trees</p> <ul style="list-style-type: none"> Seventy percent (70%) of the market value upon the Agreement to Demolish/ Removal of the affected structures, improvements, and crops and trees. The remaining thirty percent (30%) shall be paid upon completion of Demolition /Removal of the affected structures, improvements and crops and trees. (RA 10752 – Section 6 (6.10b)) 	
3	Physical Displacement				
3a	Loss of Residential Structure	PAPs who own structures and also own the land where the structure is located.	In addition to compensation provided under S.No.2	For partly affected structures, if the unaffected portion is unsafe and/or not livable, in addition to compensation provided under S.No.2, will be entitled for assistances provided under S.No.3a.	Housing and Urban Development Coordinating Council (HUDCC) and
3b		PAPs who own structures but do not own the land where the structure is	(i) Resettlement assistance through		

¹⁴ The replacement cost shall be composed of the Estimated Direct Cost (EDC) and the Estimated Indirect Cost (EIC). EDC includes the cost for permits and clearances such as building permit as indicated in Section 6.6 of RA 10752.

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
		located and are eligible for socialized housing as prescribed in R.A. 7279. (Sections 28 and 29). RA – 10752 Section 14.	Pag-IBIG low cost and medium cost housing loan. (ii) Right to salvage materials. (iii) Inconvenience allowance amounting to PHP 10,000 per household. (iv) Transportation assistance of PHP 15,000 per household.		the National Housing Authority (NHA), in coordination with the LGUs and IAs concerned
3c		PAPs who own structures but do not own the land and ARE ELIGIBLE ¹⁵ for socialized housing as prescribed in R.A. 7279	In addition to compensation provided under S.No.2 (i) Provision of socialized housing unit. (ii) Right to salvage material. (iii) Transitional Allowance ¹⁶ equivalent to three month rent (one month rental and two months advance) of a similar structure	For partly affected structures, if the unaffected portion is unsafe and/or not livable, in addition to compensation provided under S.No.2, will be entitled for assistances provided under S.No.3c.	

¹⁵(a) Must be a Filipino citizen; (b) Must be an underprivileged and homeless citizen, as defined in Section 3 of RA 7279; (c) Must not own any real property whether in the urban or rural areas; and (d) Must not be a professional squatter or a member of squatting syndicates.

¹⁶ Those who do not qualify for the socialized housing program are those who do not meet the eligibility criteria of (a) Must be a Filipino citizen; (b) Must be an underprivileged and homeless citizen, as defined in Section 3 of RA 7279; (c) Must not own any real property whether in the urban or rural areas; and (d) Must not be a professional squatter or a member of squatting syndicates.

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			within the same area. (iv) Transportation assistance of PHP15,000 per household.		
3d		PAPs who are renting, leasing or sharing the structure and are NOT eligible ¹⁷ for socialized housing as prescribed in R.A. 7279.	No compensation for land and structures. (i) Provision of socialized housing unit. (ii) Transitional Allowance equivalent to three month rent (one month deposit and two months advance rental) of a similar structure within the same area. (iii) Transportation assistance of PHP 15,000 per household.	APs who are renting, leasing or sharing the structure and are NOT eligible ¹⁸ for socialized housing as prescribed in R.A. 7279 are given ample time to find a new place to rent	
3e		PAPs who are renting, leasing or sharing the structure, and are eligible ¹⁹ for socialized housing as prescribed in R.A. 7279.	Ditto	Ditto	
3f	Loss of other immovable	Owners of other immovable machineries, equipment, and assets.	Compensation at replacement cost for affected immoveable	Based on appraised value of the immovable equipment	

¹⁷ Same as footnote 16

¹⁸ Same as footnote 16

¹⁹ Same as footnote 15

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
	machineries, equipment, and assets.		machineries, equipment, and other assets, including associated transportation and installation cost from supplier to new location.		
4	Loss of Livelihood / Income				
4a	Loss of Business	Affected persons who own fixed micro businesses ²⁰ [e.g., small shops, sari-sari store, carinderia (eatery), food stand, repair shop, etc.] with or without permits from the LGU concerned.	<p>(i) Cash assistance for six months for income loss.</p> <p>(ii) Assistance in securing soft loan through existing programme of government agencies to enable self- rehabilitation for those restarting business elsewhere.</p> <p>(iii) Training for skills development for any one member of the affected household.</p> <p>(iv) Transportation assistance of PHP15,000 per household.</p> <p><i>For affected persons who are leasing space:</i> For those who will continue with their micro-small</p>	<p>For microbusiness with income filed income tax return (ITR) as proof of income, the amount on the declared ITR equivalent to six months income will be provided, computed based on past six month average income reported in the ITR.</p> <p>For micro business with no proof of income (ITR), the six month assistance will be computed based on the latest applicable minimum wage rate at 30 days per month.</p> <p>The training for skills development will be developed during implementation based on need assessment with provision to cover the cost of suitable training through Government / Government accredited agencies at PHP15,000 per affected person.</p>	DPWH- UPMO (RMC I), LGU, TESDA, DSWD, and other relevant national government agencies.

²⁰ Businesses with up to PHP 3,000,000 capitalization and 1-9 employees as defined under Small and Medium Enterprise Development Council Resolution No. 01 Series of 2003 dated 16 January 2003

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			business activities elsewhere, rental subsidy for three (3) months based on prevailing average monthly rental for a similar structure of equal type and dimension to the property being leased. Not applicable to lease contracts that will expire at the time of taking possession for civil works.		
4b		Affected persons who own small, medium, or large business ²¹ establishments, (commercial, industrial, and institutional).	<p>(i) Cash assistance for six months for income loss.</p> <p>(ii) Transportation assistance of PHP15,000 per household.</p> <p><i>For affected persons who are leasing space:</i> For those who will continue with their micro-small business activities elsewhere, rental subsidy for three (3) months based on prevailing average monthly rental for a similar structure of equal type and dimension to the property being leased. Not applicable to lease contracts that will</p>	<p>For business establishments with income filed income tax return (ITR) as proof of income, the amount on the declared ITR equivalent to six months income will be provided, computed based on past six month average income reported in the ITR.</p> <p>For business establishments with no proof of income (ITR), the six month assistance will be computed based on the latest applicable minimum wage rate at 30 days per month.</p>	

²¹ The Philippines employs two criteria in operationally defining MSMEs, namely employment and asset size. The PSA classifies an enterprise as a micro if it has less than 10 employees, small if it has 10-99 employees, medium with 100-199 employees, and large if it has 200 or more employees.

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			expire at the time of taking possession for civil works.		
4c	Loss of Income / Wages	Affected persons who are employed in a displaced commercial, agricultural, aquaculture, industrial, or institutional establishment and lose their job due to closure of business or laying off because of minimized operation.	<p>(i) Cash assistance will be provided for three months based on wages/salary earned or if no record of wages/salary, assistance will be computed at minimum wages.</p> <p>(ii) Training for skills development for any one member of the affected household.</p> <p>(iii) Priority in employment during construction and operation stage of the project. Per RA No. 6685, an act requiring private contractors to whom national, provincial, city and municipal public works projects have been awarded under contract to hire at least fifty percent of the unskilled and at least thirty percent of the skilled labor requirements to be</p>	<p>Provision of training for skills development, based on affected persons preference, in collaboration with agencies such as TESDA, DA, LGU PESO, DTI and other agencies mandated to provide training and livelihood program.</p> <p>The DPWH -LLRN Project PMO will establish a Resettlement Implementation Committee and sign a MOA with agencies mandated to provide assistance to the APs of the project with funds downloaded to these agencies to ensure that employment and livelihood restoration plan is carried out in accordance with the RF.</p> <p>For wages/salary income tax return (ITR) will be the basis to determine wage/salary earned.</p> <p>If no proof of wage/salary, the assistance will be computed based on the latest applicable minimum wage rate at 30 days per month.</p> <p>The training for skills development will be developed during implementation based on need assessment with provision to cover the cost of suitable training through Government / Government accredited agencies at PHP15,000 per affected person.</p>	

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			taken from the available <i>bona fide</i> residents in the province, city or municipality in which the projects are to be undertaken, and penalized those who fail to do so.		
4d		Affected persons who permanently relocate to a place that makes former wage-based livelihood opportunities inaccessible and as a result need to find new employment or source of livelihood.	(i) Cash assistance will be provided for three months based on wages/salary earned or if no record of wages/salary, assistance will be computed at minimum wages. (ii) Training for skills development for any one member of the affected household.		
4e	Rental income	Owners of structures deriving rental income (owners of residential structures and/or commercial structures, who have rented/leased out their structure)	Cash assistance equivalent to three months rental derived from the affected structure or if there is no proof of rental receipt, rental paid for similar structure within the same area will be paid.		
5	Loss of Crops, Trees and Livestock (352 PAPs)				

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
5a	Loss of Crop	Affected persons who own land or lessees, who are directly involved in farming	Disturbance compensation equivalent to five times the average of gross harvest over the last five years, on the principal and secondary crops of the area acquired (as adopted from RA 6389).		DPWH-UPMO (RMC I) with support from DA, MAO, DENR and MENRO
5b		Agricultural tenants (17 PAPs) and sharecroppers	Financial assistance equivalent to the average gross harvest over the last three years and not less than PhP15,000/ha (EA 1035).	In case of privately-owned land/publicly owned land, crop compensation will be disbursed between the owner and sharecropper, as per terms of the sharecropping arrangement, In case of dispute over verbal agreement with sharecropper, certification from elected representatives will be considered as legal document.	
5c		Landless farmers who are neither tenant, lessee nor sharecropper.	(i) Time to harvest annual crops, otherwise compensation for crops based on market value at harvest time. (ii) Cash compensation for income loss equivalent to two months minimum wage for affected landless farmers. (iii) Provision of training for skills development in collaboration with		

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			agencies such as TESDA, DA, LGU PESO, DTI and agencies mandated to provide training and livelihood programs.		
5d	Loss of trees and perennial crop	Owners of timber, non- timber and fruit bearing trees, and other perennials crops (regardless of ownership status of the affected land).	<p>(i) Compensation for timber and non- timber trees at current market values as prescribed by the Department of Environment and Natural Resources (DENR).</p> <p>(ii) Compensation for fruit bearing trees calculated at market value of annual net product multiplied by the number of productive years remaining by the Department of Agriculture (DA).</p> <p>(iii) Cash compensation for perennial crops calculated at current market value as prescribed by the concerned LGUs, DA, and DENR.</p>		

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
5e	Livestock	Owners of Livestock	(i) Compensation of income loss equivalent to one year income. (ii) Transportation assistance of maximum Php.15,000, for transporting of livestock.	Annual income will be computed based on the guidelines of the Department of Agriculture.	DPWH-UPMO, RMC1 with the support of the DA
6	Additional Assistance to Vulnerable				
6a	Physical and / or economic displacement. (53 PAFs)	Households belonging to poverty threshold, households headed by elderly, households headed by woman, women and children, indigenous peoples, landless, those without legal title to land, solo parent with dependent, and households with members who are PWD.	In addition to applicable compensation and assistance, Vulnerable shall be provided with additional assistance: (i) Inconvenience allowance of PHP.10,000 per household. (ii) Rehabilitation assistance in the form of skills training and other development activities with the value of up to PHP.15,000. (iii) Support and/or maintain access to government welfare programs. In collaboration with agencies mandated to provide such		DPWH-UPMO (RMC I), LGU, TESDA, DSWD, and other relevant national government agencies.

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
			services.		
7	Loss of Public Land and Structure				
7a	Land and Structure	Government agencies that own affected land and / or structures (4 units)	(i) Government to government arrangement for loss of land. (ii) Replacement cost for structure without deduction for depreciation.		DPWH-UPMO (RMC I) and concerned NGA/LGU
7b	Utility	Utility Service Providers/ Concessionaires (power, water, telecommunication)	DPWH through agreements with utility service providers and/or concessionaires, will be directly engaging with such entities regarding compensation and relocation of their facilities.	Involuntary resettlement impacts arising out of utility relocation will be addressed in accordance with the principles of this policy framework.	DPWH-UPMO (RMC I) and concerned NGA/LGU
8	Temporary use of Land by Civil works Contractor				
8a		APs who have legal rights to the land.	(i) Cash payment for rent of the affected land at prevailing rental rates in the location of the property until the property is restored. (ii) Restoration of land within 3 months of completion of use. (iii) Compensation for damaged/affected non-land assets at full replacement cost.	These provisions are covered in the contract / agreements of the civil works contractors. Payable by the civil works contractor and ensured by DPWH.	DPWH-UPMO (RMC I)
8b		APs without legal rights to affected land but owners of affected non-land assets.			
9	Unanticipated Involuntary Resettlement Impacts				

SNo	Type of Loss	Entitled Person	Compensation/ Entitlements	Implementation Guidelines	Responsible Organization
9a	Unanticipated impacts will be addressed in accordance with the provisions of the resettlement framework, JICA Guidelines for Environmental and Social Considerations (2022), ADB Safeguards Policy Statement (2009), and applicable national laws and regulations.				DPWH- UPMO (RMC I) with support from NHA and LGUs

For PAPs that are willing to donate their properties, including structures, donation is the appropriate mode of acquisition. Donation, as defined under Art. 2725 of the Civil Code, “is an act of liberality whereby a person disposes gratuitously of a thing or right in favor of another who accepts it”. Moreover, the Involuntary Resettlement Sourcebook of World Bank will be observed. Deed of donation should be simple and unconditional, contain clauses to the effect that:

- Donation is made by the donor not to defraud his creditors.
- Donor reserved for himself enough property for his and his family’s subsistence, sustenance, and support.
- Deed of donation should be registered with the Registry of Deeds.
- The implementing agency may utilize donation or similar mode of acquisition if the landowner is a government-owned or government-controlled corporation.

Expropriation should be the last resort in acquiring infrastructure ROW. In accordance with RA 10752-IRR Section 7, the IO may resort to the mode of expropriation to acquire real property for the ROW for a national government infrastructure in any of the following cases: a. If negotiated sale fails, i.e., if, within thirty (30) days after receiving the price offer from the IO, the property Owner: (1) refuses or fails to accept the price offer for negotiated sale; or, (2) fails and/or refuses to submit the documents necessary for payment under the negotiated sale; or, b. When negotiation is not feasible, including cases where, after due diligence: (1) the Owner of the property cannot be found or (2) the Owner is unknown or (3) the Owner is deceased and the estate has not been settled or (4) there are conflicting claims over the Ownership of the property and improvements and/or structures thereon.

DPWH will initiate expropriation proceedings. The IO shall immediately deposit to the Court in favor of the Owner, the sum of: the value of the land based on the current relevant BIR zonal valuation, the replacement cost at current market value of the structures and improvements, and the current market value of crops and trees.

Gender key considerations. Regardless as to whether the designated household head is a man or a woman, both spouses heading PAHs will be invited when the compensation is disbursed. New titles at resettlement sites will be issued in the names of both spouses heading household recipients of resettlement site plots. In the long term, the road project is expected to improve women's access to social services, economic or financial resources or opportunities, and other basic infrastructure.

8 LIVELIHOOD RESTORATION PROGRAM

The Livelihood Restoration Program (LRP) is an essential component of a RAP. It provides the PAPs assistance whose livelihoods are directly adversely affected by the Project by restoring their income generating capacity to at least pre-project levels. For vulnerable PAPs, the LRP is also aimed at improving their living standards. The livelihood restoration measures are to be planned to take account of each individual situation. Sufficient time for planning and substantial interaction with the PAPs is deemed essential requisites to developing a more robust plan that will promote both immediate and long-term self-sufficiency. As such, while this plan outlines the necessary livelihood restoration measures, further consultations with the PAPs to plan specific livelihood restoration and improvement measures.

As explained in above, the following groups of people are considered to have their livelihood hindered because of the project and hence be eligible to participating in the program.

- 1) Business entities;
- 2) Displaced persons; and
- 3) Vulnerable groups

The LRP was developed based on the understanding of the community's needs, preferences, and challenges which were captured by the socioeconomic survey designed to engage the local population and solicit valuable insights into their livelihood preferences, aspirations, and requirements.

Throughout this survey, the PAPs were asked about their preferred types of livelihood programs, the necessary support to restore or enhance their livelihoods, and the challenges hindering their means of living. This is to ensure that the programs and interventions to be developed would closely align with the actual needs and desires of the people it intended to assist.

Subsequent to the survey, a series of consultation meetings were convened. These gatherings served as a platform for further validating the findings from the socioeconomic survey. During these consultations, the preferred livelihood programs identified in the survey were confirmed and refined based on the additional insights gained.

Based on the results of consultations and SES, the specific activities of the LRP will focus on supporting households interested in venturing into small businesses or services, such as shops or service stalls. DPWH will secure agreements with vocational schools to provide technical advice, entrepreneurship training, and pilot models for these small business ventures. The program will help households understand key factors like selecting the right products, assessing the market situation and competition, estimating investment and potential profit, and evaluating risks.

The core objective of the LRP is to provide training to PAPs, free of charge, in their preferred areas to support their livelihood goals. This will include:

- Entrepreneurial skills

- Small business management
- Agricultural extension focused on preferred farming practices
- Vocational training in specified skill areas such as automotive, cooking, driving, etc.

The main service providers will be TESDA, DSWD, LGUs and an entrepreneurial development service provider engaged by DPWH.

Table 8-1 demonstrates the diverse existing skills of the affected PAPs, including Business Management, Butchery, Carpentry, Cooking, Dressmaking, Driving, Electrical, Farming, Horticulture, Masonry, and Welding.

Table 8-1. Existing/Present Skills

Existing/ Present Skills	Total	
	No	%
Business Management	4	6%
Butchery	1	1%
Carpentry	6	8%
Cooking	1	1%
Dressmaking	1	1%
Driving	9	13%
Electrical	3	4%
Farming	37	52%
Horticulture	1	1%
Masonry	1	1%
Welding	1	1%
None	1	1%
No Response	5	7%
Total	71	100%

Another result of the socioeconomic survey is the training preferences of the affected PAPs which are automotive, cooking, driving, agriculture (farming), business management, plumbing, beauty care, carpentry, computer technician, electrical, horticulture, mechanic, painting, soap making, and welding.

Table 8-2. Skills/Training Preference

Skills/Training Preference	Total	
	No	%
Agriculture	4	6%
Automotive	30	42%
Beauty Care	1	1%
Business Management	4	6%
Carpentry	1	1%
Computer Technician	1	1%
Cooking	7	10%
Driving	5	7%
Electrical	1	1%

Skills/Training Preference	Total	
	No	%
Horticulture	1	1%
Mechanic	1	1%
Painting	1	1%
Plumbing	4	6%
Soap Making	1	1%
Welding	1	1%
None	1	1%
No Response	7	10%
Total	71	100%

In terms of business interest, half of the respondents wanted to have a Sari-Sari store followed by buy and sell. The following preferences were based on the socioeconomic survey.

Table 8-3. Business Interest Preference

Business Interest Preference	Total	
	No	%
Agriculture Business	2	3%
Agrivet Supply	3	4%
Beauty Salon	1	1%
Bread and Pastry	1	1%
Buy and Sell	5	7%
Feeds Store	1	1%
Flower Shop	1	1%
Motor Parts	3	4%
Piggery	6	8%
Puj Operator	1	1%
Sari-Sari Store	36	51%
None	1	1%
No Response	10	14%
Total	71	100%

8.1 Livelihood Restoration of Business Entities

In terms of business entities, the assistance and entitlements that can be provided by DPWH, with support from concerned government agencies are summarized in エラー! 参照元が見つかりません。 under the “Other Entitlements”. They are grouped based on the following:

- 1) PAPs who own affected fixed micro businesses (e.g. small shops)
- 2) PAPs who own affected small, medium or large businesses

8.2 Livelihood Restoration of Displaced Persons and Vulnerable Groups

The LRP for individuals, including displaced persons, is designed based on the existing relevant programs of the national, regional, provincial and LGU levels. DPWH, in coordination with the LGUs, shall monitor the implementation of the LRP including monitoring of each implementation. LGUs are expected to play an equally, if not more, important role in ensuring that the PAPs' livelihood is restored and/or improved in a long run and that the LRP is in line with the existing programs and institutions. In case the implementation of LRP do not meet its objectives, supplemental measures will be examined with concerned authorities including DPWH. In addition, DPWH-ESSD conducts monitoring on livelihood restoration program as a part of internal and external monitoring.

The program should start prior to implementation stage of the project and may extend as far as the end of its completion yet not less than one year after commencement of construction. To ensure social inclusion, development outcomes should pay a special attention to integrating the different needs and concerns of women and men, people with disability, and the elderly as agents and beneficiaries of the programs and services.

As part of its function in providing livelihood restoration program to its constituents, the local government will assist the PAPs in availing the following livelihood programs from TESDA and DSWD.

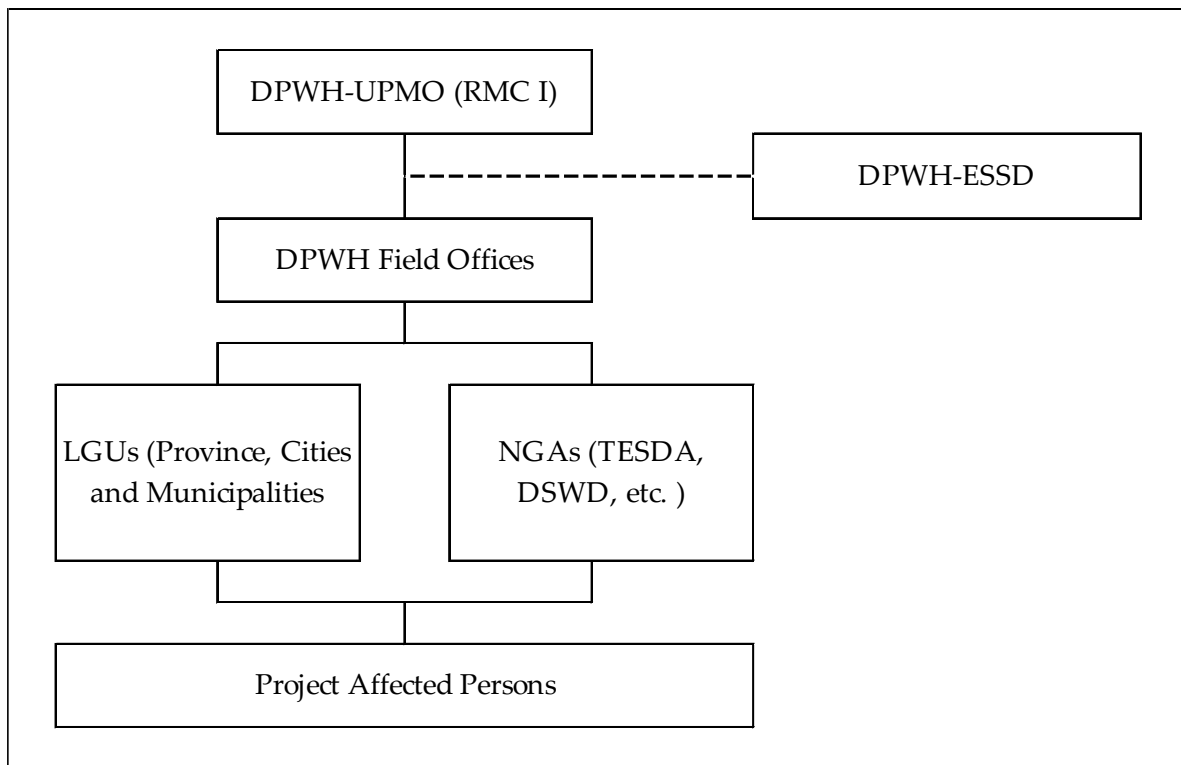


Figure 8-1 LRP Implementation Structure

8.2.1 Vocational Training offered by TESDA

Vocational training will be provided to the PAPs by the Technical Education and Skills Development Authority (TESDA). TESDA is the government agency tasked to manage and supervise technical education and skills development in the region.

Most of the technical-vocational courses offered by TESDA require a high school diploma.
The other trainee entry requirements for various courses are as follows:

PAPs Applicants-seeking technical education and skill development provided by TESDA are requested to meet at least one of criteria listed below.

- a. At least 18 years old
- b. High School Graduate / Senior High School Graduate
- c. Alternative Learning System (ALS) Passer
- d. TechVoc Graduate
- e. College Graduate / Undergraduate
- f. Industry Worker

Training activities will be delivered through the following three modes.

- a. **Training Centers operated by TESDA** - provides certificates of completion after each training course. The certificates of the completion are presented to would-be employers who will provide permanent employment and a regular stream of income. Trainings cost an average of PhP 10,000/course but may be as high as PhP 15,000. TESDA, in collaboration with the LGUs, industries that provide funds, implement the Training for Work Scholarship Program (TWSP) where successful scholars are chosen to undergo trainings based on industry requirements. The scholars, before being chosen, undergo a rigid selection process. PAHs and/or vulnerable groups may avail of this program after they pass the tests or assessments.

Vocational Trainings - those provided by TESDA in particular, should ensure women's enrolment in non-traditional skills training (e.g. welding, carpentry and plumbing) as it offers higher income compared to being engaged in traditional livelihood activities (Sec. 13, RA 9710). TESDA should ensure the full implementation of the gender sensitive TVET curriculum in all training courses regardless of the mode of delivery of these trainings.

- b. **Private Institutions** - Vouchers are allocated by TESDA at least three to four times a year to accredited training centers. The number of vouchers is based on demand and is usually determined through surveys on the training courses needed in each barangay.
- c. **Community-based Programs** - Community-based Training for Enterprise Development Program is primarily addressed to the poor and marginal groups who cannot access formal training provisions. They may have low skills, limited management abilities, and have few economic options. They may have no access to capital and hence unqualified for formal credit programs. The program goes further than just skills trainings. It is purposefully designed to help form livelihood enterprises that will be implemented by the trainees immediately after the training. Likewise, it is designed to assist partner agencies such as LGUs, NGOs, people

organizations and other agencies and organizations tasked to help the poor people engage in productive activities to help themselves and their communities.

8.2.2 Sustainable Livelihood Program offered by the Department of Social Services and Development (DSWD)

The Sustainable Livelihood Program (SLP) is a community-based capacity building program that seeks to improve the program participants' socioeconomic status.

The program design has two tracks: the Microenterprise Development Track and the Employment Facilitation Track.

- a. **Track 1: Microenterprise Development** - The Microenterprise Development Track is a capacity building program that focuses on micro-enterprise development, skills enhancement, networking and partnership building, and provision of capital assistance to poor families. The participants shall be organized by their economic or livelihood activity, depending on the local field implementer's assessment of the most appropriate form.
- b. **Track 2: Employment Facilitation** - The Employment Facilitation Track provides assistance to unemployed members of poor families preferring a job rather than start an enterprise for income generation. They shall be provided with technical skills training, occupational guidance and counselling, and job referrals or placement.

Given the necessary interventions identified for both tracks, the field implementers are expected to serve as process facilitators and partnership builders to generate and bridge opportunities for the program participants.

Both tracks are executed based on the Community-Driven Enterprise Development (CDED) approach, which equips program participants to actively contribute to production and, labor markets by looking at available resources and accessible markets. The CDED approach promotes the Local Economic Development (LED) strategy and Value Chain Production of each community.

The Community-Driven Enterprise Development (CDED) is an important instrument for the realization of potential among marginal and deprived communities and is important in bringing social upliftment. It is a low cost, easy to implement training approach for helping entrepreneurs and development partners. It is one of the strategies being implemented by the national and local governments in addressing the issue of poverty.

9 GRIEVANCE PROCEDURE

9.1 Objectives and Advantages of Developing a Grievance Redress Mechanism

A well-designed grievance redress mechanism can help ensure the sound implementation of the project. The mechanism shall provide PAPs a platform to lodge their complaints, if any, towards the project especially on matters relating to land acquisition and resettlement. It shall facilitate accessible and efficient delivery of concerns directly to the decisionmakers as compared to the formal judicial process. This mechanism shall also allow the DPWH to get hold of the concerns immediately so that corresponding response measures can be formed and implemented in a timely manner. Recognizing and addressing grievances early on makes them more manageable and resolvable and will therefore benefit both parties. A good grievance redress mechanism also helps build trust between the parties.

A raise grievance is examined in M/RIC which is composed of wide ranges of people including representatives of PAPs from each affected barangay and Peoples Organization (POs) as necessary. Thus, reliability can be secured in addition to transparency and easy access.

Thus, a grievance redress mechanism shall be established at the DED stage, prior to implementation of land acquisition. A person within the DPWH and/or the RIC shall be assigned to receive and process the grievances. His/her name and contact information shall be shared with all PAPs. The DPWH shall also ensure that the PAPs know and understand the mechanism including the people involved, the procedure, and the time and costs needed to be functional and effective. Special consideration shall be given to vulnerable people such as the illiterate, for which the DPWH may wish to explain the mechanism in a different manner (e.g. verbally instead of by paper). Grievances received must then be properly treated and discussed, and the resolution or conclusion delivered to the complainants within a reasonable time.

9.2 Composition of the RAP Implementation Committee

The RIC will be established where the road project will traverse. The RIC is an inter-agency committee composed of the following:

- | | | |
|---|---|----------------|
| 1. DPWH-UPMO Director or his/her representative | - | Chairperson |
| 2. City/Municipal Mayor or his/her representative | - | Co-Chairperson |
| 3. DPWH National, Regional Director or his/her representative | - | Member |
| 4. DPWH Regional Director or his/her representative | - | Member |
| 5. NCIP Provincial and or Regional Office | - | Member |
| 6. Chairperson of the Barangay or his/her representative | - | Member |
| 7. City/Municipal Division Chiefs or his/her representative | - | Members |
| 8. A representative of the IP/ICC | - | Member |
| 9. A representative of the PAPs in the barangay | - | Member |
| 10. A representative of a city/municipal-wide
Non-government Organization (NGO), if there is any,
endorsed by the other members of the RIC. | - | Member |

The Barangay Chairperson or his/her representative and the representative of the PAP will take active part in the activities of the RIC on matters concerning their respective communities. The RIC will have the following functions:

1. Assist in the validation of the list of PAPs.
2. Assist in the validation of assets that will be affected by the project and compute the compensation and other entitlements due to the PAPs as per RA 10752, DPWH Resettlement Policy and pertinent Department Guidelines and submit the same to the DPWH for appropriate action.
3. Assist the Implementing Office in the conduct of public information campaign, public participation and consultation.
4. Assist the DPWH in the payment of compensation to PAPs
5. Receive complaints/grievance from PAPs and other stakeholders and act on the same within 15 days upon receipt thereof, except for complaints and grievances that specifically pertain to the valuation of affected assets, since such will be decided upon by the proper courts. (The PAP may refer his/her grievance to the DPWH UPMO, RMC 1 Director, or even to a court of law, if he/she is not satisfied with the action of the RIC or the DPWH.
6. Maintain a record of all public meetings, complaints, and actions taken to address complaints and grievances
7. Assists the DPWH and NCIP staff in identifying who among the PAP's are IPs or belong to ICCs
8. In coordination with the concerned government authorities, assist in the enforcement of laws/ordinances regarding encroachment in the project site or ROW

9.3 Composition of DPWH-UPMO ROW Task Force

The DPWH Secretary issued Department Order (DO) No. 203, series of 2016 which created the UPMO-ROW Task Force (URTF) and its Technical Working Group (TWG). This Order is in line with the Department's decentralization efforts to streamline procedures for a more effective and expeditious implementation of urgent national roads, bridges and various flood control projects being implemented by the Unified Project Management Offices which are hampered by the delay in the ROW acquisition.

The URTF is composed of the Undersecretary for UPMO Operations as Chairman, the Director of the LA as Vice-Chairman, and the UPMO Cluster Directors as Members. The URTF shall be supported by a TWG composed of representatives of the URTF members.

The URTF shall perform the following functions:

1. Organize a ROW Team for each UPMO Cluster that will handle the ROW acquisition of its projects, to be headed by the Project Managers assigned to the project.
2. Monitor the ROW acquisition status and recommend appropriate actions on projects with problematic ROW.
3. Execute and recommend appropriate resolutions pertaining to payment of ROW affected by various UPMO projects which are beyond the authority of the Project Directors.

4. Review the validation of supporting documents undertaken by its TWG and recommend payments after evaluation as to propriety of the claims.

The TWG shall exercise the following functions:

1. Ensure that all relevant papers and documents in support of the ROW claim are carefully screened and verified as to their authenticity and genuineness in order to forestall fraud, pursuant to the provisions of the Simplified Guidelines for Validation and Evaluation of ROW Claims.
2. Ensure that the computation of land valuations and disturbance compensation (structures and other improvements) are based on the RA 10752 and its IRR and other applicable laws, policies and department orders.

9.4 Procedures of Grievance Redress

A framework for the grievance redress mechanism for land acquisition, compensation and other concerns on the project is provided in the LARRIPP (2007) mentioned above. Grievances related to any aspect of the project will be dealt with through dialogue and negotiations with the aim of rapidly and amicably addressing the concerns in a less costly manner compared to those dealt with as legal cases.

Under this framework, a Municipal/City RAP Implementation Committee (M/CRIC), a local coordinating and consultative body organized for the implementation of RAP and established by UPMO through a Memorandum of Understanding (MOU) with concerned parties prior to commencement of the project, will play a key role. Among their responsibilities is to receive and record the voices, complaints, opinions, and suggestions provided by the PAPs, and address them as the first level of decisionmakers. If the response to the complaint is deemed inadequate in the view of the PAPs, the PAPs may elevate their grievance to the ROW Task Force that consists of higher-level officials of the DPWH CO. Should the grievance still not be settled, the PAPs may finally resort to filing a case with the court. Under this project, grievances from the PAPs shall be handled in the following manner:

- 1) Grievance shall be filed by the PAP with the M/CRIC. The M/CRIC shall act on the grievance within 15 days upon receipt, with the exception of complaints and grievances that specifically pertain to the valuation of affected assets, since such will be decided upon by the proper courts;
- 2) If no understanding or amicable solution can be reached, or if the PAP does not receive a response from the M/CRIC within 15 days of the filing of the complaint, he or she can appeal to the ROW Task Force which should then act on the complaint or grievance within 15 days from the day of its filing;
- 3) If the PAP is still not satisfied with the decision of ROW Task Force, he/she, as a last resort, can submit the complaint to any court of law.

PAPs shall be exempted from all administrative and legal fees incurred pursuant to the grievance redress procedures as guaranteed by the LARRIP (2007). All complaints received in writing (or written when received verbally) from PAPs will be documented and shall be acted upon immediately according to the procedures detailed above.

In the event that the PAP/F rejects the compensation offered by the DPWH, the DPWH or the PAP/F may take the matter to court. When court cases are resorted to by either the DPWH through expropriation or by the PAP/Fs through legal complaints, the DPWH will deposit to the court the (100%) value of the land based on the current relevant BIR Zonal Value.

9.5 Formation of Municipal/City RAP Implementation Committee

The M/CRIC is the responsible body organized for the smooth implementation Right-of-Way Action Plan. In the formation of the M/CRIC, the following activities were undertaken jointly by DPWH and the concerned LGUs:

- 1) Consultation on who will be the members of the committee and their roles and responsibilities.
- 2) Drafting of Memorandum of Understanding (MOU) for the Creation of the M/CRIC for the Central Mindanao Highway Construction Project (Cagayan De Oro – Malaybalay Section).
- 3) Review of the draft MOU by the concerned LGUs.

10 INSTITUTIONAL FRAMEWORK

10.1 Current DPWH Capacities on Social Safeguards

Effective resettlement depends on the capacity and commitment of the agencies responsible for resettlement planning and management. In the past few years, DPWH has improved its management processes, however, the capacity across all levels needs to be further strengthened. JICA will continue to assess the adequacy institutional capacity of DPWH, including NCIP at the National, Regional and Local levels and provide technical assistance to address the issue of institutional development and capacity building by financing the conduct of indigenous people management training seminars and workshops.

District Engineering Office, DPWH. The DEO will act as Technical Coordinator and will (i) oversee the staking-out and verification of affected properties; (ii) review, and if found correct, prepares and approves disbursement vouchers/payments; (iii) cause the prompt delivery of payments to the PAPs with the assistance of RIC (iv) submit reports on disbursements and payments to APs to the RO and the UPMO; and (v) submit monthly progress reports to ESSD, the ROs and the UPMO. The DEO will chair the RIC and will actively participate in its functions.

10.2 National Level

The DPWH will be the Executing Agency (EA) for the Project. The overall direction and leadership for implementing the RAP will be exercised by the Secretary, supported by the Undersecretary of UPMO Operations and other members of the Executive Committee (EXECOM) of the DPWH composed of the Undersecretaries and Assistant Secretaries of the Department.

The Unified Project Management Office (UPMO) shall be responsible for implementing and monitoring the Project, including land acquisition and other resettlement related activities. It will ensure that funds for the timely implementation of RAP are available and that all costs are properly accounted for.

The Roads Management Cluster I, Bilateral, Unified Project Management Office, as the overall project management unit, shall manage and supervise the implementation of the RAP. Resettlement activities and land acquisition will be carried out in close coordination with the DPWH Planning Service through its ESSD, RO, DEO, LGUs, NCIP, RIC and all other pertinent agencies and instrumentalities of the government to fully address the impacts of involuntary resettlement.

The Environmental and Social Services Division (ESSD) shall provide technical guidance and support in the implementation and monitoring of the social safeguards document/plan. They are tasked to:

- a) Carry out overall preparation and planning of the RAP;

- b) Submit social safeguards document/plan budget plans (to include compensation, relocation costs, operations) for approval and allocation of needed resources by the DPWH central office;
- c) In accordance with the Department's resettlement policies, guide the District Engineering Offices and the Regional Offices in their tasks, such as the verification of APs, final inventory of affected assets, consultation, and information dissemination;
- d) Amend or complement the RAP in case problems or potential problems are identified during the internal and/or external monitoring of its implementation;
- e) In collaboration with its counterpart in the Region, work closely with the DPWH RO on the processing of compensation claims of PAPs;
- f) In collaboration with UPMO, monitor the progress of compensation payment to PAPs and other resettlement-related activities stated in the RAP; and;
- g) In collaboration with its regional counterpart, prepare quarterly monitoring reports on social safeguards document/plan implementation for submission to the UPMO and JICA;
- h) For uploading the RAP, the DEO with assistance of the RIC shall conduct inventory of loss and socio-economic surveys validation for submission the UPMO and JICA.
- i) Provide RAP orientation to DPWH RO and DEO Team and RIC to strengthen the social, legal, and technical capabilities of these resettlement implementing entities.
- j) Assist the RIC in community awareness raising activities for the RAP implementation.

10.3 Site Level

The District Engineering Office (DEO) will act as Technical Coordinator and will

- a) Oversee the staking-out and verification of affected properties;
- b) Review, and if found correct, prepares and approves disbursement vouchers/payments;
- c) Cause the prompt delivery of payments to the PAPs with the assistance of RIC;
- d) Submit reports on disbursements and payments to PAPs to the RO and the UPMO; and
- e) Submit monthly progress reports to ESSD, the ROs and the UPMO. The DEO will chair the RIC and will actively participate in its functions.

The Regional Office (RO) will act as the liaison between ESSD and the DEO and will ensure that the RAP is implemented as planned. Specific activities of the RO are:

- a) Monitor the RAP implementation and fund disbursement;
- b) Submit the monthly progress reports to ESSD;
- c) Monitor payments to PAPs;
- d) Monitor assistance provided to the poor and vulnerable households; and
- e) Address grievances filed by the PAPs for speedy resolution.

The RIC shall be composed of representatives from the RO and DEO, the City/Municipal, the NCIP provincial and/or regional office, affected barangays, and PAPs with separate representation for IP/ICC communities affected by the project.

Selection of these ICC/IP representatives shall follow the procedures of the NCIP. Its functions are:

- a. Assist the DPWH staff engaged in resettlement activities in (i) validating the list of PAPs; (ii) validating the assets of the PAPs that will be affected by the project (using a prepared compensation form); and (iii) monitoring and implementing the RAP;
- b. Assist the DPWH and NCIP staff in identifying who among the PAPs are IPs or belong to ICCs;
- c. Assist the DPWH and staff engaged in the RAP activities in the public information campaign, public participation and consultation;
- d. Assist DPWH in the payment of compensation to PAPs;
- e. Receive complaints and grievances from PAPs and other stakeholders and act accordingly;
- f. Maintain a record of all public meetings, complaints, and actions taken to address complaints and grievances; and
- g. In coordination with concerned government authorities, assist in the enforcement of laws/ordinances regarding encroachment into the project site or ROW.

The Municipal or City RIC shall be formed through a MOU between DPWH, the concerned local government unit, with the NCIP Provincial or Regional Office.

National Commission on Indigenous Peoples (NCIP). The NCIP is the primary government agency through which ICCs/IPs can seek government assistance. The Indigenous People's Rights Act (IPRA) vests upon the NCIP the power to issue certificate of ancestral land/domain title (CALT/CADT) (IPRA, Section 44e). It has the power to issue appropriate certification as a pre-condition to the grant of permit, lease, grant or any other similar authority for the disposition, utilization, management, and appropriation by any private individual, corporate entity or any government agency, corporation, or subdivision thereof on any part or portion of the ancestral domain taking into consideration the consensus approval of the ICCs/IPs concerned.

The Local Government Unit provide legal instruments (e.g., Executive Orders, Municipal Resolutions, Memorandum Orders, etc.) that are necessary for the implementation of the RAP. LGUs shall (i) provide the necessary land for relocation purposes, (ii) cooperate with UPMO to form and mobilize RIC to direct and oversee implementation and monitor RAP implementation, and (iii) address issues, grievances and complaints as indicated in the GRM section of this document.

11 POSSIBLE RESETTLEMENT SITE

There are 96 PAPs whose houses and houses-cum-shops will be fully affected. Under Section. 16. Eligibility Criteria for Socialized Housing Program Beneficiaries of the Republic Act No. 7279 – To qualify for the socialized housing program, a beneficiary must be:

- a. Must be a Filipino citizen;
- b. Must be an underprivileged and homeless citizen, as defined in Section 3 of this Act;
- c. Must not own any real property whether in the urban or rural areas; and
- d. Must not be a professional squatter or a member of squatting syndicates.

If relocation is necessary to be undertaken during the implementation of the project, the Municipality of Sumilao committed to provide a land dedicated to affected households. The other LGUs are still determining the location of their relocation sites. Table 11-1 shows the proposed relocation sites with the corresponding land areas.

Table 11-1. Proposed Relocation sites of the Affected Cities and Municipalities

Municipality/City	Location	Land Area
Tagoloan	To be determined	To be determined
City of Cagayan de Oro	To be determined	To be determined
Manolo Fortich	To be determined	To be determined
Sumilao*	NHA – Sumilao Resettlement Project 1 in Purok 4, Barangay Kisolon	1.5 hectares (136 units)
	NHA – Sumilao Resettlement Project 2 in Purok 5, Barangay San Vicente	1.58 hectares (59 units)
	Zubiri – Villo Paglaum Village, Purok 2, Barangay Poblacion	2.05 hectares (100 units)
Impasug-ong	To be determined	To be determined
City of Malaybalay	To be determined	To be determined

Note: * Relocation sites in Sumilao are already developed while social infrastructure facilities are yet to be developed.

The figures below show the site development plan for the two (2) resettlement projects in Sumilao, Bukidnon. These 2 housing facilities were constructed by the National Housing Authority (NHA). The Sumilao Resettlement Project Phase 1 has an area of 1.5 ha with 136 residential lots while Sumilao Resettlement Project Phase 2 has an area of 1.58 ha with 59 housing units.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

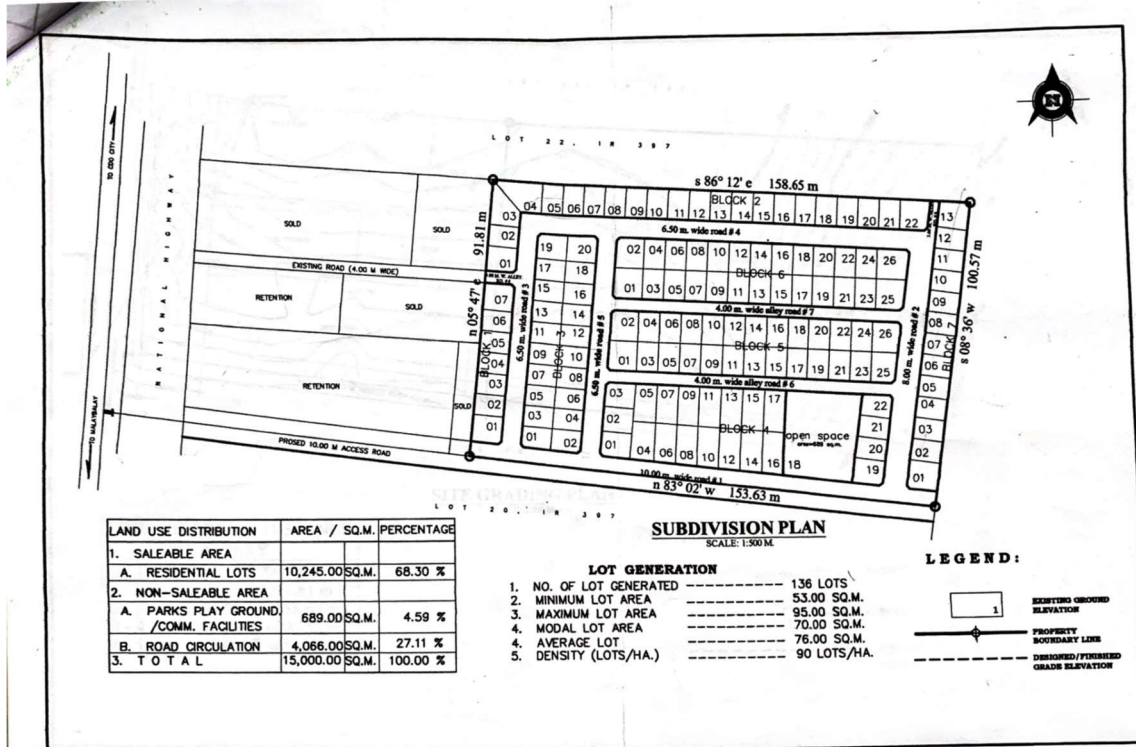


Figure 11-1. NHA Sumilao Resettlement Project Phase 1

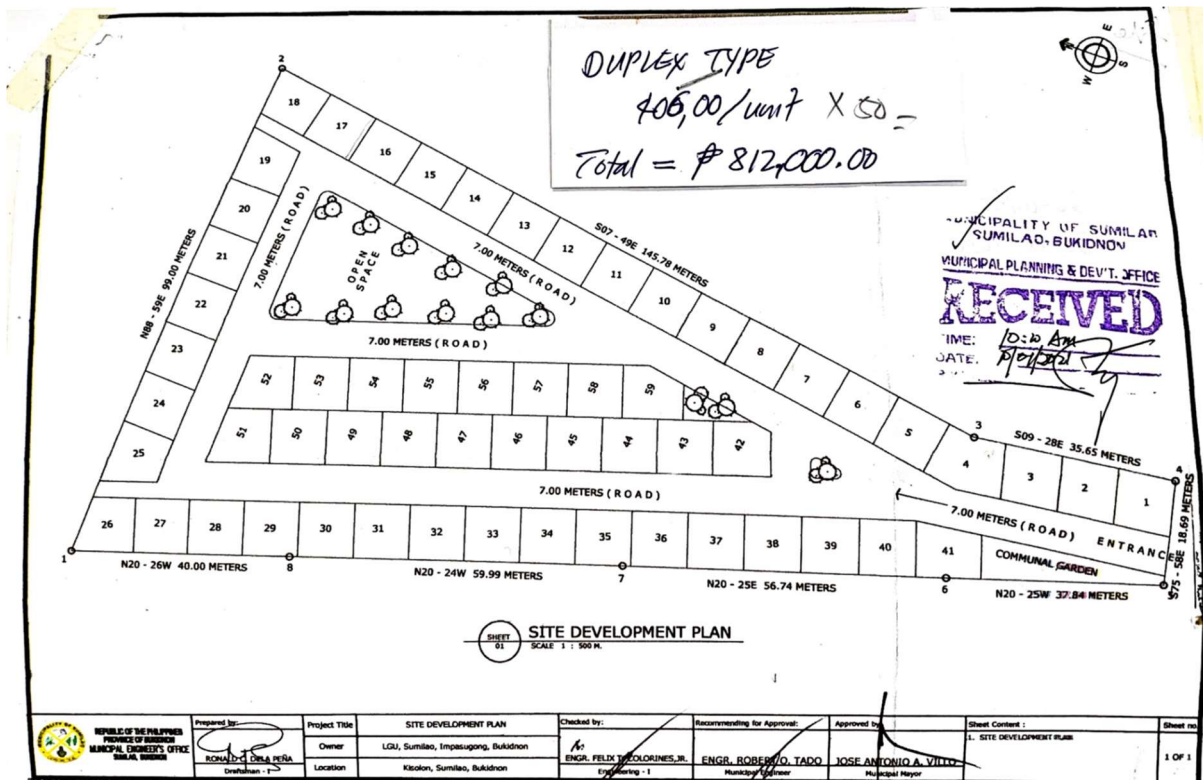


Figure 11-2. NHA Sumilao Resettlement Project Phase 2

12 IMPLEMENTATION SCHEDULE

As shown in Figure 12-1, the DPWH is expected to initiate the process of land acquisition and compensation for structures, crops and trees starting July 2023 to secure the project's ROW prior to construction. The DPWH shall ensure that ROW acquisition proceeds in close parallel with the construction schedule, making sure that land and structure owners are adequately compensated and re-established away from the construction site months ahead of the civil works implementation.

During the preconstruction stage, DPWH will update the Preliminary RAP based on result of the Feasibility Study. Once the Preliminary RAP has been updated and validated, DPWH will disclose the validated appraised value of lands, structures/improvements, crops, and trees. In addition to this, DPWH will finalize the Compensation and Entitlements Matrix, Livelihood Restoration Program cost, and number of households affected. This task shall be undertaken by the UPMO Cluster/PPPS/RO/DEO and the ESSD. If necessary, they may seek the assistance of the M/CRIC.

12.1 Overall ROW Acquisition Workflow

The IA must observe the overall workflow for the ROW acquisition process. The significant features of the DPWH ROW process include the following:

1. The process shall be applicable to both foreign-assisted and locally funded infrastructure projects.
2. The principles and general rules shall apply to all scopes of work of the project – whether the project involves entirely new construction or expansion/improvement of existing infrastructure.
3. The IA shall ensure that adequate funds for ROW costs are provided in project budgets which are included in the DPWH infrastructure program within the budget ceilings. The appropriations shall preferably be made at least one year ahead of actual construction works.
4. A Pre-Feasibility Study (PFS) or Feasibility Study (FS) shall generally be conducted for each project to define, among other things, the ROW requirements. The level of detail for these studies will vary, depending on the type, size, and complexity of the project.
5. The IA shall formulate a ROW Action Plan (RAP) based on the PFS/FS. The RAP shall contain the description and extent of the lands, structures/improvements, and crops/trees to be acquired as ROW, the estimated costs and compensation due to the property owners and PAPs, the budget for all ROW costs including provision for inflation and contingencies, and the schedule of implementation and annual funding requirements.
6. If ROW costs differ from the approved ROW budget after the Detailed Engineering Design (DED) has been finalized, a budget adjustment shall be made.
7. Parcellary Surveys shall be conducted for all projects in accordance with DO 187, series 2002, as amended. Parcellary Surveys, as well as the RAP preparation, shall be undertaken at least one year ahead of the scheduled construction works.
8. The determination of PAPs and affected improvements shall be based on the cut-off date, which is the start of the census of PAPs and tagging for improvements.

9. Where feasible, the first mode of acquisition shall be to request donation from the property owner.
10. If donation is not feasible, negotiated sale for the acquisition of the property shall be pursued based on the provisions of RA 10752 and its IRR as prescribed in this Manual. Hence, the first and final price offer shall be the sum of: (i) the current market value of the land, (ii) the replacement cost for structures and improvements, and (iii) the current market value of the crops and trees.
11. To determine the appropriate price offer for negotiated sale, the IA may engage a GFI or IPA.
12. If, within 30 days, the owner does not accept the price offer under negotiated sale, the IA may initiate expropriation proceedings with the appropriate court.
13. It is the responsibility of the IA to obtain and validate all necessary documents for ROW claims.
14. Prior to payment, ROW claims shall be screened, fully verified and validated, and the supporting documents authenticated in accordance with the checklist of DPWH.
15. Valid claims for all lands, structures and other improvements shall be paid in full in accordance with government rules and regulations. For negotiated sale, the IA shall remit to the BIR the Capital Gains Tax (CGT), for the account of the owner, to be deducted from the Total Price or compensation indicated in the Deed of Absolute Sale (DAS). The IA shall remit to the LGU concerned any unpaid Real Property Taxes of the owner, to be deducted from the consideration or Total Price in the DAS. The IA shall pay the Documentary Stamp Tax (DST) to the BIR, the Transfer Tax to the Provincial/City Treasurer, and the Registration Fees to the Register of Deeds, to be funded from appropriate funds of the IA outside the said compensation or Total Price in the DAS.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

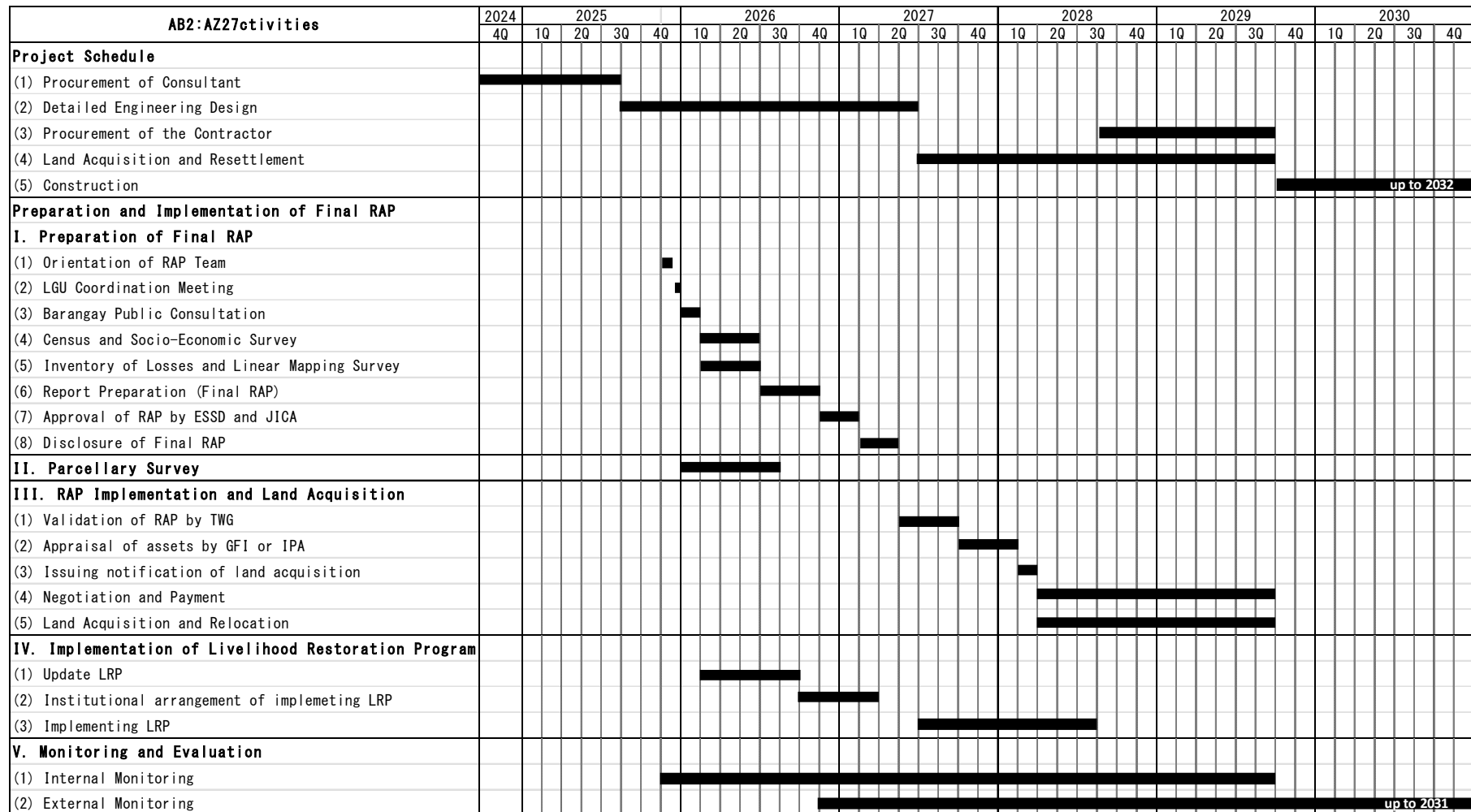


Figure 12-1. Implementation Schedule

12.2 Next Steps

After completion of the Feasibility Study, the following activities will be undertaken with their corresponding timelines:

- o First Disclosure: -April 2024
- o Parcellary Survey: -July to December 2024
- o Updating of RAP: -August 2024 to March 2025
- o Formulation of MRIC: -October to December 2024
- o Disclosure of updated RAP: -June 2025
- o Notification of PAPs: -July 2025
- o Compensation: -July 2025 to June 2026
- o Relocation and Resettlement: -July 2025 to September 2026
- o Income Restoration: -July 2025
- o Detailed Design: -2nd Quarter 2024 to 2nd Quarter 2025
- o ROW Acquisition: -July 2025 to December 2026
- o Construction/Civil Works: -1st Quarter 2027 onwards

Monitoring and Evaluation

- o Internal Monitoring: -1st Quarter 2026 onwards
- o External Monitoring: -2nd Quarter 2026 onwards

13 BUDGET

The total cost for the implementation of the RAP for the CMHSHCP (CDO-Malaybalay Section) is estimated at PhP 1,303,267,200 (USD 22,944,845). The budget includes costs for acquisition of land and non-land assets, relocation and resettlement assistance including livelihood programs to PAPs/ PAHs, and utility relocation, among others.

The estimated RP Implementation Cost is provided in Table 13-1. The summary of cost budget estimate for affected lands, structures, crops, and trees is presented in Appendices 1-4.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Table 13-1. Estimated RAP Implementation Cost

Kind of Affected Assets	Unit	Section 1 (JICA)			Sections 2-5 (ADB)			Total	
		Total	Amount (PhP)	Amount (USD)	Total	Amount (PhP)	Amount (USD)	Amount (PhP)	Amount (USD)
1. Land	m ²	707,732	402,749,740	7,090,664	3,948,061	445,217,160	7,838,330	847,966,900	14,928,995
2. Structures	no.	42	6,386,056	112,431	256	47,403,083	834,561	53,789,139	946,992
3. Crops (<i>agricultural crops/coconut</i>)	m ²	30,066	269,991	4,753	2,541,460	22,802,314	401,449	23,072,305	406,203
	no.	1,173	4,105,019	72,271	1,379	4,394,102	77,361	8,499,121	149,632
4. Trees (<i>including seedling replacement</i>)	no.	1,162	14,386,879	253,290	8,653	105,664,872	1,860,297	120,051,751	2,113,587
5. Livelihood Restoration Program (Skills Training and Development Activities)	hh	6	90,000	1,585	90	1,350,000	23,768	1,440,000	25,352
6. Relocation and Resettlement	<i>The determination shall be made by the affected LGUs and covered under their regular budgets.</i>								
7. Other Entitlements			700,000	12,324	-	4,575,000	80,546	5,275,000	92,870
7.10 Financial Assistance	hh	5	75,000	1,320	12	180,000	3,169	255,000	4,489
7.20 Income Loss	hh	1	15,000	264	3	45,000	792	60,000	1,056
7.30 Inconvenience Allowance	hh	52	520,000	9,155	300	3,000,000	52,817	3,520,000	61,972
7.40 Rehabilitation Allowance	hh	6	90,000	1,585	90	1,350,000	23,768	1,440,000	25,352
8. Other Assistance			34,315,579	604,148	-	49,843,273	877,522	84,158,852	1,481,670
8.10 Capital Gains Tax (6%)			24,164,984	425,440	-	26,713,030	470,300	50,878,014	895,740
8.20 Documentary Stamp Tax (1.5%)			6,041,246	106,360	-	6,678,257	117,575	12,719,503	223,935
8.30 Transfer Tax (50% of 1% of the Selling Price)			2,013,749	35,453	-	2,226,086	39,192	4,239,835	74,645
8.40 Cost of Registration (PhP40,000/transaction)			2,080,000	36,620	-	14,120,000	248,592	16,200,000	285,211
8.50 Notarial Fee (PhP300/transaction)			15,600	275	-	105,900	1,864	121,500	2,139
Administrative Costs (5% of Direct Costs: 1-7)			21,434,384	377,366		31,570,327	555,816	53,004,711	933,182
Cost contingencies (10% of Direct Costs: 1-7)			42,868,769	754,732		63,140,653	1,111,631	106,009,422	1,866,363
TOTAL			527,306,417	9,283,564		775,960,784	13,661,281	1,303,267,200	22,944,845

Note: 1 USD = PhP 56.80

13.1 Preliminary ROW Cost Estimates for Land

The compensation offer will be at current market value at the time of taking. DPWH will pay, for the account of the PAP, the capital gains tax, documentary stamp tax, transfer tax, and registration fee. The property owner will pay any unpaid real property tax.

Other modes of compensation will be explored when feasible, such as land swap (exchange or barter) for a new parcel of land on a value-for-value basis. The owner of the property needed for ROW of a national government project may request the DPWH to exchange or barter an old, abandoned road or other government property near the project with his property.

Holders of Certificates of Land Award (CLOA) granted under Comprehensive Agrarian Reform Act will be compensated at current market value at the time of land acquisition. In case of lands granted through Commonwealth Act No 141, otherwise known as "The Public Land Act", the Project will:

- 1) Follow modes of acquisition enumerated in RA 10752, if the landowner is not the original patent holder and any previous acquisition of said land is not through a gratuitous title; or
- 2) Follow the provisions under CA No. 141, as amended, regarding the acquisition of ROW on patent lands is the original patent holder or the acquisition of the land from the original patent holder is through a gratuitous title

The cost for land compensation is computed at:

Current Market Value of Land²²

Based on the inventory, 3,943,800 m² of land belonging to 352 PAPs will be subject to valuation and eventual compensation. The total value therefore of is **PhP 847,966,900** for the 405 parcels of land as shown in Volume 2- Appendix 2a.

Transaction costs for land acquisition, based on the Bureau of Internal Revenue (BIR) and Land Registration Authority (LRA) schedule of fees, shall be shouldered by DPWH as follow:

1. Capital Gains Tax²³ (6%)
2. Documentary Stamp Tax²⁴ (1.5%)
3. Transfer Tax²⁵ (50% of 1%)
4. Registration Fee²⁶

²² To be prepared by an independent property appraiser (IPA) accredited by either (1) the Bangko Sentral ng Pilipinas (BSP) or (2) a professional association of appraisers recognized by BSP.

²³ Capital Gains Tax: equivalent to 6 percent of the selling price on the Deed of Sale or the zonal value, whichever is higher

²⁴ Commonly set at 1.5 percent of the selling price, or its zonal value or fair market value, depending on which is higher

²⁵ Transfer Tax (Local Treasurer's Office): this is tax is imposed on the sale, barter, or any other mode of transferring of ownership or title of real property, at the maximum rate of 50 percent of 1 percent of a property's worth.

²⁶ LRA Circular No. 11-2020, Schedule of Fees.

Final cost for land, therefore, is **PhP 932,125,752**. The owner, however, will pay any unpaid real property tax.

13.2 Preliminary ROW Cost Estimates for Structures and Improvements

The replacement cost of a structure or improvement affected by the project per IRR of RA 10752 is based on the current market prices of materials, equipment, labor, contractor's profit and overhead, and all other attendant costs associated with the acquisition and installation of a similar asset in place of the affected asset. If the affected structure has been damaged, then the Replacement Cost shall be based on the pre-damaged condition of that structure. The Replacement Cost of the structure may vary from the market value of the existing structure since the structure that would replace it may have a different cost at current market price. The replacement structure must perform the same functions and meet the performance specifications as the original structure. The following thus applies:

- 1) Cash compensation at replacement cost for the affected structures belonging to the government or non-government agencies or the community.
- 2) Cash compensation to cover the cost of reconnecting damaged facilities, such as water, power, and telephone lines.

The replacement cost shall be composed of the Estimated Direct Cost (EDC) and the Estimated Indirect Cost (EIC) of the replacement structure to be finalized by the IPA and validated by DPWH.

The EDC²⁷ consists of the following:

1. Current market cost of materials to be used in doing the work item called for, which shall include the following:
 - a. Cost at source including processing, crushing, stockpiling, loading, royalties, local taxes, construction and/or maintenance of haul roads, etc.;
 - b. Expenses for hauling to project site;
 - c. Handling expenses;
 - d. Storage expenses; and
 - e. Allowance for waste and/or losses, at five percent (5%) of materials requirement.
2. Current market cost of labor to be used for:
 - a. Salaries and wages, within the limits authorized by the Department of Labor and Employment; and
 - b. Fringe benefits, such as vacation and sick leaves, benefits under the Workmen's Compensation Act, Social Security System (SSS) contributions, allowances, 13th month pay, bonuses, etc.

²⁷ DPWH ROW Acquisition Manual

3. Equipment Expenses:

- a. Rental of equipment – usually based on the current Associated Construction Equipment Lessors, Inc. (ACEL) rental rates. For simple computation, the operated rental rates are preferred to the bare rental rates as the former includes operator's wages, fringe benefits, fuel, oil, lubricants and equipment maintenance.
- b. Mobilization and demobilization – at one percent (1%) of the EDC of the civil works items.

Cost for Permits and Clearances, e.g Building Permit.

The EIC²⁸ comprised of the following based on accepted construction industry practices:

1. Overhead Expenses not exceeding eight percent (8%) of the EDC, which include the following, as applicable:
 - a. Engineering and Administrative Supervision, including expenses for office equipment and supplies, power and water consumption, communication and maintenance;
 - b. Transportation allowances;
 - c. Premium on Contractor's All Risk Insurance, where necessary; and
 - d. Financing Cost, e.g., premium on bonds.
2. Contingencies and Miscellaneous not exceeding four percent (4.0%) of the EDC. These include expenses for unforeseen events and other activities.
3. Contractor's Profit Margin not exceeding eight percent (8%) of the EDC for projects with an EDC of more than PhP 5 million and ten percent (10%) for projects with an EDC of PhP 5 million and below.
4. Value Added Tax (VAT) Component in accordance with law, five percent (5%) in the case of a property owned by a government agency, or twelve percent (12%) in the case of a property owned by a private party, of the sum of the EDC, Overhead, Contingencies, Miscellaneous, and Profit.

The replacement cost for structures is computed at:

$$\text{Estimated Direct Cost} + \text{Estimated Indirect Cost} = \text{Total Replacement Cost}^{29}$$

A total of 298 structures owned by 168 PAPs will be affected of which 99 are residential structures, one (1) residential-commercial, three (3) purely commercial and 195 other improvements. The total replacement cost of **PhP 53,780,139**.

²⁸ DPWH ROW Acquisition Manual

²⁹ For houses, buildings, and other structures, estimates must be based on Section 6.6 of the IRR for RA10752 (DPWH DO No. 197, series of 2016)

13.3 Preliminary ROW Cost Estimates for Crops and Trees

The following applies in compensation for affected crops, fruit trees, and perennials:

- 1) Cash compensation for perennials at current market value;
- 2) Compensation for damaged crops (e.g., rice and corn) at current -market value at the time of taking (compensation will be based on the cost of production per hectare pro-rata to the affected area); and
- 3) Cash compensation for fruit trees will [0 be based on current market value.

PAPs will be given sufficient time to harvest crops on the subject land. The total cost for trees and crops is computed at:

Forest Charges Rates and or Schedule of Market Values³⁰

A total of **9,815** trees and **2,571,526 m²** of crops will be affected with a total market value of **PhP 120,051,751**.

13.4 Preliminary ROW Cost Estimates for Other Entitlements

The project shall also extend assistance and other entitlements to PAPs who will experience additional hardship due to displacement are eligible for the following:

- 1) Rehabilitation assistance shall be in the form of skills training and other development activities with the value of up to PhP 15,000 will be provided in coordination with other government agencies.
- 2) Inconvenience allowance. Inconvenience allowance for severely affected PAHs where the landowner who owns a house within the affected land needs to move elsewhere in the amount equivalent to PhP 10,000 per household.
- 3) Support and/or maintain access to government welfare programs.
- 4) Inclusion in the Livelihood Improvement Program.

DPWH shall coordinate through the local governments and link PAPs with other agencies concerned about livelihood support (e.g., TESDA, DSWD, etc.) for skills training and development assistance.

13.5 Preliminary ROW Cost Estimates for Resettlement Site Development

During the conduct of public consultation and census, it was explained thoroughly and in their local language, the policy and process of the government on involuntary resettlement. As a national policy, involuntary resettlement should be avoided where feasible by the government. Where population displacement is unavoidable, it should be minimized by exploring all viable project options. People unavoidably displaced should be compensated and assisted, so that their economic and social future would be generally as favorable as it

³⁰ Current Market Values of the of the following entities: DA, PCA, DENR, DOF and LGU-Assessor's Office.

would have been in the absence of the project. Lastly, the PAPs should be fully informed and consulted on resettlement and compensation options.

Based on the census, there are a total of 96 PAHs whose residential structures (99) and residential-commercial structures (1), and (3) purely commercial structures will be affected by the project.

Based on the 2020 Updated Building Cost of National Housing Authority (NHA) Standard Housing Models, the cost for the following housing units in Region X are shown below:

- 1) Rowhouse for PWD (26 m²) = PhP 475,250
- 2) Rowhouse with storage space (26 m²) = PhP 461,000
- 3) Rowhouse Mandamus (26 m²) = PhP 438,700
- 4) Rowhouse Mandamus/Yolanda (33 m²) = PhP 470,700
- 5) Rowhouse with storage space Mandamus (33 m²) = PhP 475,200
- 6) Rowhouse (36 m²) = PhP 530,250
- 7) Rowhouse with rainwater collector (36 m²) = PhP 540,800
- 8) Single attached with loft (36 m²) = PhP 602,350
- 9) Duplex (42 m²) = PhP 769,200

The cost for rowhouses (36 m²) amounting to PhP 530,250 was used in the computation of Relocation and Resettlement budget (See Appendix 7). The selected house model was chosen since it is in between the smallest and biggest house models and can provide decent housing for the PAPs.

14 MONITORING AND EVALUATION

The main objective of monitoring the implementation of the RAP is to determine whether these RAP including livelihood restoration program is carried out in accordance with the Resettlement Policy. It involves the monitoring of land acquisition, payment of compensation for lost assets and resettlement of severely PAPs, and livelihood restoration. The key points for monitoring are but not limited to the following:

- 1) Payment of compensation to all PAPs in various categories, according to the compensation policy described in the RAP;
- 2) Delivery of livelihood restoration and social support entitlements;
- 3) Public information dissemination and consultation procedures;
- 4) Adherence to grievance procedures and outstanding issues requiring management's attention;
- 5) Priority of PAPs regarding the options offered;
- 6) The benefits provided from the project; and
- 7) Level of livelihood restoration

14.1 Supervision and Internal Monitoring

The DPWH Environmental and Social Safeguards Division (ESSD) shall conduct the supervision and in-house monitoring of RAP implementation.

The tasks of the Internal Monitoring Agency (IMA) are to:

- 1) Regularly supervise and monitor the implementation of the RAP including livelihood restoration program in coordination with the concerned DPWH RMC1-UPMO, the Resettlement Implementation Committee and other concerned authorities. The findings will be documented in the quarterly report to be submitted to the to the JICA.
- 2) Verify that the re-inventory baseline information of all PAPs has been carried out and that the valuation of assets lost or damaged, the provision of compensation and other entitlements, and relocation if there is any has been carried out in accordance with the RAP Policy and the RAP Report.
- 3) Supervise that the RAP is implemented as designed and approved.
- 4) Verify that funds for implementing the RAP is provided by the RMC1-UPMO in timely manner and in amounts sufficient for the purpose.
- 5) Record all grievances and their resolution and ensure that complaints are dealt with, in timely manner.

14.2 External Monitoring and Evaluation

An External Monitoring Agent (EMA) is a third-party evaluator and shall do the external monitoring and evaluation. The EMA for this Projects is a consultancy firm with qualified and experienced staff with Terms of Reference acceptable to the DPWH and JICA. Also, the EMA shall be responsible for the monitoring of the implementation of the IPP under this project. The UPMO is responsible for the engagement of the EMA; ensures that funds are

available for the monitoring activities both for the EMA and IMA; and submits EMA's and IMA's Monitoring Reports to the JICA.

The external monitoring is to provide an independent periodic review and assessment of (i) achievement of resettlement objectives; (ii) changes in income, living standards and livelihoods; (iii) restoration and/or improvement of the economic and social base of the affected people; (iv) effectiveness and sustainability of entitlements; and (v) the need for further mitigation measures.

The tasks of the EMA are the following:

- 1) Verify results of internal monitoring;
- 2) Verify and assess the results of the information campaign for PAPs rights and entitlements,
- 3) Verify that the compensation process has been carried out with the procedures communicated with the PAPs during the consultations;
- 4) Assess whether resettlement objectives have been met; specifically, whether livelihood and living standards have been restored or enhanced;
- 5) Assess efficiency, effectiveness, impact and sustainability of RP implementation drawing lessons as a guide to future resettlement and indigenous people's policy making and planning;
- 6) Ascertain whether the RAP entitlements were appropriate to meet the objectives, and whether the objectives were suited to PAPs conditions;
- 7) Suggest modification in the implementation procedures of the RAP if necessary, to achieve the principles and objectives of the RAP Policy;
- 8) Review on how compensation rates were evaluated; and
- 9) Review of the handling of compliance and grievances cases.

The services of the EMA will be procured through selection process of DPWH. Relative to compliance monitoring during resettlement implementation, the main activities of external monitoring will revolve around the following:

- 1) Verify whether the overall project and resettlement objectives including livelihood restoration are being met in accordance with the RP, and if not, suggest corrective measures;
- 2) Assess the extent to which implementation of the social safeguards document/plan complies with JICA's Policies;
- 3) Identify problems or potential problems;
- 4) Identify methods of responding immediately to mitigate problems and advise the DPWH accordingly; and;
- 5) Verify if the livelihoods and the standard of living of PAPs, including those displaced persons with no legal titles, are restored or improved.

14.3 Stages and Frequency of Monitoring

The stages and monitoring frequency of the contract packages by the IMA and EMA as follows:

14.3.1 Internal Monitoring

This is the first activity that shall be undertaken to determine whether the RAP was carried out as planned and according to Right of Way Acquisition Policy.

14.3.2 External Monitoring

The EMA will be required to conduct a year-end monitoring of RAP implementation activities. The EMA will prepare and submit an annual report, 15 days after the reporting period.

14.3.3 Final Evaluation

Final evaluation of the implementation of RAP will be conducted three months after the completion of payments of compensation to PAPs and three months after completion of RAP (i.e. completion of land acquisition, involuntary resettlement, livelihood restoration program).

14.3.4 Post- Evaluation

This activity will be undertaken a year after the completion of the project, to determine whether the social and economic conditions of the PAPs after the implementation of the project have improved. This will be led by a third-party evaluator.

14.4 Schedule of Implementation of RAPs and Monitoring

The RMC1-UPMO in coordination with the ESSD shall establish a schedule for the implementation of RAPs and the required monitoring considering the project's implementing schedule. It is expected that one month prior to the start of the RAP implementation, all RAP-related activities have been determined by the IMA and EMA.

The internal and external monitoring will be conducted every month and end of the year, respectively.

14.5 Reporting

The EMA is accountable to the RMC1 UPMO and reports to the ESSD. The UPMO RMC1 submits copy of EMA's and IMA's Reports to JICA.

14.6 Monitoring Indicators

Table 14-1. Monitoring Indicators

Monitoring Indicators	Basis for Indicators
For the Internal Monitoring (IMA)	
1. Budget and timeframe	<input type="checkbox"/> Have all land acquisition and resettlement staff been appointed and mobilized for the field and office work on schedule?

Monitoring Indicators	Basis for Indicators
	<ul style="list-style-type: none"> ❑ Have capacity building and training activities been completed on schedule? ❑ Are resettlement implementation activities being achieved against the agreed implementation plan? ❑ Are funds for resettlement being allocated to resettlement agencies on time? ❑ Have resettlement offices received the scheduled funds? ❑ Have funds been disbursed according to the RAP? ❑ Has the social preparation phase taken place as scheduled? ❑ Has all land been acquired and occupied in time for project implementation?
2. Delivery of Compensation and Entitlements	<ul style="list-style-type: none"> ❑ Have all AFs received entitlements according to numbers and categories of loss set out in the entitlement matrix? ❑ Have AFs received payments for <u>affected structures and lands</u> on time? ❑ Have AFs losing from temporary land ROW been compensated? ❑ Have all received the agreed transport costs, relocation costs, income substitution support and any resettlement allowances, according to schedule? ❑ Have all replacement land plots, or contracts been provided? Was the land developed as specified? Are measures in train to provide land titles to PAHs? ❑ <u>How many PAHs opted to donate their land to the government?</u> ❑ <u>How many PAHs did not receive payment because their title is covered by the provisions of Sec. 112 of CA 141?</u> ❑ <u>How many landholdings were subjected to quit claim? Easement?</u> ❑ <u>How many PAHs resorted to expropriation?</u> ❑ How many PAH households have received land titles? ❑ How many PAHs have received housing as per relocation options in the RAP? ❑ Does house quality meet the standards agreed? ❑ Have relocation sites been selected and developed as per agreed standards? ❑ Are the PAHs occupying the new houses? ❑ Are assistance measures being implemented as planned for host communities? ❑ Is restoration proceeding for social infrastructure and services?

Monitoring Indicators	Basis for Indicators
	<ul style="list-style-type: none"> ❑ Are the PAHs able to access schools, health services, cultural sites, and activities at the level of accessibility prior to resettlement? ❑ Are income and livelihood restoration activities being implemented as set out in income restoration Plan? For example, utilizing replacement land, commencement of production, numbers of PAHs trained and provided with jobs, micro-credit disbursed, number of income generating activities assisted? ❑ Have affected businesses received entitlements including transfer and payments for net losses resulting from lost business and stoppage of production?
3. Public Participation and Consultation	<ul style="list-style-type: none"> ❑ Have consultations taken place as scheduled including meetings, groups, and community activities? Have appropriate resettlement leaflets been prepared and distributed? ❑ How many PAHs know their entitlements? How many know if they have been received? ❑ Have any PAHs used the grievance redress procedures? What were the outcomes? ❑ Have conflicts been resolved? ❑ Was the social preparation phase implemented? ❑ Was separate consultation done for indigenous peoples? ❑ How was the participation of IP women and children? ❑ Were they adequately represented? ❑ Were special measures for indigenous peoples implemented?
4. Benefit Monitoring	<ul style="list-style-type: none"> ❑ What changes have occurred in patterns of occupation, production and resources use compared to the pre-project situation? ❑ What changes have occurred in income and expenditure patterns compared to pre-project situation? What have been the changes in cost of living compared to pre-project situation? Have PAHs' incomes kept pace with these changes? ❑ What changes have taken place in key social and cultural parameters relating to living standards? ❑ What changes have occurred for vulnerable groups? ❑ Has the situation of ICCs/IPs improved, or at least maintained, because of the project? ❑ Are IP women reaping the same benefits as IP men? ❑ Are negative impacts proportionally by IP men and women?
For the External Monitoring (EMA)	

Monitoring Indicators	Basis for Indicators
1. Basic information on PAP households	<ul style="list-style-type: none"> <input type="checkbox"/> Location <input type="checkbox"/> Composition and structures, ages, education, and skill levels <input type="checkbox"/> Gender of household head <input type="checkbox"/> Ethnic group <input type="checkbox"/> Access to health, education, utilities, and other social services <input type="checkbox"/> Housing type <input type="checkbox"/> Land use and other resource ownership patterns <input type="checkbox"/> Occupation and employment patterns <input type="checkbox"/> Income sources and levels <input type="checkbox"/> Agricultural production data (for rural households) <input type="checkbox"/> Participation in neighborhood or community groups <input type="checkbox"/> Access to cultural sites and events <input type="checkbox"/> Value of all assets forming entitlements and resettlement entitlements
2. Restoration of living standards	<ul style="list-style-type: none"> <input type="checkbox"/> Were house compensation payments made free of depreciation, fees, or transfer costs to the PAP? <input type="checkbox"/> Have PAHs adopted the housing options developed? <input type="checkbox"/> Have perceptions of “community” been restored <input type="checkbox"/> Have PAHs achieved replacement of key social cultural elements?
3. Restoration of Livelihoods	<ul style="list-style-type: none"> <input type="checkbox"/> Were compensation payments free of deduction for depreciation, fees, or transfer costs to the RAP? <input type="checkbox"/> Were compensation payments sufficient to replace lost assets? <input type="checkbox"/> Was sufficient replacement land available of suitable standard? <input type="checkbox"/> Did transfer and relocation payments cover these costs? <input type="checkbox"/> Did income substitution allow for re-establishment of enterprises and production? <input type="checkbox"/> Have enterprises affected received sufficient assistance to re-establish themselves? <input type="checkbox"/> Have vulnerable groups been provided income-earning opportunities? Are these effective and sustainable? <input type="checkbox"/> Do jobs provided restore pre-project income levels and living standards?
4. Levels of PAP Satisfaction	<ul style="list-style-type: none"> <input type="checkbox"/> How much do AFs know about resettlement procedures and entitlements? Do PAHs know their entitlements? <input type="checkbox"/> Do they know if these have been met? <input type="checkbox"/> How do PAHs assess the extent to which their own living standards and livelihood been restored? <input type="checkbox"/> How much do PAHs know about grievance procedures and conflict resolution procedures? How satisfied are those who have used said mechanisms.

Monitoring Indicators	Basis for Indicators
5. Effectiveness of Resettlement Planning	<ul style="list-style-type: none"> <input type="checkbox"/> Were the PAHs and their assets correctly enumerated? <input type="checkbox"/> Were any land speculators assisted? <input type="checkbox"/> Was the time frame and budget sufficient to meet objectives? <input type="checkbox"/> Were entitlements too generous? <input type="checkbox"/> Were vulnerable groups identified and assisted? <input type="checkbox"/> How did resettlement implementers deal with unforeseen problems?
6. Other Impacts	<ul style="list-style-type: none"> <input type="checkbox"/> Were there unintended environmental impacts? <input type="checkbox"/> Were there unintended impacts on employment or incomes?
7. IP Indicators	<ul style="list-style-type: none"> <input type="checkbox"/> Are special measures to protect IP culture, tradition resources rights, and resources in place? <input type="checkbox"/> How are these being implemented? <input type="checkbox"/> Are complaints and grievances of affected IPs/ICCs being documented? <input type="checkbox"/> Are these being addressed? <input type="checkbox"/> Did the project proponent respect customary law in dispute resolution process, in the conduct of public consultation, in IPAP and MOA implementation?

15 CONSULTATION

15.1 Preliminary Activities

Prior to the public consultation, an orientation meeting with the RAP Consultant Team was conducted with the representatives from the DPWH – ESSD. The consultation meeting was conducted through Zoom application which was organized by the Study Team. This is in view of the difficulty to be physically present due to the present predicament caused by this COVID 19 Pandemic.

The objective of the meeting is to orient the RAP Study Team to have a common understanding on the laws and policies of the DPWH pertaining to acquisition of right of way. The presentation was also done so that the RAP Study Team will have an idea on the salient provisions of the DPWH polices that should be presented during the local public consultation with the project stakeholders on the ground.

15.2 Review of Previous Studies, Plans and Design Standards

Initial data gathering and review of scope of services, previous studies, plans and design standards were undertaken by the Study Team. Among the initial data gathered and reviewed by the Study Team were the socioeconomic profiles of the affected cities and municipalities, Google maps of the road alignment, construction materials price data, materials source, topographic maps.

Information regarding the existing condition of the project road was gathered through initial ocular inspection. Video footage and photographs were taken on areas particularly with concerns. Coordination with LGUs was done to access to the barangay level officials for the survey activities conducted.

15.3 Public Consultation Meetings

Pursuant to the operational framework for Public Participation and Consultation, all LGUs and PAPs traversed by the road project, other stakeholders and Non-Government Organization NGOs should be fully informed and consulted on resettlement and compensation options. This is to ensure that the implementation of the RAP will be done systematically in accordance with the resettlement policy of the Department.

Using the definition of DPWH of meaningful participation, it is a process that (i) begins early in the project preparation stage and is carried out on an on-going basis throughout the project cycle; (ii) provides timely disclosure of relevant and adequate information that is understandable and readily accessible to affected people; (iii) is undertaken in an atmosphere free of intimidation or coercion; (iv) is gender inclusive and responsive, and tailored to the needs of disadvantaged and vulnerable groups; and (v) enables the incorporation of all relevant views of affected people and other stakeholders into decision making, such as project design, mitigation measures, the sharing of development benefits and opportunities, and implementation issues.

In the conduct of public consultation, the following step-by-step progression of activities were undertaken:

- 1) When and where participation is required;
- 2) Who should be participating;
- 3) How they should participate; and
- 4) What results are expected of their participation.

In line with its continuing efforts to upgrade its operations and services, DPWH has recently formulated a new policy framework on land acquisition, compensation, and resettlement, herein after called "Resettlement Policy". Said framework aims to provide clear guidance and direction to the personnel of the Department in planning, design and implementation of the projects DPWH undertakes. Specifically, the resettlement policy underscores the importance of getting PAPs informed about the project and, more importantly, getting their actual and active involvement in the planning and implementation.

15.3.1 Objective of the Consultation

Providing adequate information to affected communities and stakeholders reduces the potential for conflicts, minimizes the risk of project on communities and enable resettlement and compensation a comprehensive development programme.

In Specific terms, public consultation sought to achieve the following objectives:

1. Ensure accurate and transparent resettlement and rehabilitation process for PAP;
2. Inform stakeholders of the project activities and provide adequate information on the project, its components and its activities with affected communities;
3. Establish grievance and effective complaints mechanism on the project;
4. Obtain cooperation and support of the PAPs;
5. Inform the PAPs and the communities about various options of resettlement and compensation; and
6. Obtain vital information about the needs and priorities of affected settlements.

15.3.2 Public Consultation Proceedings

To ensure wider participation, particularly among the Barangays and potential stakeholders, letters of invitation were sent to notify the respective Barangay officials for the conduct of public consultation. Attached to the letter of invitation are the location map and project description to apprise them on the location of the project. The consultation meetings were conducted in the four (4) municipalities and two (2) cities in the Provinces of Misamis Oriental and Bukidnon.

The public consultations were conducted with the LGUs, PAPs and Non-Government Organization (NGOs) as participants. The meeting was designed to present and inform the stakeholders on the Land Acquisition Resettlement Rehabilitation and Indigenous Peoples Policy (LARRIPP) of the DPWH as per RA 10752, Legal Framework for Infrastructure Right-

of-Way (ROW) Acquisition and Management and other Provisions of the Road Right of Way Act (RA 10752). Highlighted, during the public consultation and discussed clearly are the modes and process of acquisition for affected properties. During the meeting, the team informed the stakeholders that the RAP team will be conducting socioeconomic survey and inventory of affected assets after the consultations in all municipalities traverse by the project.

Further, the team requested permission to enter their premises to conduct the survey/assessment and informed the affected households on the cut off dates.

15.3.3 Consultation and Participation

The formulation of the RAP has been achieved through close collaboration and consultation with the LGUs of Cagayan de Oro City, Tagoloan, Manolo Fortich, Sumilao, Impasug-ong, and Malaybalay City.

The consultation meeting aimed to:

- a) Provide background on the project titled “Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)”
- b) Provide background on the Road Right of Way Act (RA 10752), and the DPWH Policies and Process on Road Right of Way Acquisition.
- c) Provide an avenue to solicit inputs, comments, suggestions, and recommendations from the local stakeholders.
- d) Provide project updates to the stakeholders including the formation of the RAP Implementation Committee (RIC).

There were a series of consultation meeting conducted by the study team from March to April 2021. The first meeting was with representatives from DPWH-Central Office. The objective of the meeting was to orient the RAP Study Team to have a common understanding on the laws and policies of the DPWH pertaining to acquisition of right of way. The meeting was also done so that the RAP Study Team will have an idea on the salient provisions of the DPWH policies that should be presented during the local public consultation with the project stakeholders on the ground.

Table 15-1 to Table 15-4 summarized the meetings undertaken by the CMHSHCP Consultant Team together with DPWH-CO staff. Appendix 5 shows the highlights of the series of public consultation meetings.

Table 15-1. LGUs Coordination/ Consultation Meeting

Coordination/Consultation Meeting	Date	Venue	Remarks
1. Orientation Meeting	09 March 2021	Via Zoom Application	RAP Team Orientation with the DPWH-ESSD and CMHSHCP Consultant Team

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Coordination/Consultation Meeting	Date	Venue	Remarks
2. Cagayan de Oro City Coordination/Consultation Meeting	22 March 2021	Face to Face and Via Zoom Application	<p>Department heads of Cagayan de Oro City LGU, DPWH Region X Representative, and RAP Team (Face to Face)</p> <p>JST Consultants and DPWH, ESSD (Via Zoom Application)</p> <p>Total number of LGU attendees is 11 (2 females and 9 males)</p>
3. Tagoloan Coordination/Consultation Meeting	23 March 2021	Face to Face	<p>Department heads of Tagoloan LGU, DPWH Region X Representative, and RAP Team</p> <p>Total number of LGU attendees is 9 (3 females and 6 males)</p>
4. Manolo Fortich Coordination/Consultation Meeting	24 March 2021	Face to Face and Via Zoom Application	<p>Department heads of Manolo Fortich LGU, DPWH Region X Representative, and RAP Team (Face to Face)</p> <p>JST Consultants and DPWH, ESSD (Via Zoom Application)</p> <p>Total number of LGU attendees is 12 (2 females and 10 males)</p>
5. Sumilao Coordination/Consultation Meeting	25 March 2021	Face to Face and Via Zoom Application	<p>Department heads of Sumilao LGU, DPWH Region X</p>

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Coordination/Consultation Meeting	Date	Venue	Remarks
			<p>Representative, AND RAP Team</p> <p>JST Consultants and DPWH, ESSD (Via Zoom Application)</p> <p>Total number of LGU attendees is 16 (3 females and 13 males)</p>
6. Malaybalay Coordination/ Consultation Meeting	26 March 2021	Face to Face	<p>Department heads of Malaybalay LGU, DPWH Region X Representative, and RAP Team</p> <p>Total number of LGU attendees is 5 (1 female and 4 males)</p>
7. Impasug-ong Coordination/ Consultation Meeting	29 March 2021	Face to Face	<p>Department heads of Impasug-ong LGU, DPWH Region X Representative, and RAP Team</p> <p>Total number of LGU attendees is 10 (2 females and 8 males)</p>

Following to LGUs Coordination/Consultation Meeting, 1st Barangay Public Consultation Meetings were held with the schedule in Table 15-2 targeting possible PAPs with the purpose of sharing information on the project outline as well as the RAP survey outline. Consultation meetings at the barangay level were announced to PAPs with the following method.

- DPWH issued a letter to LGUs requesting to support for holding consultation meetings.
- LGUs requested the assistance of the affected barangays through barangay captains.
- Barangay captains directly instructed respective barangay counsellor to visit PAPs to inform the date and venue of consultation meetings.

Adequate arrangement, such as allocation of female staff at the consultation venue and an opportunity for participants to submit their questions or comments after the consultations was considered to secure environment where every participant could raise their issue without hesitation.

Table 15-2. 1st Barangay Public Consultation Meeting

Barangay Public Consultation Meeting	Date	Venue	Remarks
1. Cagayan de Oro City, Barangay Puerto	14 April 2021	Face to Face	35 PAPs attended the Meeting (22 females and 13 males)
Barangay Bugo	24 April 2021	Face to Face	14 PAPs attended the Meeting (2 females and 12 males)
Barangay Balubal	04 May 2021	Face to Face	16 PAPs attended the Meeting (5 females and 11 males)
Barangay Bugo (2 nd Meeting-requested by the Barangay Captain, exclusively intended for the landowners, whom was not able to attend las 24 April 2021.	07 May 2021	Face to Face	9 PAPs attended the Meeting (3 females and 6 males)
2. Municipality of Tagoloan Barangay Casinglot	15 April 2021	Face to Face	34 PAPs attended the Meeting (15 females and 19 males)
Barangay Natumolan	28 April 2021	Face to Face	26 PAPs attended the Meeting (13 females and 13 males)
3. Municipality of Manolo Fortich Barangay Sankanalan	30 April 2021	Face to Face	22 PAPs attended the Meeting (8 females and 14 males)
Barangay Ticala	30 April 2021	Face to Face	23 PAPs attended the Meeting (13 females and 10 males)
Barangay San Miguel	03 May 2021	Face to Face	13 PAPs attended the Meeting (6 females and 7 males)
Barangay Alae	05 May 2021	Face to Face	17 PAPs attended the Meeting (8 females and 9 males)
Barangay Mambatangan	14 May 2021	Face to Face	12 PAPs attended the Meeting (2 females and 10 males)
4. Municipality of Sumilao Barangay Puntian	27 April 2021	Face to Face	25 PAPs attended the Meeting (13 females and 12 males)
Barangay San Roque	06 May 2021	Face to Face	43 PAPs attended the Meeting (30 females and 13 males)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Barangay Public Consultation Meeting	Date	Venue	Remarks
Barangay Kisolon	10 May 2021	Face to Face	24 PAPs attended the Meeting (8 females and 16 males)
5. Municipality of Impasug-ong Barangay Impalutao	26 April 2021	Face to Face	19 PAPs attended the Meeting (11 females and 8 males)
Barangays Capitan Bayong and Cawayan	26 April 2021	Face to Face	12 PAPs attended the Meeting (4 females and 8 males)
Barangay Poblacion	29 April 2021	Face to Face	11 PAPs attended the Meeting (6 females and 5 males)
Barangay La Fortuna	29 April 2021	Face to Face	14 PAPs attended the Meeting (7 females and 7 males)
6. Malaybalay City Barangay Kalasungay	11 May 2021	Face to Face	16 PAPs attended the Meeting (7 females and 9 males)
Barangay Dalwangan	11 May 2021	Face to Face	16 PAPs attended the Meeting (7 females and 9 males)
Barangay Patpat	14 May 2021	Face to Face	9 PAPs attended the Meeting (3 females and 6 males)

A private sector consultation meeting was conducted with representatives from the Del Monte Philippines, Inc. and DOLE Philippines, Inc. the purpose of the meeting was the same as with the public consultation.

Table 15-3. Private Sector Consultation Meeting

Private Sector Consultation Meeting	Date	Venue	Remarks
1. Del Monte Philippines, Inc. in Manolo Fortich	19 May 2021	Face to Face	10 PAPs attended the Meeting (10 males)

Private Sector Consultation Meeting	Date	Venue	Remarks
2. DOLE Philippines, Inc. in Malaybalay City	19 May 2021	Face to Face and Via Zoom Application	6 PAPs attended the Meeting (6 males) CMHSHCP Consultant Team – Via Zoom Application

The 2nd public consultation meetings were conducted at the PAPs levels from August 17-19, 2022. The announcement approach was same as the 1st Barangay Public Consultation Meetings. The letters of invitation from DPWH to the LGUs were sent at least two (2) weeks before the conduct of the meeting. On the other hand, the LGUs also informed the PAPs through sending invitation letters. In addition, the same arrangement as that used in the 1st Barangay Public Consultation Meeting was applied to ensure comments and questions from all participants without hesitation.

Table 15-4. 2nd Public Consultation Meeting

Public Consultation Meeting	Date	Venue	Remarks
1. Cagayan de Oro City, Misamis Oriental	17 August 2022 (August 3, 2022 date of invitation letter)	Face to Face	22 PAPs attended the Meeting (6 females and 16 males)
2. Tagoloan, Misamis Oriental	17 August 2022 (August 3, 2022 date of invitation letter)	Face to Face	6 PAPs attended the Meeting (2 females and 4 males)
3. Manolo Fortich, Bukidnon	18 August 2022 (August 4, 2022 date of invitation letter)	Face to Face	6 PAPs attended the Meeting (1 female and 5 males)
4. Sumilao, Bukidnon	18 August 2022	Face to Face	15 PAPs attended the Meeting (6 females and 9 males)

Public Consultation Meeting	Date	Venue	Remarks
	(August 4, 2022 date of invitation letter)		
5. Impasug-Ong, Bukidnon	19 August 2022 (August 5, 2022 date of invitation letter)	Face to Face	16 PAPs attended the Meeting (7 females and 9 males)
6. Malaybalay City, Bukidnon	19 August 2022 (August 5, 2022 date of invitation letter)	Face to Face	16 PAPs attended the Meeting (7 females and 9 males)

15.3.4 Stakeholders Issues and Concerns

During the open forum, the stakeholders were encouraged to raised questions, issues and concerns with regards to the RAP policy. The major issues and concerns commonly raised/asked during consultations are summarized in Table 15-5.

Table 15-5. Major Issues and Concerns Raised During Consultation

Question	Raised by	Response
Orientation Meeting		
1. During the barangay consultation meeting, we may need to explain the idea of cut-off date for the entire stretch of the road is just one date?	RAP Specialist Expert (CMHSH CP Consultant Team)	The Senior Environmental Management Specialist of DPWH-ESSD explained that the cut-off-date is the start of the census survey; however, to be clarified with the Chief of ESSD.
2. Are the Barangay adjacent to each other? For example, in Cagayan de Oro, Bugo, and Puerto. Are they connected?	Engineer III, OIC-Section Chief (DPWH)	The RAP Team Coordinator responded that Barangays Bugo and Puerto are connected, located in Cagayan de Oro City.

Question	Raised by	Response
3. Suppose there are areas with a minimal number of PAPs. In that case, there are five (5) or 10 PAPs in one or two barangay. Can you consider one public consultation meeting?	Senior Environmental Management Specialist (DPWH-ESSD)	The RAP Team Coordinator narrated that this is the first plan is to combine two barangays during the PCM; however, this will be confirmed during the LGU Consultation Meeting. She further explained that upon confirmation of the proximity and possible number of PAPs, the PCM schedule might be shortened or might be prolonged.
4. ESSD suggested making arrangements before the courtesy call to ensure the availability of the LGUs Mayor concerned offices.	Senior Environmental Management Specialist (DPWH-ESSD)	The RAP Team Coordinator explained that letter prepared by the Consultant be signed at once by the Team Leader. The DPWH still has enough time to prepare an endorsement letter endorsing the RAP Team to all concerned Regional/DEO and LGUs Offices. This letter can be sent through facsimile or email before our courtesy call and LGUs Consultation Meeting.
Cagayan de Oro City Coordination/Consultation Meeting		
1. Who will be those affected people? Who will pay for the compensation? Is it from the local or national budget?	City Engineering Office, CDO	The RAP Team Coordinator responded that the PAP is the local people, whose property will be traversed within the project road right-of-way. Further answered that it's a National project and the compensation will be provided from the National Fund.
2. Is Casinglot located in the Province of Misamis Oriental?	Senior Environmental Management Specialist (DPWH-ESSD)	The RAP Team Coordinator, responded that Casinglot is located in the Province of Misamis Oriental, Municipality of Tagoloan, the starting point of the Project.
3. Why is the alignment traverse in Bugo and Puerto? Why not directly go straight to Malaybalay City?	Barangay Kagawad (Bugo)	The RAP Team Coordinator responded that the consultant alignment has to consider the cost impact, the IPs to be affected, the topography; engineering aspect was also being considered by the consultant. This alignment is still at the Feasibility Study stage and will also be finalized during the DED stage.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
4. Can we have actual inspection in the two (2) Barangays Bugo and Puerto? We have experienced during post construction, that there was a landslide which affect the area of Puerto, sometimes last year. It is important to visit actual the siltation and to mitigate affecting the landslide portion during post implementation.	City Engineering Office, CDO	The RAP Team Coordinator responded, that this landslide concern will be addressed during the conduct of the geotechnical investigation throughout the section. Representative from DPWH-ESSD informed that there will be Environmental Impact Statement, and this landslide will be considered. She mentioned that the EIS Consultant will discuss this matter with the LGUs in another forum.
5. Do we have another Barangay Meeting?	Barangay Kagawad (Puerto)	The RAP Team Coordinator responded that there will be a Barangay Public Consultation Meeting in Barangays Puerto and Bugo, most likely on April 6, 2021. She cited that there will be a focus discussion with concerned two-barangays right after consultation meeting. The RAP Team will provide Maps for the Bgy. Captain/s concerned to identify the possible PAPs to be invited. She further explained that after the Barangay Public Consultation Meeting, census, socioeconomic survey, inventory of loss of assets, such as of structures, crops and trees will be conducted.
6. Suggested to include the slide on the JICA General Policy in the next Consultation Meeting	Senior Environmental Management Specialist (DPWH-ESSD)	The RAP Team Coordinator responded that the slide on JICA General Outline will also be presented in the next succeeding Consultation Meeting with LGUs concerned offices.
Tagoloan Coordination/ Consultation Meeting		
1. The Barangay Administrator of Casinglot pointed to the reservoir constructed last 2018 of which will be passed through present road	Barangay Administrator (Casinglot)	The RAP Team Coordinator informed that the alignment is still subject for improvements to avoid and mitigate major adverse impacts of the construction project.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
<p>alignment within KM 0+600 and KM 0+700. He raised whether it is possible to make realignment or not. (Please see attached google alignment).</p> <p>It was emphasized by the other local officials that there are now some residential structures in the nearby vicinity of the reservoir.</p>		
2. If the affected property is untitled, will it be compensated?	Municipal Assessor (Tagoloan)	The RAP Team Leader responded that the government does not pay for the lands without transferring the ownership or title.
3. How about if we have only a copy tax declaration, deed of sale and paying taxes, could we paid?		The RAP Team Coordinator answered, that need to approve the subdivision plan from the Mother Title, to process the land titling. Untitled land cannot be paid, only structures and improvement will be given compensation.
4. Is there any informal settlers in barangays Casinglot and Natumolan that will be affected?	CMHSH CP Consultant Team	The Barangay Chairperson of Casinglot responded that there is no informal settlers in Barangay Casinglot. Most of the structures owner do not have land title. He cited that only one owner of the land has the mother title. He only sold the rights lot by lot, without giving the title, except for the rights to build the structure.
5. Are there any structures/houses in Barangay Natumolan to be affected?	RAP Team Coordinator, RASA Surveying	Barangay Kagawad from Natumolan responded that there might not have houses to be affected, but the lot owner is a prominent person.
6. A property owned by Moras (a private corporation) might be	Barangay Chairperson	The RAP Team Leader verified in the maps that only a minor portion of Moras property will be affected.

Question	Raised by	Response
affected. This is mostly planted with coconuts.	(Casinglot)	
7. Can we invite representative from MORAS Coconut Farm to attend the Barangay Public Consultation Meeting?	RAP Team Coordinator, RASA Surveying	The Barangay Chairperson of Casinglot cited that he will invite representative from MORAS to attend the said Barangay Public Consultation Meeting.
Manolo Fortich Coordination/Consultation Meeting		
1. Do we have any IPs or Ancestral Domain traversing along the Manolo Fortich alignment?	RAP Team Coordinator, RASA Surveying	The Barangay Chairperson of Alae responded that there are IPs to be affected in a portion traversing along the Manolo Fortich alignment. ³¹
2. Can you provide more maps showing the alignment where we could clearly visualize the affected properties?	Barangay Kagawad (Tankulan)	The RAP Team Coordinator responded that maps showing the alignment will be provided where the affected lots and owners could be identified and the owners of the affected structures, other improvements and crops and trees. These additional maps will be provided to identify those possible PAPs who could be invited for the upcoming Barangay Public Consultation Meetings. She elaborated, that after the Barangay Public Consultation Meeting, RAP Team will start the conduct of the Socioeconomic Survey including Census on the owners of the affected lots and structures, once the Consultant finalize the preliminary alignment.
Sumilao Coordination/ Consultation Meeting		
1. Municipal Mayor cited that most of the problem arise because of misunderstanding about of the Project. He	Local Chief Executive (Manolo Fortich)	The RAP Team Coordinator responded and explained that this upcoming Barangay Public Consultation Meetings, she already requested the representative from the DPWH Region X, to assist the

³¹ The National Commission on Indigenous People (NCIP) Region X issued a Certificate of No Overlap (CNO) for both Misamis Oriental and Bukidnon. However, NCIP Region X issued Work Order No. 429-A, dated June 16, 2022, requiring the proponent to conduct a Free and Prior Informed Consent (FPIC). Ethnic minority groups who reside in ROW and are defined as IPs under NCIP AO No.3 2012 are being validated to be defined as IPs under JICA Guidelines

Question	Raised by	Response
<p>suggested and gave emphasis that on the next presentation make it something that they can understand in simple language. He suggested the Team to have people that can communicate with them. So they can understand more and implication of the Project to the people.</p>		<p>RAP Team to explain in local dialect the Resettlement Action Plan and Land Acquisition Plan for the local people to understand thoroughly the presentation.</p>
<p>2. We have so many problems with projects being implemented by the DPWH Regional Office. What happens is that I am the one left to solve the problems. We had a case in San Roque side where problems arose due to road ROW where the DPWH Regional Office move the alignment 5 times and then they would say that we are delaying the projects because of so many problem.</p> <p>The Local Chief Executive (LCE) cited, that the alignment being presented where already identified areas that might be affected, then we have already talked with the residents, but later the alignment will be revised again.</p> <p>These cause problems where we had encountered so many times in the past. The ongoing projects now</p>	<p>Local Chief Executive (Manolo Fortich)</p>	<p>The RAP Team Coordinator cited and informed that this Project is already discussed with the DPWH and the alignment is under Feasibility Study. She cited that FS is to determine if the project is viable and beneficial to the government. The alignment under FS still preliminary. She elaborated that a year after the FS, the detailed engineering design will be undertaken, of which a more thorough study will be done. During the detailed engineering design, the final alignment will be determined.</p>

Question	Raised by	Response
are having those problems. I think this is the most important aspect that we need to address because a lot of people are reluctant already to talk with the DPWH, because of the different alignment.		
3. I just want to clarify. Will this project be implemented or if the Feasibility Study shows that it is not feasible, it will not push thru.	Local Chief Executive (Manolo Fortich)	<p>The RAP Team Coordinator answered that from past experience, most of the projects being undertaken by JICA are all feasible, and about 90% are being implemented. When JICA starts to invest on projects, most of them are implemented until Civil Works.</p> <p>She elaborated, the FS is a Grant Project under JICA; hopefully, Detailed Engineering Design will also be a Grant so the expenses of government is less. This project is assisted by JICA, hopefully DED is also grant and Civil Works to be loan under JICA . The temporarily plan for Civil Works is to be started by 2023 onwards.</p>
4. The LCE informed all the Barangay Captains that this is just fund for only feasibility study and not for the whole project itself.	Local Chief Executive (Manolo Fortich)	The RAP Team Coordinator responded, it's only for Feasibility Study, not for the whole project itself.
5. That is what we want to clarify. It might be that when the Barangay Officials come back to their places, they will announce that we have a new Highway. What happens, the prices of the lands go up pointing to the new Highway. These really happen, because we have many Highways. We already have a Circumferential Highway.	Local Chief Executive (Manolo Fortich)	The RAP Team Coordinator stated that this Feasibility Study is also to make people aware that sooner or later the government will also construct a new High Standard Highway. She narrated that final alignment are not sure yet. She cited, that alignment during the feasibility study is just a preliminary, that might change during the detailed design stage.

Question	Raised by	Response
<p>This highway that we talking now will cuts thru Sumilao. It will have major effect on places such as Culasi, Vista Villa. People might be super excited about the Project. The price of the land from 200,000 thousand per hectare become 1MP per hectare.</p> <p>Let us be clear about it, this is just a Feasibility Study. This is not the start of the project itself.</p>		
<p>6. I also suggest that you talk to all affected companies because big portions of where you are going thru are pineapple plantations. You need to coordinate with them because those lands are under lease including Culasi, Vista Villa, San Roque, Puntian,</p>	<p>Local Chief Executive (Manolo Fortich)</p>	<p>The RAP Team Coordinator answered, that the Team will be coordinating with the Del Monte Philippines Inc. She is so thankful to the LCE for this information.</p>
<p>7. We want to let the LCE know that this LGUs consultation meeting is important, because some people are asking, if the Mayor know this Project. Likewise, the Barangay and local government Officials must know about the details of the Project.</p>	<p>Senior Environmental Management Specialist (DPWH-ESSD)</p>	<p>The RAP Team Coordinator responded and noted for this information dissemination about the Project. She is thankful with the LCE for attending the Consultation Meeting.</p>
<p>8. Another concern of the LCE based on the initial map being presented, some of the areas where the road will pass thru are mostly untitled land.</p>	<p>Local Chief Executive (Manolo Fortich)</p>	<p>The RAP Team Coordinator responded that as early at the feasibility study stage, they still have time to process the subdivision plan from the mother title, and eventually to the process the land titling. It's better for the people to be aware for future problem like this.</p>

Question	Raised by	Response
<p>9. Specially the IPs, they considered the Tax Declaration as a Proof of ownership. This will be our problem, only tax declaration that they have, then they will not be the owner of the land. This is the problem that we need to address also. The Local government unit could be of helped, that we are going to process this tax declaration into title once we can see a very accurate map where the alignment will pass thru. We will see first who take in position within the alignment, then will going to check if they have titled or not, so that LGUs could help in the process of land titling.</p> <p>Also I do not want them, specially the IPs leaving in the area even without papers, they considered the land as their owned, then we will inform them that it's not their land. This will be our problem. At least if we can identify where the road pass thru, we will talk with them, who take the position, then we will help them process their paper for them to acquire title.</p>		<p>The RAP Team Coordinator answered that LGUs assistance especially to the IPs to process land titling is a big help for them.</p> <p>She cited that CTII mentioned that the FS alignment vs. detailed design alignment will not have a big difference like one km. FS alignment to detailed design alignment is just a little bit difference.</p>
<p>10. With regards to IPs to be affected, we are in coordination with NCIP for their concerns.</p>	<p>Senior Environmental Management</p>	<p>The RAP Team Coordinator responded that during actual census survey, we will also considered IPs to be affected. There will be also another process, it's an IPRA Law process to be conducted.</p>

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
	Specialist (DPWH-ESSD)n	
11. Do we have map to see the area to be affected?	Punong Barangay	The RAP Team Coordinator requested the Team to present the location Map with the area to be affected.
Malaybalay Coordination/ Consultation Meeting		
1. According to the presentation, this year is the Feasibility Study, when will get the list of names to be affected by the project.	Barangay Kagawad – Infrastructure Chairman , Bgy. 10	The RAP Team Coordinator responded that their will be upcoming Barangay Public Consultation Meeting after the Holy Week. She elaborated that the Team Leader will provide to each Barangay Captain Location Map showing the alignment to identify the possible affected lot owner, structures, and other improvement to be invited for the upcoming Barangay Public Consultation Meeting. She cited that the RAP Team Leader will be closely coordinated to each Barangay Captain for the venue and schedule of the Public Consultation Meeting.
2. My concern is regarding those titled acquired 1975 onward, there will be no compensation for the land?	Barangay Kagawad – Infrastructure Chairman , Bgy. 10	The RAP Team Leader responded that no compensation for the land within 60m right of way, but for the structures and other improvements will be compensated by the DPWH.
3. How about for the free patent application title acquired in 1974 below, if the government will acquire more than 20 meter, is the government will pay in excess of 20 meter acquisition?	Barangay Kagawad – Infrastructure Chairman , Bgy. 10	The RAP Team Leader responded that the government would pay the lot owner in excess of 20-meter acquisition.
4. How about for the structure, are all structures affected be paid by the Government?	Barangay Kagawad – Infrastructure	The RAP Team Leader answered that all affected structures will be paid by the government.

Question	Raised by	Response
	Chairman , Bgy. 10	
5. Another concerns is the project is proposed to be implemented by 2023, if the President is no longer President Duterte, will this project be implemented or not? Mindanao area might not be longer a priority?	Barangay Kagawad – Infrastructure Chairman , Bgy. 10	The RAP Team Coordinator responded that this Project is not politically inclined but more on the benefits and necessity of the people.
6. Barangay 1 will not be affected by the Project.	Barangay Kagawad – Infrastructure Chairman , Bgy. 10	The Infrastructure Chairman explained that Barangay 1 will not be affected but instead Barangay Sumpung is the one affected. Likewise, there is no need for Lapu-Lapu, but only Barangay Patpat.
7. Are their IPs to be affected?	RAP Team Coordinator, RASA Surveying	The Infrastructure Chairman explained that in Barangay 10, there are IPs to be affected, but the land is owned by Military Service, as recorded in the DENR. However, IPs claim it's an Ancestral Domain ³² .
Impasug-ong Coordination/ Consultation Meeting		
1. He asked whether the alignment will really pass the Barangay of La Fortuna. He wanted to be sure since his constituents will be asking him questions regarding the project. He added that he wants to inform the people in his area specially those who will be affected. He wants to be sure on the alignment of the highway because he is worried that his	Barangay Chairperson (La Fortuna)	The RAP Team Leader responded that the RAP Team has already prepared maps showing the preliminary alignment. Its shows that Barangay La Fortuna will be affected by the proposed preliminary alignment. He added that the RAP Team will coordinate with the Municipal Assessor and the MPDC, as well as with concerned Barangay officials to furnish maps for their reference. The Municipal Engineer then confirmed that La Fortuna will be traversed by the project. He pointed on the portions of the

³² The National Commission on Indigenous People (NCIP) Region X issued a Certificate of No Overlap (CNO) for both Misamis Oriental and Bukidnon

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
constituents may given wrong information.		alignment maps indicating that there are really affected segments within Barangay La Fortuna.
2. Why should we avoid Ancestral Domains areas?	Barangay Chairperson (La Fortuna)	The RAP Team replied that the DPWH does not categorically avoid Ancestral Domains. We only introduce re-alignments to avoid cutting thru the Ancestral Domains. As much as possible, we adjust towards the perimeter sides of the AD areas so these areas will still be conserved. We might prepare additional plan called the Indigenous People's Plan as required under the D.O. #152.
Cagayan de Oro City Coordination/Consultation Meeting (Barangay Level)		
1. She asked (in local dialect) "when will we know whether we will be affected or not by the project?"	Project Affected Person	DPWH representative responded (in local dialect) that it will be confirmed during the conduct of Socioeconomic Survey and inventory of assets.
2. She asked (in local dialect) "is the alignment final already?"	Project Affected Person	The RAP Team Leader replied that the alignment at this stage is not final yet, and that it will be finalized at Detailed Engineering Design stage. He added that there will not be significant or major changes unless there is critical issue in the FS alignment. (DPWH representative explained further in local dialect).
3. She asked (in local dialect) "is it possible to adjust to the right the alignment to avoid our group of houses in Purok 7? There are no houses at the adjacent area right of the alignment. We were not able to have enough sleep since being informed that we will be affected. We do not want to be relocated.	Project Affected Person	DPWH and RASA representatives referred to the Google Earth Map for the subject portion. RASA representatives pointed that most of the existing houses are not yet indicated. The RAP Team informed the PAPs that their case will be brought to the attention of the Japanese Consultants and will surely be given consideration.
4. A PAP asked when will be the start of the Survey.	Project Affected Person	RASA representative replied that the Socioeconomic Survey and Inventory of Assets will most probably start in the first week of May.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
5. He requested to discuss more substantially how the affected properties owners will be compensated.	Barangay Chairman	The RAP Team Coordinator referred to the slides that show how PAPs will be compensated thru Negotiated Sale. The DPWH representative in local dialect, reiterated that compensation shall be the sum of the current market value of the land, the replacement cost for structures and other improvements and the current market value of the crops and trees.
6. The CMHSHCP Consultant Team requested the support of the Barangay Captain for the upcoming socioeconomic survey and inventory of asset, to be conducted most probably first week of June 2021.	CMHSH CP Consultant Team	The Barangay chairperson cited that he will guarantee that the Barangay Council will be always ready for any assistance relative to the proposed project.
7. Sir, as caretaker what are the procedure in paying for our crops and land?	Project Affected Person	DPWH representative responded that the owner of the land will be compensated based on the current market value of land, while the owner of crops, will likewise be paid base on the current market value of crops.
8. Is it possible to have the alignment along the boundary lines of the lots?	Project Affected Person	DPWH representative responded that the proposed new highway is a High Standard Highway, as much as possible, curves are minimized because the design speed will be higher. We could not follow the boundaries of lots for the alignment.
9. We hope that we will not encounter difficulties in securing the requirements for transfer or payments for our lands. We are happy that we will have concrete roads but the payment we receive for our lots are not high.	Project Affected Person	The CMHSHCP Consultant Team responded that the DPWH requirements are mandatory. He added that the DPWH and the Consultants will explore all possibilities to lessen the difficulties encountered by the PAPs in securing the mandatory required documents and payment for the land is based on current market value as well.
10. Will it be possible to have a single office for the Road Right of Way Acquisition so we will not need to secure required	Project Affected Person	The CMHSHCP Consultant Team mentioned that every concern raised will be forwarded or coordinated with the DPWH and the Consultants for proper actions.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
documents from so many offices?		
11. We are concerned because we could not contact the owners of our farmlands. For the Cagayan De Oro Diversion Project, we got no payment for our affected crops. Our farmlands have been foreclosed by the banks and there various new owners who we do not know.	Project Affected Person	The CMHSHCP Consultant Team gave assurance that for this project, they will be compensated for affected crops.
Tagoloan Coordination/Consultation Meeting (Barangay Level)		
1. He expressed his concerns on whether the PAPs who did not secure land title yet will be compensated for the land they occupied aside from their structures. He said his concerns as to the stated policy where the DPWH only pays titled lots.	Project Affected Person	The CMHSHCP Consultant Team responded that the DPWH always adheres to the provisions of the law as defined under RA 10752 with regards to payment of compensation for affected properties due to ROAD ROW acquisition for national government projects. He added that for PAPs who have not yet must secured titles for their lots, otherwise, expropriation would be applied and the concerned courts will be tasked to resolve the case.
2. The PAPs suggested/requested to re-align the proposed road project so that it will directly traverse the MORAS Property instead of the reservoir area.	Project Affected Person	The CMHSHCP Consultant Team responded that the preliminary final alignment will be determined considering the results of the Feasibility Study and added that the Socioeconomic Survey and Inventory of Assets would most probably start in the first week of May to determine the actual PAPs. Furthered discussed that the final alignment will be done during the conduct of the detailed engineering design.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
3. How much will be paid for the land?	Project Affected Person	The CMHSHCP Consultant Team replied that the affected land will be appraised by a Government Finance Institution such as the Land Bank or the Development Bank of the Philippines to determine the current market value per square meter. This will be applied in the computation of the compensation for the land.
4. Could we know the exact alignment of the project so we may know if our projects will be affected?	Project Affected Person	The CMHSHCP Consultant Team replied that the alignment maps will be shared upon the finalization of the selection for the route or alignment.
5. He expressed his acceptance for the project considering the benefits it will bring to the people.	Project Affected Person	The CMHSHCP Consultant Team appreciated the project acceptance of Mr. Betonio
6. They mentioned that they attended the meeting to communicate with authorized persons and officials that they have filed a case in 1974 for a tract of land which will be traversed by the proposed road (Based on present alignment). They added that a decision was given by the court in 2000 declaring the claim of Mr. Neri as invalid considering he has no property in Natumolan.	Project Affected Person	The CMHSHCP Consultant Team listens and noted on their narrated story.
Manolo Fortich Coordination/Consultation Meeting (Barangay Level)		
1. Is there already a budget for this project?	Project Affected Person	As of this stage, the Feasibility Study is under a Grant by JICA. Then after the FS, and the proposed project is to be approved by NEDA for implementation, funds will be allocated. AS of now that the FS is still on-going, there is still no funds for the actual construction.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
2. I would like to ask if that 60 meter project already has a budget for construction. Why not utilize the existing 10.00 meters Barangay Road where concreting is the only problem? It already has ROW, however it lacks budget. Your proposed project will affect many lot owners who also have future plans for their lots. Will it not be easier to follow the existing Barangay Road?	Barangay Kagawad (Ampal)	60.00 meters is the Road Right of Way limit. Our project has four (4) lanes and 3.65 m. width per lane. The 60.00 meters will not be fully-occupied by the concrete road. There are allowances for future expansions. For that Sir, we will check whether the existing road will pass for the High Standard Highway where we limit curves. Can you please point the location of the existing 10.00 meters Barangay Road so we could refer to the Designers?
3. If ever the 60.00 meters wide project pushes thru, since only four (4) lanes are for concreting, can we prepare a Memorandum of Agreement that while the government is still not using, the owners may utilize the vacant areas as a favor to prevent the illegal settlers.	Project Affected Person	JICA is strict in monitoring the DPWH on the maintenance of Road Right of Way. DPWH District Engineering Offices are responsible in the clearing and private purposes are strictly not allowed.
4. Our property was traversed by the national highway and the easements were occupied by squatters. What actions can we do to remove the squatters at the frontage of our property?	Project Affected Person	DPWH Regional and District Engineering Offices are responsible for the clearing and maintenance of the ROAD ROW including the road easements.
5. Have you presented the project to the LGUs? How many percent already is the FS? How many affected property owners?	Project Affected Person	Yes Mam, we have already presented the proposed project to the LGUs. This meeting is still part of the FS which is about 20% completed. We still do not have the final data on the final affected property owners.
6. How long will be the construction of this project? We are concerned	Project Affected Person	JICA Projects are funded up to completion.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
that this project will be started but could not be completed for lack of funds.		
7. Regarding the compensation for the affected property owners, do you have initial negotiation with them?	Project Affected Person	The DPWH will have different teams under the Road Right of Way who will be in-charge with the negotiations.
8. Sir, from creek how many meter is the clearance?	Project Affected Person	DPWH representative responded that regarding the distance from the creek, we could not determine yet as of now. However, design clearance from the creek will be determined during the actual survey and the design alignment of the Japanese Consultants.
9. Will there be compensation for the affected lots? How much is the exact prevailing price?	Project Affected Person	DPWH representative responded in local dialect that the land titles will be checked if qualified for compensation in accordance with the applicable laws specifically RA 10752. However, for land titles acquired under CA 141, twenty (20) meters is reserved by the government for public use. CA No. 141 was amended by Presidential Decree (PD) No. 635, dated Jan. 07, 1975, which increased the ROW strip reserved for public use sixty (60) meters. However, any improvements will be paid by the government.
10. What if in the affected areas there are few holders of land titles and the others only hold Tax Declarations?	Project Affected Person	The CMHSHCP Consultant Team responded with an advice that since there are still several years prior to actual construction, the best recourse is to seek assistance from concerned LGU officials in securing land titles, specially upon confirmation that the said lots will be affected by the ROAD ROW for this project.
11. Upon realization of this proposed project, will there be Toll Fees like in Manila or the SLEX and NLEX?	Project Affected Person	The CMHSHCP Consultant Team responded that there will be no Toll Fees for this High Standard Highway considering that as indicated in the Typical Cross-Section.

Question	Raised by	Response
12. We are tenants and according to the landowners, they will not allow the project to pass thru the middle of their lands.	Project Affected Person	The CMHSHCP Consultant Team explained that the purposed of the Public Consultation Meeting is to present and discuss to all PAPs the Objectives of the Project and explain with them, how the government, thru the DPWH the process in acquiring and mode of payment for all affected lots, structures, trees and crops to be affected and for the smooth implementation of the Project.
13. How about the access roads, will they be preserved for the local residents' use? She pointed to the access road between Salvador Home Goods Store and Dodong Iligan Lodging.	Project Affected Person	The CMHSHCP Consultant Team cited, that they will inform the Japanese Consultants on this existing access road almost parallel to the proposed alignment, for further study and consideration. (Please see attached location map of the existing access road).
14. He is concerned because their land which will be affected by the proposed new Highway has no title. They are five (5) siblings in the family and they have lived in that property since their childhood. They only have a Tax Declaration.	Project Affected Person	The CMHSHCP Consultant Team responded that only titled lot will be compensated. However, the crops and trees and other improvement will be compensated based on the current market value of crops and trees and current price of construction materials for the affected structures and other improvements.
15. She informed that their lot is rented by Del Monte for 10 years, and the payment has been given in advance. Are we going to repay back Del Monte in the advance payment given to us?	Project Affected Person	This was noted by the CMHSHCP Consultant Team. However, regarding the repaying back the advance payment, it's up to Del Monte to decide.
16. He cited that their house was constructed for about Three Hundred Thousand Pesos (PhP 300,000) before. He asked how much they will receive now if their house will be affected.	Project Affected Person	The CMHSHCP Consultant Team and DPWH representative responded that as explained during the Presentation, the compensation for structure or the house will be computed based on the current prices of materials and current rate for labor, equipment, contractor's profit (if

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
		applicable), overhead and all other expenses associated with the structure.
17. Will there be Toll Fees for the proposed new Highway?	Project Affected Person	The CMHSHCP project is not a Toll Fee road project.
18. He raised his concern on what will happen to him if the whole 60.00 meters ROW will come from his lot which is only about 2 hectares. He added that he will be left with no land. He also informed that his title is still on process.	Project Affected Person	The CMHSHCP Consultant Team relied with an advice that it will be much better if he could secure the title prior to acquisition, if ever the project will push thru. He added that there are unavoidable situations where people, including farmers, will be losing valuable properties due to construction of major roads which are highly necessary for national or regional development.
19. He inquired if they could be provided with copies of the updated alignment maps.	Project Affected Person	<p>The CMHSHCP Consultant Team informed him that copy of the alignment maps have been provided to the Office of the Barangay Chairman for reference in determining the potential PAPs.</p> <p>The CMHSHCP Consultant Team added that updated alignment maps will be provided also thru the concerned LGU officials in proper time.</p>
Sumilao Coordination/Consultation Meeting (Barangay Level)		
1. What is the assurance that we will be relocated? How much is the percentage of assurance that there will be an area for our relocation as PAPs?	Project Affected Person	The CMHSHCP Consultant Team responded that Relocation Site will be provided to Informal Settlers only in pursuant to the provisions of Republic Act No. 7279.

Question	Raised by	Response
2. If my child has an existing land title, is it possible that we will not be provided relocation lot? What if the payment for the affected lot is not enough to buy another lot for our house?		The CMHSHCP Consultant Team replied that the price or value of affected lots will be based on appraisals to be undertaken by GFIs such as Land Bank and DBP base on the current market value. Affected lots will be appraised according to classification, so we presume payment for residential lots will be sufficient to buy another lot where to build your new houses. He added that since the compensation for the houses will be based on current market value of materials, the affected owners will surely be able to re-construct the same house.
3. There are lots that are rented by Del Monte and Dole for twenty-five (25) years and there are already advanced payments for five years rental. How will be the compensation for the lot owners whose titles are given (surrendered) to the companies?	Project Affected Person	Regarding the advanced payment for five years (5), we still have at least three (3) years prior to target (tentative) actual construction schedule. Also, additional compensation for future harvests is added for the damaged or affected crops. So, we foresee no big problem with regards to the advanced payment.
4. Our Council would like to request that, if really possible, your Team should buy a land where PAFs could transfer or relocation site which will be near the location of their old houses. There are land owners here who are prepared to sell their lots so the PAFs could transfer near their present occupation or sources of living.	Project Affected Person	The CMHSHCP Consultant Team responded that their concern will be forwarded to the DPWH for consideration.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
5. It is really our request that, if we will be relocated to a location near our livelihood because we will really have difficulties if we will be relocated to other Barangays. We are working in a farm and is a potential area where we could transfer residence and we hope you could negotiate for it. We hope assessment for our affected areas will be pushed thru so it will be not hard for us to start our lives again.	Project Affected Person	The CMHSHCP Consultant Team assured that this concern will be given proper attention.
6. What will be the indication that the alignment is already final?	Project Affected Person	<p>Based on the results of the Barangay Public Consultation Meetings, there are areas that have been considered for re-alignment including along a relocation site in Basag, Vista Villa. After these adjustments, by June 2021, prior to the start of Census and Assets Inventory, we will already have a semi-final alignment for FS level or stage. By first or second week of June, we will know who will be affected and we will inform the PAPs thru the Barangay Chairmen.</p> <p>However, the final alignment for project implementation/construction will be determined during the conduct of the detailed design stage.</p>
7. How many meters will be the distance between the Sayre Highway and the proposed JICA Project?	Barangay Chairpersons	DPWH representative responded that the Sayre Highway and the proposed project of JICA will be near to each other. (please see attached map)

Question	Raised by	Response
8. Many lots located in our place are rented by Del Monte in the past years, and we only have Tax Declarations. After several years, we were able to secure titles and the lots were sub-divided thru the assistance of Del Monte. Who will receive the payment now, the original owners of the land or Del Monte?	Project Affected Person	The CMHSHCP Consultant Team and the DPWH representative both responded that the registered owners of the lots will receive the compensation for the affected lots while Del Monte will be compensated for the crops.
9. There is a parcel of land which was already sold, however, they only have Deeds of Sale. Are they going to be paid?	Project Affected Person	The CMHSHCP Consultant Team responded that since, as per tentative implementation schedule, the construction project will start by 2023, it will be better to process the transferring of the title now.
10. How about the timberland where there is a claimant, does he has rights?	Project Affected Person	The CMHSHCP Consultant Team responded that there will be no compensation for the timberland, however, if there will be affected crops or structures, the claimant will be compensated.
11. He raised his concern on the present alignment which will traverse directly the Relocation Site in Purok Basag, Vista Villa, Sumilao, Bukidnon near the boundary with Ticala, Manolo Fortich, Bukidnon. He informed that the Relocation Site was initiated by the Municipal Government for those who previously resided in accident and landslide prone areas. He added that the Municipal Government will have difficulty putting-up another Relocation Site.	Municipal Vice-Mayor	The CMHSHCP Consultant Team responded that their concerns will be brought to the attention of the Japanese Consultants. (please see attached location map) for consideration.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
Further, he requested to re-align the project towards the open areas right side of the alignment so as to avoid also the farmlands of the relocated families whose livelihood will be affected heavily if they lose their farmlands located in San Roque, Sumilao, Bukidnon.		
12. He mentioned that the Municipal Mayor has instructed him to talk with the RAP Team to convince the Designers that the Relocation Site in Basag must be avoided.	Barangay Chairman (Vista Villa)	The CMHSHCP Consultant Team cited that the relocation site will surely be avoided by the consultant.
13. Relayed the request of the whole community of the Relocated Families for the re-alignment to avoid disrupting their settlement which is very valuable to their lives.	Barangay Kagawad (Vista Villa)	The CMHSHCP Consultant Team and DPWH representative assured that the request for the realignment to avoid the Relocation Site in Sitio Basag, Sumilao, will be forwarded to the Japanese Consultant.
14. He raised his concern regarding the fruit-bearing trees such as lanzones which might be affected.	Barangay Kagawad (Vista Villa)	It was informed by the CMHSHCP Consultant Team that in case there will be affected fruit-bearing trees, the future harvests of the fruit-bearing trees will be considered in the computation of compensation.
15. He voiced his request to avoid the water sources within the relocation site in Sitio Basag.	Project Affected Person	The CMHSHCP Consultant Team cited that this will surely be address by the Consultant.
Malaybalay Coordination/Consultation Meeting (Barangay Level)		

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
1. In case, the PAPs do not participate in the consultation meetings, what will happen?	Barangay Chairpersons	Upon finalization of the alignment, we have what we call the Parcellary Survey. If the PAPs or the owners still do not want to cooperate, they will be sent notices that their properties will be affected. If the owners still do not want to cooperate, the government thru the DPWH may apply expropriation as the mode of acquisition in order to avoid/ minimize delay on the project.
2. If the affected lots do not have title, will they not be paid?	Project Affected Person	The CMHSHCP Consultant Team responded that only titled lot will be compensated. So, since we have still at least three (3) years before the actual construction, we suggest that you process the land titling.
3. How could the titles be processed, the owners have not paid taxes for a long time?	Project Affected Person	The CMHSHCP Consultant Team responded that unpaid property tax, must be paid now, so that you can process for the titling of the land.
4. Is this project the same as NLEX and SLEX that we have to pay toll fees?	Barangay Chairpersons	The CMHSHCP Consultant Team responded that the proposed CMHSHCP is not a toll fee expressway. It's almost the same like existing Sayre Highway, except, the CMHSHCP road right-of-way limit is 60meter and the proposed alignment is more wider that the existing Sayre Highway.
5. My question is: Is there an assurance that before the construction in 2023, the affected owners will be compensated? There are instances the affected owners are not paid so the project could not be continued and there are cases the PAPs are already paid but they remain in their properties.	Project Affected Person	The DPWH will start Road ROW Acquisition at least one year prior to the start of actual construction works. Houses and other structures will not be demolished or removed unless paid while lots with complete requirements will be processed before being occupied.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
6. There are titled lots here and there are owners who only hold Tax Declarations. Are owners with Tax Declarations only going to be paid also?		Our tentative schedule for the project's construction works is 2023 and we will have the semi-final alignment for the FS Stage by June this year, so it is our advice to secure the title if your lots will be affected.
7. For example, we still have no title for the lots when construction comes, what will you do?		This subject will be discussed again with the DPWH. However, as per RA 10752, the mode of acquisition applicable is expropriation.
8. What is the probability that this project has funds?		We are still at the Feasibility Study Stage. The Feasibility Study Stage is being undertaken thru a Grant by JICA.
9. What is also the probability that this project will be implemented?		We are still at the Feasibility Stage, so we are not sure of its implementation. However, most proposed DPWH projects considered for FS by JICA are implemented. After the FS, NEDA will decide on approval for its implementation. So, after one year, we will know whether it will be implemented or not.
10. Why are you going to have a new highway while we have a good existing highway?		DPWH, JICA and other concerned officials are looking on positive economic activities for the future, hence, this project is being considered.
11. Can we get a copy of the Minutes of the Meeting? If you are going to look at the project, it traverses right at the center of a farm establishment. You can not divide a poultry like that technically, due to biosecurity. Can we have a better option that could not severely affect other farms?	Project Affected Person	The minutes of the meeting will be provided thru the Office of the Barangay Chairman. May we respectfully ask for a copy of the plan so we can justify your request for consideration in order not to divide your farm which bio- security will not allow. We will notify you if it is possible to re-align.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
12. He suggested to utilize the existing access road which is 6.00 meters wide for the proposed project.	Project Affected Person	The CMHSHCP Consultant Team responded that the proposed project is a High Standard Highway with 60.00 meters ROAD ROW. There will be more structures particularly residential houses if the access road will be utilized. He added that the access road also serve a different purpose for the local residents.
13. Our farm lot has a Tax Declaration under a mother title. The title is still for application since the survey has just been undertaken. How will it be?	Project Affected Person	The CMHSHCP Consultant Team responded that we still have at least three (3) years prior to target construction works schedule so, we advise that you try to secure the title so the processing of payment will be simpler or easier.
14. He asked: With regards to the lots rented by Del Monte, who will have the claims for the affected portion of the lots, the company or the owners?	Project Affected Person	Thank you Sir. The land owners will receive the payment for the affected portion of the lots while Del Monte will receive the payments for the crops.
Impasug-ong Coordination/Consultation Meeting (Barangay Level)		
1. Where will be the alignment of the proposed Highway	Project Affected Person	The CMHSHCP Consultant Team showed the Detailed Alignment Maps to the PAPs. The PAPs were given the chance and time to scrutinize the maps and inspect the areas that will be affected.
2. If we will be affected by the project, could we be prioritized in the hiring of workers?	Project Affected Person	The CMHSHCP Consultant Team responded that the PAPs will be given priority in the hiring of workers. In coordination with the LGUs, the full implementation of Local Hiring requirements of at least 50% for unskilled workers and at least 30% for skilled workers will be ensured.
3. How about the lands that were rented by Del Monte and DOLE?	Project Affected Person	The CMHSHCP Consultant Team responded that if the project will push thru, it may take about at least 3 years from now before the actual construction, so the contracts could be finished by then. Whatever the case may be, the registered owners of the lands will be compensated for the lots while Del Monte and DOLE will be compensated for the crops.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
4. Will the existing access roads be preserved upon the construction of the proposed Highway? The existing access roads are be able to accommodate trucks such as those used in transporting sugar canes.	Project Affected Person	The CMHSHCP Consultant Team responded that the existing access roads will be considered in the design of the proposed High Standard Highway. He informed that their concerns of preserving their existing access roads will be brought to the attention of the Japanese Consultants who are responsible for the Design. (please see attached location of the existing access road).
5. Will there be toll payments for the Highway?	Project Affected Person	The query regarding the toll payments will be referred to the Japanese Consultants also.
6. He raised his concerns that their lot is being rented by DOLE Philippine Inc.	Project Affected Person	The CMHSHCP Consultant Team responded that the registered owners of the lots being rented by DOLE Philippine Inc. will receive the compensation for the affected crops, while the land owners will receive compensation for the affected lots.
7. She raised her concern on what will happen to them if they will be affected considering that their land is under Agrarian Reform.	Project Affected Person	The PAP in local dialect, responded in behalf of the RAP Team Leader that land under Agrarian Reform Title still need to be studied how they will acquire the Title prior to address the compensation for their land.
8. He raised his concern regarding their land because their lots Title is under the name of his mother.	Project Affected Person	The CMHSHCP Consultant Team replied that their case will be resolved by the DPWH in accordance with RA 10752.
9. He asked why they were informed/requested to attend the meeting while they have already sold the subject lot.	Project Affected Person	The CMHSHCP Consultant Team replied that the of lot owners given by the Municipal Assessor was based on the current Tax Declarations. It means that the new owners have not yet applied for Tax Declarations and that may have no Title/s yet.
10. Our lots are under contract with Del Monte, how shall we be paid or compensated?	Project Affected Person	The CMHSHCP Consultant Team also responded that the registered owners of the land will receive the compensation for the land while Del Monte will be

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
		compensated for the crops (pineapple plants).
Cagayan de Oro 2nd Public Consultation Meeting		
1. He suggested that before proceeding with the acquisition of lots and properties, the DPWH must first pay the appropriate compensation.	Project Affected Person	The CMHSHCP Consultant Team responded that the identified PAPs will be compensated based on the final and validated RAP before the start of civil works.
2. Will DPWH clear the project area after the project completion?	Project Affected Person	DPWH will instruct the contractor that they will clear the area after the completion of the project.
3. Inquired if Department Order No. 43, Series of 2020 or the Guidelines for Right-Of-Way (ROW) Acquisition and Payment of Ancestral Domains Affected by the Implementation of National Government Infrastructure Projects will be applied in the project?	NCIP representative	DPWH Region X and CMHSHCP Consultant Team responded that the provisions of DO 43 and DO 152 (DPWH ROW Acquisition Manual) will be complied, specifically acquiring easement of right-of-way, if the acquisition of lands and/or improvements within an ancestral domain is covered by Certificate of Ancestral Domain Title (CADT) or those with pending issuance of the CADT but the National Commission on Indigenous Peoples (NCIP) must confirm as ancestral domain
4. Most of the lands in Bgy. Puerto is not Titled, they have only Tax declarations and rights documents. Is the PAPs can avail the relocation site and the what is right process and assurance to avail such a relocation site?	Project Affected Person	DPWH will be coordinating with the six (6) LGUs, for the availability of relocation sites. The process and assurance to avail such relocation site will be the responsibility of the concerned LGUs. The process of how to avail the relocation site is case to a case basis for each municipality.
5. Until now our lot is not subdivided yet. We have only Mother Title, how are we going to be compensated	Project Affected Person	The Project Implementation is proposed to be targeted from 2027 to 2029. The PAPs still have the time to process the documentation of their Land Title.
Tagoloan, Misamis Oriental 2nd Public Consultation Meeting		

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
1. Is there a need for the project since there is an existing Alae Bypass Road near the proposed Cagayan de Oro – Malaybalay Section. This can save a lot of resources for the government.	Project Affected Person	The JICA Team explained that the objective of the Project is to improve transport efficiency by constructing Cagayan de Oro-Malaybalay section of the Central Mindanao High Standard Highway, thereby contributing to enhance connectivity between both cities as well as the economic development of the surrounding area. The project is classified as a high standard highway which refers to roads providing smooth traffic flow with full access control and/or limited access, including expressways as well as primary roads. On the other hand, the bypass road shall serve as an alternate route from the decongested población of Tagoloan.
2. How many structures are to be affected in Tagoloan	Project Affected Person	3 – Residentials will be affected in Tagoloan
3. Clarification if the study is in the feasibility study stage.	Project Affected Person	The JICA Team explained that still in the FS stage and final alignment will be considered during the Detailed Engineering Design Stage.
Manolo Fortich, Bukidnon 2nd Public Consultation Meeting		
1. When will the project start?	Project Affected Person	The project is targeted to commence in 2027 and will be completed by 2029.
2. Will the government conduct a preconstruction conference before the start of construction?	Project Affected Person	This was duly noted and received by DPWH and CMHSHCP Consultant Team.
3. Have you identified the parcel of land that will be affected by the project?	Project Affected Person	The CMHSHCP Consultant Team answered that the survey team coordinated with the LGU regarding the ownership of land. The areas where the identity of all owners will be determined is during the detailed engineering design when the implementing agency will conduct parcellary survey.
4. Who determines the value of land that will be acquired by the government?	Project Affected Person	Representative from DPWH Region X responded that DPWH will engage a Government Financing Institution (GFI) or an independent property appraiser

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
		(IPA) accredited by BSP or professional association of appraisers recognized by BSP to determine the current market value of land.
5. Is the project a tollway project?	Project Affected Person	The CMHSHCP Consultant Team informed the PAPs that the project is not a tollway project.
6. Did the study team coordinated with the PAPs before they conduct their activities?	Project Affected Person	Representative from DPWH Region X responded that the Study Team has been properly coordinating with the LGUs, the barangays, and PAPs before conducting their activities.
Sumilao, Bukidnon 2nd Public Consultation Meeting		
1. How do we know the payment for affected structures?	Project Affected Person	Representative from DPWH Region X responded that the payment for improvements and/or structures are based on replacement cost using the current market prices.
2. How do you determine if the whole or part of the structure that will be affected will be compensated?	Municipal Planning and Development Officer	Representative from DPWH Region X explained that this will depend on the severity of affected structures. The affected structures will be validated during the detailed engineering design stage.
3. What is the basis of replacement cost method? Will DPWH pay us first before proceeding in the construction?	Project Affected Person	Representative from DPWH Region X expounded that Replacement Cost is defined as the amount necessary to replace the improvement and/or structure based on current market prices for materials, equipment, labor, contractor's profit and overhead and all other costs associated with the acquisition and installation in place of the affected improvements and/or structures or current market prices of materials and labor to re-construct a similar structure for houses and other fixed structures with no deductions for salvaged materials. The payment for improvements and/or structures will be shouldered by DPWH before the start of clearing operations.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
4. What if the PAP has no legal right on the land.	Project Affected Person	Representative from DPWH Region X responded that PAPs who are not land owners but occupy lands or structures within the ROW to be acquired for the project, and who are not “professional squatters” will be compensated for affected structures but not for land.
5. How do you determine the affected crops and the basis for compensation?	Project Affected Person	Representative from DPWH Region X responded that there will be tagging of crops during the DED stage. The affected crops and trees will be paid based on its current market value.
6. What if we can only provide tax declaration instead of land title?	Project Affected Person	Representative from DPWH Region X said that the PAPs need to present the land title to show the ownership of the land for them to be compensated. PAPS having only a tax declaration will only be compensated if they are paying the lot for more than 30 years.
7. Who are the vulnerable groups?	Project Affected Person	CMHSHCP Consultant Team said that the vulnerable groups are the households with elderly (aged 60 years old and above); indigenous people (IP); poor households whose income fall below the poverty threshold; households with member who has disability (PWD); solo parent; and women-headed households (WHH).
8. What if we are still in the process of titling our land?	Project Affected Person	CMHSHCP Consultant Team responded that they still have enough time to process the titling of their lands and can seek assistance from the Office of the Municipal Assessor regarding the matter.
9. Will the government provide us resettlement site in case we need to relocate our house?	Project Affected Person	The local government unit or the National Housing Authority are the government agencies that provide government housing projects. According to MPDC Carnazo, the LGU of Sumilao has ongoing resettlement projects which can be availed by the PAPs.
Impasug-Ong, Bukidnon 2nd Public Consultation Meeting		
1. Will DPWH pay for all the affected land?	Project Affected Person	Representative from DPWH Region X responded that all affected lands will be compensated by DPWH.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
2. Will the government compensate the IP communities and where do we submit the documentary requirements?	Project Affected Person	Representative from DPWH Region X responded in the affirmative subject to the validation of DPWH during the DED stage. The documents will be submitted to the DPWH regional office and will be assessed by DPWH UPMO.
3. What if a claimant does not want the government to enter to his property?	Project Affected Person	Representative from DPWH Region X responded that the DPWH will coordinate with the local government unit and concerned barangay before the conduct of census and surveys.
4. If the land is being leased by Del Monte, who will coordinate with them on our behalf?	Project Affected Person	Representative from DPWH Region X answered that the DPWH had commenced a meeting with Del Monte Philippines and DOLE Philippines to discuss the project and the government's process for the acquisition of land.
5. What are the documentary requirements needed by the government in order to facilitate the acquisition of lot and structures?	Project Affected Person	Representative from DPWH Region X shared with the participants the DPWH needed documents, as follow: <ul style="list-style-type: none"> a. Land title b. Tax declaration c. Tax clearance d. Historical ownership e. Subdivision plan f. Valid IDs g. Tax Identification Number h. Special Power of Attorney Barangay Certificate
6. There are structures that will be affected by the project, what will DPWH do?	Project Affected Person	The DPWH will determine the extent of the affected structures and will compute the compensation using the replacement cost method. After this, DPWH will inform the structure owner of its offer and proceed with the payment once accepted by the PAP.
Malaybalay City, Bukidnon 2nd Public Consultation Meeting		
1. Why is there a “to be determined” in the list of project-affected persons? Did you coordinate with the Registry of Deeds	Project Affected Person	The CMHSHCP Consultant Team answered that the survey team coordinated with the LGU regarding the ownership of land. The areas where the identity of all owners will be determined

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Question	Raised by	Response
regarding the ownership of the affected lands?		is during the detailed engineering design when the implementing agency will conduct parcellary survey.
2. When will the government pay the compensation for land, structures, and crops and trees?	Project Affected Person	Representative from DPWH Region X shared that for negotiated sale, the DPWH shall immediately offer – as first and final offer the following after the RAP has been validated: <ol style="list-style-type: none"> 1. Current fair market value of the land. 2. Replacement cost of structures and improvements. <p>Current fair market value of crops and trees.</p>
3. How do DPWH determine the current market value of land?	Project Affected Person	Representative from DPWH Region X responded that DPWH will engage a Government Financing Institution (GFI) or an independent property appraiser (IPA) accredited by BSP or professional association of appraisers recognized by BSP to determine the current market value of land.
4. When is the start of the project?	Project Affected Person	The project is targeted to commence in 2027 and will be completed by 2029.

The above-mentioned problems of the PAPs were tackled and settled. Other issues and concerns discussed during the consultation have been taken into consideration as well. After the meeting, stakeholders expressed strong support with the proposed project. All the consultations were properly documented.

Central Mindanao High Standard Highway Construction Project
(Cagayan de Oro Malaybalay Section)

Preliminary Right-of-Way Action Plan
(Appendices)

June 2024



Department of Public Works and Highways

Table of Contents

Appendix 1 – Master List of Project-Affected Persons	1
Appendix 2a – RAP Preliminary Cost Estimates for Land	1
Appendix 2b – Pricing of Land Based on BIR Zonal Value	13
Appendix 2c – Pricing of Land Based on Tax Declaration.....	32
Appendix 2d – Recent Prices of Comparable Properties in the Area.....	33
Appendix 2e – OCTs/TCTs and tax Declaration with Lot Descriptions	38
Appendix 2f – IPA Valuation Report	263
Appendix 3a – RAP Preliminary Cost Estimates for Structures and Improvements.....	314
<i>Structure with Pricing (Right Side)</i>	319
<i>Structure with Pricing (Left Side)</i>	490
Appendix 4 – RAP Preliminary Cost Estimates for Trees	1
Appendix 5 – RAP Preliminary Cost Estimates for Crops.....	140
Appendix 6 – Consultation Meeting	186
Appendix 7 – NCIP Documentation	525
Appendix 8 – Summary of Updated Building Cost of NHA Standard Housing Models	527

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Appendix 1 – Master List of Project-Affected Persons

Master List of Project-Affected Persons

No.	City/Municipality	Barangay	Project-Affected Person
1	TAGOLOAN	CASINGLOT	ABOITIZ
2	TAGOLOAN	CASINGLOT	ARNEL BLANDO, ET. AL.
3	TAGOLOAN	CASINGLOT	SMITH, JESSIE ROJO
4	TAGOLOAN	CASINGLOT	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
5	TAGOLOAN	CASINGLOT	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
6	TAGOLOAN	CASINGLOT	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
7	TAGOLOAN	CASINGLOT	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
8	TAGOLOAN	NATUMOLAN	ACHAS, LEONIDES Q.
9	TAGOLOAN	NATUMOLAN	ACHAS, NICOMEDES Q.
10	TAGOLOAN	NATUMOLAN	ACHAS, RICHARD K.
11	TAGOLOAN	NATUMOLAN	BETONIO, PENCHIE MAE A.
12	TAGOLOAN	NATUMOLAN	CADUNGOG, FRANCISCO LIPANG LIPANG
13	TAGOLOAN	NATUMOLAN	ELAZEGUI, NATASHA E.
14	TAGOLOAN	NATUMOLAN	EMANO, NADYA B.
15	TAGOLOAN	NATUMOLAN	HENSON, JOHN
16	TAGOLOAN	NATUMOLAN	MAGNO, TATA
17	TAGOLOAN	NATUMOLAN	OCIONES, TEODORO NALUGON
18	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
19	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
20	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
21	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
22	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
23	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
24	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
25	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
26	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
27	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
28	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
29	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
30	TAGOLOAN	NATUMOLAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
31	CITY OF CAGAYAN DE ORO	BALUBAL	ANDRECOZO, BARTOLOME
32	CITY OF CAGAYAN DE ORO	BALUBAL	BACONGUIS, CIPRIANA
33	CITY OF CAGAYAN DE ORO	BALUBAL	BACONGUIS, CONCEPCION
34	CITY OF CAGAYAN DE ORO	BALUBAL	BACONGUIS, JOSITO (HRS.) REP. BY MIRAFE U. BACONGUIS
35	CITY OF CAGAYAN DE ORO	BALUBAL	CAMOMOT, ROSTACHIL C.
36	CITY OF CAGAYAN DE ORO	BALUBAL	CITY GOVERNMENT OF CAGAYAN DE ORO CITY
37	CITY OF CAGAYAN DE ORO	BALUBAL	CUERQUIS, TEODORO
38	CITY OF CAGAYAN DE ORO	BALUBAL	DAANOY, PACIENCO GAMULO
39	CITY OF CAGAYAN DE ORO	BALUBAL	DE GUZMAN, ROSEMARY R.
40	CITY OF CAGAYAN DE ORO	BALUBAL	DELACERNA, ERNISTO
41	CITY OF CAGAYAN DE ORO	BALUBAL	ECHEM, ELY
42	CITY OF CAGAYAN DE ORO	BALUBAL	ECHEM, LUZ B.
43	CITY OF CAGAYAN DE ORO	BALUBAL	ECHEM, MELQUIADES
44	CITY OF CAGAYAN DE ORO	BALUBAL	EDURIA, SANTE
45	CITY OF CAGAYAN DE ORO	BALUBAL	ENDRICOSO, RONDINO RABASANO
46	CITY OF CAGAYAN DE ORO	BALUBAL	ENDRICOSO, VICENTE ARCETI
47	CITY OF CAGAYAN DE ORO	BALUBAL	GOC-ONG ROLANDO DIACOSTA
48	CITY OF CAGAYAN DE ORO	BALUBAL	GUALIZA, BONNING V
49	CITY OF CAGAYAN DE ORO	BALUBAL	GUALIZA, CELINE V
50	CITY OF CAGAYAN DE ORO	BALUBAL	HORSA, LETTY
51	CITY OF CAGAYAN DE ORO	BALUBAL	INDOY JOEVIV
52	CITY OF CAGAYAN DE ORO	BALUBAL	INDOY RANDY VILLASORDA

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
53	CITY OF CAGAYAN DE ORO	BALUBAL	INDOY, LUCIA VILLASORDA
54	CITY OF CAGAYAN DE ORO	BALUBAL	JORZA, MAURO A.
55	CITY OF CAGAYAN DE ORO	BALUBAL	LARICAN, ARSENEO BERENDES
56	CITY OF CAGAYAN DE ORO	BALUBAL	LARICAN, JOANA CABUNDUKAN
57	CITY OF CAGAYAN DE ORO	BALUBAL	LEDESMA, EULOGIO S.
58	CITY OF CAGAYAN DE ORO	BALUBAL	LIDISMA
59	CITY OF CAGAYAN DE ORO	BALUBAL	MAHILOM, ANNALYN CABACTULAN
60	CITY OF CAGAYAN DE ORO	BALUBAL	MALE, ANA J., ET. AL.
61	CITY OF CAGAYAN DE ORO	BALUBAL	MALE, JENNIFER J.
62	CITY OF CAGAYAN DE ORO	BALUBAL	NERI, LUISITO
63	CITY OF CAGAYAN DE ORO	BALUBAL	ONTING, LIGASPI
64	CITY OF CAGAYAN DE ORO	BALUBAL	PACAMO, CAYETANO
65	CITY OF CAGAYAN DE ORO	BALUBAL	PIJATO, VICENT
66	CITY OF CAGAYAN DE ORO	BALUBAL	POLOTAN, GERRY DATU
67	CITY OF CAGAYAN DE ORO	BALUBAL	RAMONES, ROQUE L. AND LYDIA G. RAMONES (SPS.)
68	CITY OF CAGAYAN DE ORO	BALUBAL	SACNANAS, RONIL MONTEBON
69	CITY OF CAGAYAN DE ORO	BALUBAL	SARIO, AVELINO
70	CITY OF CAGAYAN DE ORO	BALUBAL	SOCIETY OF SAINT JOHN VIANNEY
71	CITY OF CAGAYAN DE ORO	BALUBAL	SUPILANAS, PLACIDA
72	CITY OF CAGAYAN DE ORO	BALUBAL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
73	CITY OF CAGAYAN DE ORO	BALUBAL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
74	CITY OF CAGAYAN DE ORO	BALUBAL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
75	CITY OF CAGAYAN DE ORO	PUERTO	AMPARO, REGINO
76	CITY OF CAGAYAN DE ORO	PUERTO	BACONGGIS, WELDON
77	CITY OF CAGAYAN DE ORO	PUERTO	BUGAYONG, HUS S. MARRIED TO LEAH A. BUGAYONG
78	CITY OF CAGAYAN DE ORO	PUERTO	BULARON JESTY. OLANGO
79	CITY OF CAGAYAN DE ORO	PUERTO	GARMILL COMPANY, INC.
80	CITY OF CAGAYAN DE ORO	PUERTO	GIORIA, LITA
81	CITY OF CAGAYAN DE ORO	PUERTO	LOVE & JOY FARMS, INCORPORATED
82	CITY OF CAGAYAN DE ORO	PUERTO	MOMO
83	CITY OF CAGAYAN DE ORO	PUERTO	NATINGGOR ALFREDO ABABON
84	CITY OF CAGAYAN DE ORO	PUERTO	OLANGO, JHOWEE
85	CITY OF CAGAYAN DE ORO	PUERTO	OLANGO, JOEY
86	CITY OF CAGAYAN DE ORO	PUERTO	OLANGO, JOUANI
87	CITY OF CAGAYAN DE ORO	PUERTO	PALAHANG
88	CITY OF CAGAYAN DE ORO	PUERTO	PRYCE CORPORATION
89	CITY OF CAGAYAN DE ORO	PUERTO	PRYCE PROPERTIES CORPORATION
90	CITY OF CAGAYAN DE ORO	PUERTO	ROME, DIAZ
91	CITY OF CAGAYAN DE ORO	PUERTO	SEPAYA, RICARDO
92	CITY OF CAGAYAN DE ORO	PUERTO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
93	3-MANOLO FORTICH	ALAE	ABELYANOS, JUNE JUNE
94	3-MANOLO FORTICH	ALAE	AGBON, JONATHAN YUNGCO
95	3-MANOLO FORTICH	ALAE	AMBROCIO, DANTE
96	3-MANOLO FORTICH	ALAE	AMOLONG, JUSTINO PEQUIRO
97	3-MANOLO FORTICH	ALAE	BAKALSO, DIONICIO
98	3-MANOLO FORTICH	ALAE	BOTO, NICOLASA ANDRISCO
99	3-MANOLO FORTICH	ALAE	BUTO, JOEL ANDRISCO
100	3-MANOLO FORTICH	ALAE	BUTO, NICOLASA ANDRISCO
101	3-MANOLO FORTICH	ALAE	CABUYA, REYNANTE ALEQUIOJO
102	3-MANOLO FORTICH	ALAE	CEMPRON, DENNIS CENEPRIDA
103	3-MANOLO FORTICH	ALAE	CORDOVA, EUGENE ABARABAR
104	3-MANOLO FORTICH	ALAE	CORDOVA, GERONIMO VILLANESO
105	3-MANOLO FORTICH	ALAE	DA-A, LENIE

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
106	3-MANOLO FORTICH	ALAE	DUMARAOS, DEOGRASCIAS
107	3-MANOLO FORTICH	ALAE	GABUYA, RENANTE ALEGUIOSO
108	3-MANOLO FORTICH	ALAE	HOGADOR, ANABEL
109	3-MANOLO FORTICH	ALAE	HOGADOR, MARIO
110	3-MANOLO FORTICH	ALAE	MILLANA, EDUARDO EDUARDO
111	3-MANOLO FORTICH	ALAE	OBOTA, CRISTOPER
112	3-MANOLO FORTICH	ALAE	PADERO, JOSE
113	3-MANOLO FORTICH	ALAE	PADERO, ROGELIO JAPOS
114	3-MANOLO FORTICH	ALAE	SABURAO, MERLITO ELLEVERA
115	3-MANOLO FORTICH	ALAE	SABURAO, MERLY ELLEVERA
116	3-MANOLO FORTICH	ALAE	SALVADOR, LEONARDO DEL ROSARIO
117	3-MANOLO FORTICH	ALAE	SOMERA RAMON. JESURA
118	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
119	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
120	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
121	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
122	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
123	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
124	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
125	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
126	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
127	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
128	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
129	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
130	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
131	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
132	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
133	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
134	3-MANOLO FORTICH	ALAE	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
135	3-MANOLO FORTICH	DAMILAG	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
136	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
137	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
138	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
139	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
140	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
141	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
142	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
143	3-MANOLO FORTICH	DICLUM	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
144	3-MANOLO FORTICH	LUNOCAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
145	3-MANOLO FORTICH	LUNOCAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
146	3-MANOLO FORTICH	MAMBATANGAN	EDCAR, CABANLAS
147	3-MANOLO FORTICH	MAMBATANGAN	ELLO, MARLONE, BIHIK
148	3-MANOLO FORTICH	MAMBATANGAN	ESTARIS, ROGER
149	3-MANOLO FORTICH	MAMBATANGAN	JOWAR, SINO
150	3-MANOLO FORTICH	MAMBATANGAN	MAGIC FARM
151	3-MANOLO FORTICH	MAMBATANGAN	MARTINEZ, ANSELMO, BERMODIZ
152	3-MANOLO FORTICH	MAMBATANGAN	MARTINEZ, VILMA OLORIS
153	3-MANOLO FORTICH	MAMBATANGAN	PADIN, JOERAMEL HELUDO
154	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
155	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
156	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
157	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
158	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
159	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
160	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
161	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
162	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
163	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
164	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
165	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
166	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
167	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
168	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
169	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
170	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
171	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
172	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
173	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
174	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
175	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
176	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
177	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
178	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
179	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
180	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
181	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
182	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
183	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
184	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
185	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
186	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
187	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
188	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
189	3-MANOLO FORTICH	MAMBATANGAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
190	3-MANOLO FORTICH	SAN MIGUEL	GENTE REIN FARM
191	3-MANOLO FORTICH	SAN MIGUEL	LASTIMOSA, DAMIAN JR. JIPULAN
192	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
193	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
194	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
195	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
196	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
197	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
198	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
199	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
200	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
201	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
202	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
203	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
204	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
205	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
206	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
207	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
208	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
209	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
210	3-MANOLO FORTICH	SAN MIGUEL	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
211	3-MANOLO FORTICH	SANKANAN	AYSON, EDEN REY JAVIER

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
212	3-MANOLO FORTICH	SANKANAN	BOUNTY FRESH
213	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
214	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
215	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
216	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
217	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
218	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
219	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
220	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
221	3-MANOLO FORTICH	SANKANAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
222	3-MANOLO FORTICH	TICALA	ALIMBOG, MARLON GUMONAN
223	3-MANOLO FORTICH	TICALA	AYUMBO, JEROME, GOMOHAN
224	3-MANOLO FORTICH	TICALA	AYUMBO, JUVY ATALAWAN
225	3-MANOLO FORTICH	TICALA	BINAYAO, ARSENIO SAMBALON
226	3-MANOLO FORTICH	TICALA	BINAYAO, NELSITA AYOMBO
227	3-MANOLO FORTICH	TICALA	HELUCAN, FELIX
228	3-MANOLO FORTICH	TICALA	LENTICAN, DANTE SUMANGHID
229	3-MANOLO FORTICH	TICALA	LENTICAN, MATRONILLO SUMANGHID
230	3-MANOLO FORTICH	TICALA	PAYANAN, ABELINO
231	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
232	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
233	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
234	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
235	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
236	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
237	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
238	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
239	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
240	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
241	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
242	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
243	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
244	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
245	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
246	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
247	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
248	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
249	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
250	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
251	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
252	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
253	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
254	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
255	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
256	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
257	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
258	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
259	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
260	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
261	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
262	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
263	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
264	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
265	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
266	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
267	3-MANOLO FORTICH	TICALA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
268	4-SUMILAO	KISOLON	BAHIAN, JUDITH TIPALAN
269	4-SUMILAO	KISOLON	GALARITTA, JUNREY, TACBAS
270	4-SUMILAO	KISOLON	HEINRICH, WILLIAMS DALAGUIADO
271	4-SUMILAO	KISOLON	NERI, NELIE BINOTONG
272	4-SUMILAO	KISOLON	NERI, REY IPOLAN
273	4-SUMILAO	KISOLON	NERI, SAMUEL BINOTONG
274	4-SUMILAO	KISOLON	ONLAY, REYMOND PACAMALAN
275	4-SUMILAO	KISOLON	PAILIS, ROGER CATUBIG
276	4-SUMILAO	KISOLON	PANES, RICKY PALMES
277	4-SUMILAO	KISOLON	PONGAS, EFREN CAPIN
278	4-SUMILAO	KISOLON	ROSALES, JOVANIE SAMSON
279	4-SUMILAO	KISOLON	SERANTE, ELPIDO CABELLADAS
280	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
281	4-SUMILAO	POBLACION	ROBERT, BENOUNG
282	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
283	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
284	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
285	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
286	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
287	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
288	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
289	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
290	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
291	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
292	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
293	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
294	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
295	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
296	4-SUMILAO	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
297	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
298	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
299	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
300	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
301	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
302	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
303	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
304	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
305	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
306	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
307	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
308	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
309	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
310	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
311	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
312	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
313	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
314	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
315	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
316	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
317	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
318	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
319	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
320	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
321	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
322	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
323	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
324	4-SUMILAO	VISTA VILLA	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
325	IMPASUG-ONG	CAPITAN BAYONG	ACUÑA, HOWARD T.
326	IMPASUG-ONG	CAPITAN BAYONG	ACUÑA, LOLITA T.
327	IMPASUG-ONG	CAPITAN BAYONG	CARO, JOSEFINA E.
328	IMPASUG-ONG	CAPITAN BAYONG	DUNA, NENA
329	IMPASUG-ONG	CAPITAN BAYONG	ESTO, ARSENIO
330	IMPASUG-ONG	CAPITAN BAYONG	MELENDEZ, EFREN S.
331	IMPASUG-ONG	CAPITAN BAYONG	NAVARRO, ODON E.
332	IMPASUG-ONG	CAPITAN BAYONG	NAVARRO, CESARIO SR. N.
333	IMPASUG-ONG	CAPITAN BAYONG	NAVARRO, MARILOU E.
334	IMPASUG-ONG	CAPITAN BAYONG	NERI, FIDENCIO JR.
335	IMPASUG-ONG	CAPITAN BAYONG	RAYOS, ELIZABETH N.
336	IMPASUG-ONG	CAPITAN BAYONG	TAMPO, RESTITUTO
337	IMPASUG-ONG	CAPITAN BAYONG	TAMPO, VICENTA
338	IMPASUG-ONG	CAPITAN BAYONG	TAMPO, VIRGINIA
339	IMPASUG-ONG	CAPITAN BAYONG	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
340	IMPASUG-ONG	CAPITAN BAYONG	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
341	IMPASUG-ONG	CAPITAN BAYONG	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
342	IMPASUG-ONG	CAWAYAN	AGUBAN, REYNALDO MAGLACION
343	IMPASUG-ONG	CAWAYAN	ARCELLA, JOEL ROA
344	IMPASUG-ONG	CAWAYAN	AYUBAN, REYNALDO MAGLACION
345	IMPASUG-ONG	CAWAYAN	CIARBA
346	IMPASUG-ONG	CAWAYAN	DADOLI, RAMONIO FERNANDEZ
347	IMPASUG-ONG	CAWAYAN	ESCONDE, FERNANDO ESCOLTOR
348	IMPASUG-ONG	CAWAYAN	FERNANDEZ, CRISTINA BAGA
349	IMPASUG-ONG	CAWAYAN	GOMINTONG, JEROME LUPIAG
350	IMPASUG-ONG	CAWAYAN	HUMAYWON, ANGELICA SALAIT
351	IMPASUG-ONG	CAWAYAN	TINOBALE, ELMER DALIGDIG
352	IMPASUG-ONG	CAWAYAN	TOMINAO JOSEPHINE. UNDURAN
353	IMPASUG-ONG	CAWAYAN	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
354	IMPASUG-ONG	IMPALUTAO	AVENIDO, CARLITO, BULUSAN
355	IMPASUG-ONG	IMPALUTAO	BAYAO, NARCISO
356	IMPASUG-ONG	IMPALUTAO	CERALVO, AGUSTIN E.
357	IMPASUG-ONG	IMPALUTAO	CONCEPCION D. PAULINO M/TO MASAGULA M. PAULINO
358	IMPASUG-ONG	IMPALUTAO	DE GRACIA, RONALD TEMPORADO
359	IMPASUG-ONG	IMPALUTAO	DURAN, ANIARS VALLES
360	IMPASUG-ONG	IMPALUTAO	EBINIDO, CARLING
361	IMPASUG-ONG	IMPALUTAO	GAMA, JAVERNIE SUAY
362	IMPASUG-ONG	IMPALUTAO	HOMDOS, TEODOCIO
363	IMPASUG-ONG	IMPALUTAO	LINUMBAY, EDISON
364	IMPASUG-ONG	IMPALUTAO	MANDA, BERNABE
365	IMPASUG-ONG	IMPALUTAO	MARANDING, MARIANO
366	IMPASUG-ONG	IMPALUTAO	MOLINA, VENERANDO JR.
367	IMPASUG-ONG	IMPALUTAO	ORIGINES, NIDA E.
368	IMPASUG-ONG	IMPALUTAO	PABONITA, FELIX
369	IMPASUG-ONG	IMPALUTAO	PULIDO, EUGENE H.
370	IMPASUG-ONG	IMPALUTAO	QUISUMBING UNITED AGR. REFORM BENEFICIARIES ASSO.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
371	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
372	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
373	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
374	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
375	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
376	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
377	IMPASUG-ONG	IMPALUTAO	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
378	IMPASUG-ONG	LA FORTUNA	BOLO CAMELO CADUNGOG
379	IMPASUG-ONG	LA FORTUNA	BULO, CAMELO
380	IMPASUG-ONG	LA FORTUNA	TAN, LUCITA
381	IMPASUG-ONG	POBLACION	AGBAYANI, FLOR V.
382	IMPASUG-ONG	POBLACION	APIDRIA, BRENDA
383	IMPASUG-ONG	POBLACION	BAULA, GEORGE MARTIN
384	IMPASUG-ONG	POBLACION	BINAYAO, DANILO
385	IMPASUG-ONG	POBLACION	BINAYAO, ENRIQUE
386	IMPASUG-ONG	POBLACION	CAGANG, PERFECTO
387	IMPASUG-ONG	POBLACION	CASIÑO, NICOLAS
388	IMPASUG-ONG	POBLACION	DE LA FUENTE, ANTONIO
389	IMPASUG-ONG	POBLACION	DESIRDO, JULITA
390	IMPASUG-ONG	POBLACION	ESTONILO, GARRY
391	IMPASUG-ONG	POBLACION	FERNANDEZ, ANNA MARIE T.
392	IMPASUG-ONG	POBLACION	HEIRS OF CELEDONIO ESCOBIO
393	IMPASUG-ONG	POBLACION	LAGRIMOSA, LOIDA T.
394	IMPASUG-ONG	POBLACION	LUNDA, LUCIANO
395	IMPASUG-ONG	POBLACION	MORENTO, FLORENCIO
396	IMPASUG-ONG	POBLACION	OLINAY, MARCELO
397	IMPASUG-ONG	POBLACION	QUEDAN AND RURAL CREDIT GUARANTEE CORP.
398	IMPASUG-ONG	POBLACION	REYES, ISIDRO
399	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
400	IMPASUG-ONG	POBLACION	SAGUBAN, JOELUIS O.
401	IMPASUG-ONG	POBLACION	SIAPUATCO, PRINCES HAMELITA ACUÑA
402	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
403	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
404	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
405	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
406	IMPASUG-ONG	POBLACION	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
407	IMPASUG-ONG	SAN JUAN	PAJAREN, GERONIMO A.
408	CITY OF MALAYBALAY	DALAWANGAN	ADRIANO D. BAGIOHAN M. TO VICENTA DAHONLAY
409	CITY OF MALAYBALAY	DALAWANGAN	AMADO ZOSIMO R. MONTEMAYOR, JR. ET AL
410	CITY OF MALAYBALAY	DALAWANGAN	CARLO MAGNO C. MAGHANOY ET AL
411	CITY OF MALAYBALAY	DALAWANGAN	COMMONWEALTH OF THE PHILS.
412	CITY OF MALAYBALAY	DALAWANGAN	GENITO JUMALON M. TO CLOTILDE BARROS
413	CITY OF MALAYBALAY	DALAWANGAN	LESTON, JUANITO
414	CITY OF MALAYBALAY	DALAWANGAN	LETECIA M. LEGASPI M. TO DIOSDADO P. LEGASPI
415	CITY OF MALAYBALAY	DALAWANGAN	MARBELITO DESOYO M. TO AUREA MARTINEZ
416	CITY OF MALAYBALAY	DALAWANGAN	MECS
417	CITY OF MALAYBALAY	DALAWANGAN	NERIO C. LIU M. TO GERALDINE P. LIU
418	CITY OF MALAYBALAY	DALAWANGAN	RUTCHIE V. PIQUE (WIDOW)
419	CITY OF MALAYBALAY	DALAWANGAN	BUTALID, BALTAZAR, TAPANG
420	CITY OF MALAYBALAY	DALAWANGAN	BUTALID, LOURDES
421	CITY OF MALAYBALAY	DALAWANGAN	COLLADO, CARLENE
422	CITY OF MALAYBALAY	DALAWANGAN	DAISY, SILVA MELLIZA
423	CITY OF MALAYBALAY	DALAWANGAN	DOFELIZ, ARTHUR

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
424	CITY OF MALAYBALAY	DALWANGAN	IMHAY, RODRIGO
425	CITY OF MALAYBALAY	DALWANGAN	IMHAY, TRESHAKAYE LUMARAS
426	CITY OF MALAYBALAY	DALWANGAN	JUMALON, JETRO
427	CITY OF MALAYBALAY	DALWANGAN	KIDLAYAN, SAMUEL
428	CITY OF MALAYBALAY	DALWANGAN	MAGHANOV, CARLO
429	CITY OF MALAYBALAY	DALWANGAN	PEDROSA, ROGELIO SABANLAO
430	CITY OF MALAYBALAY	DALWANGAN	SABANLAO, ROGELIO PEDROSA
431	CITY OF MALAYBALAY	KALASUNGAY	ALBARACIN, SUSAN G.
432	CITY OF MALAYBALAY	KALASUNGAY	AMBUAYAN, BENNY
433	CITY OF MALAYBALAY	KALASUNGAY	BAT-AO, PRESADIA B.
434	CITY OF MALAYBALAY	KALASUNGAY	CASIMER S. SULOGAN M. TO ROSELYN S. SULOGAN
435	CITY OF MALAYBALAY	KALASUNGAY	CONCON, EVELYN V.
436	CITY OF MALAYBALAY	KALASUNGAY	CORAZON R. VILLAROMAN ET AL
437	CITY OF MALAYBALAY	KALASUNGAY	DAGUPLO, GILBERT L.
438	CITY OF MALAYBALAY	KALASUNGAY	DE MONTENEGRO, EDUARDO
439	CITY OF MALAYBALAY	KALASUNGAY	DEVELOPMENT BANK OF THE PHILS.
440	CITY OF MALAYBALAY	KALASUNGAY	ENRIQUE G. MARTINES M. TO LUCENA C. MARTINEZ
441	CITY OF MALAYBALAY	KALASUNGAY	ERLINDA SALVO M. TO PABLITO SALVO
442	CITY OF MALAYBALAY	KALASUNGAY	FEDERICO F. PLASOS M. TO LINDA G. ESTAVILLA
443	CITY OF MALAYBALAY	KALASUNGAY	FELIZARDO MELTRELEZ M. LEONORA MELTRELEZ
444	CITY OF MALAYBALAY	KALASUNGAY	GALUPO, JUDITH
445	CITY OF MALAYBALAY	KALASUNGAY	GAROMOT, POLICARPIO L.
446	CITY OF MALAYBALAY	KALASUNGAY	GUZMAN, CHAD LOUIE ROY H.
447	CITY OF MALAYBALAY	KALASUNGAY	KISMERITO K. LITAO M. TO AMIE B. LITAO
448	CITY OF MALAYBALAY	KALASUNGAY	LEONIDA BRIZO M. TO EUTIQIO BRIZO
449	CITY OF MALAYBALAY	KALASUNGAY	MA. TRERESITA V. GARCIA ET AL
450	CITY OF MALAYBALAY	KALASUNGAY	MELECIO BIERAL M. TO ANGELA SARIO BIERAL
451	CITY OF MALAYBALAY	KALASUNGAY	NORMA S. SULOGAN M. TO COSME SULOGAN
452	CITY OF MALAYBALAY	KALASUNGAY	ROGER I. GAYON M. TO VERONICA T. GAYON
453	CITY OF MALAYBALAY	KALASUNGAY	SEROJALES, RONILO P.
454	CITY OF MALAYBALAY	KALASUNGAY	SINCERO, JUDITH R.
455	CITY OF MALAYBALAY	KALASUNGAY	SULOGAN, LYD S.
456	CITY OF MALAYBALAY	KALASUNGAY	SULOGAN, NASH SARIO
457	CITY OF MALAYBALAY	KALASUNGAY	TEOTIMO BIERAL M. TO PRISCILLA BIERAL
458	CITY OF MALAYBALAY	KALASUNGAY	UNABIA, MA. CELESTE
459	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
460	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
461	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
462	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
463	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
464	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
465	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
466	CITY OF MALAYBALAY	KALASUNGAY	UNKNOWN (TO BE DETERMINED DURING THE DED STAGE)
467	CITY OF MALAYBALAY	KALASUNGAY	VIDAL, ROBIN AYN T.
468	CITY OF MALAYBALAY	PATPAT	AQUILLO, SASIL OPSIMA
469	CITY OF MALAYBALAY	PATPAT	AQUILLO, VIRGINIA PASULOHAN
470	CITY OF MALAYBALAY	PATPAT	BASAN, HILLARY NICOLE M.
471	CITY OF MALAYBALAY	PATPAT	BASAN, MA. CRISTINE
472	CITY OF MALAYBALAY	PATPAT	DALWANGAN DEV. CORP.
473	CITY OF MALAYBALAY	PATPAT	DAPAT, HYMUEL DAONLAY
474	CITY OF MALAYBALAY	PATPAT	EMILIO MAXIMO R. GUERRERO ET AL
475	CITY OF MALAYBALAY	PATPAT	GAMA FOODS CORP.
476	CITY OF MALAYBALAY	PATPAT	IGAR, REY GAVIA

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

No.	City/Municipality	Barangay	Project-Affected Person
477	CITY OF MALAYBALAY	PATPAT	MARANGIT, NORODIR CANAPI
478	CITY OF MALAYBALAY	PATPAT	PASKO, THELMA
479	CITY OF MALAYBALAY	PATPAT	QUINIT, ROLANDO, AMAM
480	CITY OF MALAYBALAY	PATPAT	RAMOS, DANILO C.
481	CITY OF MALAYBALAY	PATPAT	RAMOS, IRISH CHARMIE G.
482	CITY OF MALAYBALAY	PATPAT	RAMOS, SONNY
483	CITY OF MALAYBALAY	PATPAT	VILLAR
484	CITY OF MALAYBALAY	PATPAT	YABO, JOSEPH

Appendix 2a – RAP Preliminary Cost Estimates for Land

RAP Preliminary Cost Estimates for Land								
City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
TAGOLOAN	CASINGLOT	AGRICULTURAL	1695	139,755	410	57,299,550	209,632,500	
TAGOLOAN	CASINGLOT	AGRICULTURAL	1764	10,885	106	1,153,810	5,442,500	
TAGOLOAN	CASINGLOT	AGRICULTURAL	2301	230	94	21,620	36,800	
TAGOLOAN	CASINGLOT	AGRICULTURAL	2319	14,201	106	1,505,306	7,100,500	
TAGOLOAN	CASINGLOT	AGRICULTURAL	2320	12,726	106	1,348,956	6,363,000	
TAGOLOAN	CASINGLOT	ROAD	ROW	1,280				
TAGOLOAN	NATUMOLAN	AGRICULTURAL	3	823	165	135,795	329,200	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	6	9,952	165	1,642,080	3,980,800	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	11	211	165	34,815	84,400	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	12	6,848	165	1,129,920	2,739,200	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	13	25,701	93	2,390,193	3,084,120	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	14	379	165	62,535	151,600	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	19	10,449	93	971,757	1,253,880	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	20	1,866	165	307,890	746,400	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	21	197	165	32,505	78,800	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	22	15,042	93	1,398,906	1,805,040	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	23	130	165	21,450	52,000	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	24	18,165	93	1,689,345	2,179,800	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	32	488	93	45,384	58,560	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	35	10,183	165	1,680,195	4,073,200	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	36	1,961	165	323,565	784,400	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	1704	24,527	165	4,046,955	9,810,800	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	GAP	34,468	93	3,205,524	4,136,160	
TAGOLOAN	NATUMOLAN	AGRICULTURAL	GAP	30,238	165	4,989,270	12,095,200	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	249	1,707	83	141,681	273,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	251	9,723	83	807,009	1,555,680	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	251	280	83	23,240	44,800	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19897	9,086	83	754,138	1,453,760	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19897	325	83	26,975	52,000	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19898	15,403	83	1,278,449	2,464,480	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	316	83	26,228	50,560	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	10,755	83	892,665	1,720,800	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	6,457	83	535,931	1,033,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	4,015	83	333,245	642,400	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	614	83	50,962	98,240	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	4,005	83	332,415	640,800	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	2,571	83	213,393	411,360	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	1,338	83	111,054	214,080	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	5,907	83	490,281	945,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19901	92	83	7,636	14,720	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19902	4,146	83	344,118	663,360	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19903	3,936	83	326,688	629,760	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19889-P	297	83	24,651	47,520	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19889-P	5,640	83	468,120	902,400	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19889-P	7,383	83	612,789	1,181,280	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19889-P	965	83	80,095	154,400	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	19889-P	26,783	83	2,222,989	4,285,280	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	248-C-2	3,254	83	270,082	520,640	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	404	83	33,532	64,640	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	82	83	6,806	13,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	559	83	46,397	89,440	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	1,667	83	138,361	266,720	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	1,615	83	134,045	258,400	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	865	83	71,795	138,400	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	581	83	48,223	92,960	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	619	83	51,377	99,040	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	508	83	42,164	81,280	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	648	83	53,784	103,680	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	362	83	30,046	57,920	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	271	83	22,493	43,360	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	230	83	19,090	36,800	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	49	83	4,067	7,840	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	151	83	12,533	24,160	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	270	83	22,410	43,200	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	457	83	37,931	73,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	250 PLSM-1098	786	83	65,238	125,760	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	252 PLSM	9,572	83	794,476	1,531,520	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	254 PLSM-1098	8,907	83	739,281	1,425,120	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	256 PLSM-1098	3,831	83	317,973	612,960	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	258 PLSM-1098	583	83	48,389	93,280	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	378 PLSM-1098	863	83	71,629	138,080	
CITY OF CAGAYAN DE ORO	BALUBAL	AGRICULTURAL	PLSM-255	6,385	83	529,955	1,021,600	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	19875	8,597	116	997,252	4,298,500	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	19876-P	3,556	1,900	6,756,400	4,267,200	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	19876-P	12,912	1,900	24,532,800	15,494,400	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	21310-P	13,032	1,900	24,760,800	15,638,400	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	21310-P	13,032	1,900	24,760,800	15,638,400	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	21310-P	1,221	1,900	2,319,900	1,465,200	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	21310-P	2,758	82	226,156	551,600	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	21310-P	3,479	82	285,278	695,800	
CITY OF CAGAYAN DE ORO	PUERTO	AGRICULTURAL	GAP	5,143	1,900	9,771,700	6,171,600	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
CITY OF CAGAYAN DE ORO	PUERTO	ROAD	ROAD	1,226				
MANOLO FORTICH	ALAE	AGRICULTURAL	1	5,071	49	248,479	405,680	
MANOLO FORTICH	ALAE	AGRICULTURAL	1	837	55	46,035	251,100	
MANOLO FORTICH	ALAE	AGRICULTURAL	4	11,660	55	641,300	1,399,200	
MANOLO FORTICH	ALAE	AGRICULTURAL	12	16,294	55	896,170	1,955,280	
MANOLO FORTICH	ALAE	AGRICULTURAL	14	7,344	49	359,856	587,520	
MANOLO FORTICH	ALAE	AGRICULTURAL	983	8,437	55	464,035	2,531,100	
MANOLO FORTICH	ALAE	AGRICULTURAL	2256	2,989	55	164,395	896,700	
MANOLO FORTICH	ALAE	AGRICULTURAL	2257	3,726	55	204,930	447,120	
MANOLO FORTICH	ALAE	AGRICULTURAL	10112	3,749	55	206,195	1,124,700	
MANOLO FORTICH	ALAE	AGRICULTURAL	13-A	4,671	55	256,905	560,520	
MANOLO FORTICH	ALAE	AGRICULTURAL	13-B	15,851	55	871,805	1,902,120	
MANOLO FORTICH	ALAE	AGRICULTURAL	3-C	3,782	55	208,010	453,840	
MANOLO FORTICH	ALAE	AGRICULTURAL	3-D	2,418	55	132,990	290,160	
MANOLO FORTICH	ALAE	AGRICULTURAL	A	405	49	19,845	32,400	
MANOLO FORTICH	ALAE	AGRICULTURAL	GAP	10,070	55	553,850	1,208,400	
MANOLO FORTICH	ALAE	AGRICULTURAL	GAP	68,223	55	3,752,265	20,466,900	
MANOLO FORTICH	ALAE	AGRICULTURAL	GAP	40,864	55	2,247,520	4,903,680	
MANOLO FORTICH	DAMILAG	AGRICULTURAL	4-16	943	55	51,865	94,300	
MANOLO FORTICH	DICLUM	AGRICULTURAL	2-C	30,018	55	1,650,990	3,001,800	
MANOLO FORTICH	DICLUM	AGRICULTURAL	2-D	1,056	49	51,744	73,920	
MANOLO FORTICH	DICLUM	AGRICULTURAL	2-J	9,583	55	527,065	958,300	
MANOLO FORTICH	DICLUM	AGRICULTURAL	2-K	9,806	49	480,494	686,420	
MANOLO FORTICH	DICLUM	AGRICULTURAL	2-L	8,154	55	448,470	815,400	
MANOLO FORTICH	DICLUM	AGRICULTURAL	GAP	8,067	49	395,283	564,690	
MANOLO FORTICH	DICLUM	AGRICULTURAL	GAP	67,884	55	3,733,620	6,788,400	
MANOLO FORTICH	DICLUM	AGRICULTURAL	GAP	1,123	49	55,027	78,610	
MANOLO FORTICH	DICLUM	ROAD	1075	723				
MANOLO FORTICH	LUNOCAN	AGRICULTURAL	2197	3,403	55	187,165	340,300	
MANOLO FORTICH	LUNOCAN	AGRICULTURAL	2205	7,221	55	397,155	722,100	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	164	5,329	82	436,978	1,065,800	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	166	18,276	82	1,498,632	3,655,200	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	167	2,664	82	218,448	532,800	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	170	3,837	82	314,634	767,400	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	171	12,128	82	994,496	2,425,600	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	189	6,947	116	805,852	3,473,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	190	335	116	38,860	167,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	191	15,755	116	1,827,580	7,877,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	193	10,102	82	828,364	2,020,400	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	205	6,562	116	761,192	3,281,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	207	7,381	116	856,196	3,690,500	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	208	9,956	116	1,154,896	5,973,600	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	215	6,310	82	517,420	1,262,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	243	24,073	116	2,792,468	12,036,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	246	9,933	116	1,152,228	4,966,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	321	25,853	116	2,998,948	12,926,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	322	8,864	116	1,028,224	4,432,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	323	11,752	116	1,363,232	5,876,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	324	14,159	116	1,642,444	7,079,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	326	19,408	116	2,251,328	9,704,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	327	2,818	82	231,076	563,600	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	329	977	82	80,114	195,400	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	335	8,143	82	667,726	1,628,600	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	616	26,857	116	3,115,412	13,428,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	617	12,066	116	1,399,656	6,033,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	188-L	3,816	116	442,656	1,908,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	206-A	2,236	82	183,352	447,200	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	206-B	1,935	116	224,460	967,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	214-A	417	82	34,194	83,400	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	216-A	6,500	116	754,000	3,900,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	97,784	93	9,093,912	11,734,080	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	3,307	116	383,612	1,653,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	473	116	54,868	236,500	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	1,664	116	193,024	832,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	746	116	86,536	373,000	
MANOLO FORTICH	MAMBATANGAN	AGRICULTURAL	GAP	1,394	82	114,308	278,800	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1180	4,769	55	262,295	476,900	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1715	22,035	55	1,211,925	2,203,500	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1716	10,458	55	575,190	1,045,800	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1733	12,171	55	669,405	1,217,100	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1734	12,075	55	664,125	1,207,500	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1735	254	49	12,446	17,780	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1751	848	49	41,552	59,360	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1876	4,380	55	240,900	438,000	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1877	10,527	55	578,985	1,052,700	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1878	8,226	55	452,430	822,600	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	1879	7,635	55	419,925	763,500	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	4-17	42,404	55	2,332,220	4,240,400	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	4-24	47,106	55	2,590,830	4,710,600	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	4-12	3,972	55	218,460	397,200	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	4-27	46,513	55	2,558,215	4,651,300	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	2224 (4-15)	84,660	55	4,656,300	8,466,000	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	A	18,054	49	884,646	1,263,780	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	GAP	1,368	49	67,032	95,760	
MANOLO FORTICH	SAN MIGUEL	AGRICULTURAL	GAP	1,415	49	69,335	99,050	
MANOLO FORTICH	SAN MIGUEL	CREEK	CREEK	1,596				
MANOLO FORTICH	SAN MIGUEL	ROAD	ROAD	899				
MANOLO FORTICH	SANKANAN	AGRICULTURAL	752	9,552	49	468,048	668,640	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	753	38	49	1,862	2,660	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	754	17,870	49	875,630	1,250,900	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	756	890	49	43,610	62,300	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	757	182	49	8,918	12,740	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	1101	14,529	49	711,921	1,017,030	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	1104	31,317	49	1,534,533	2,192,190	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	14-C	27,481	55	1,511,455	2,748,100	
MANOLO FORTICH	SANKANAN	AGRICULTURAL	GAP	375	49	18,375	26,250	
MANOLO FORTICH	SANKANAN	RIVER	RIVER	21,373				
MANOLO FORTICH	TICALA	AGRICULTURAL	2328	8,226	49	403,074	575,820	
MANOLO FORTICH	TICALA	AGRICULTURAL	2329	10,884	49	533,316	761,880	
MANOLO FORTICH	TICALA	AGRICULTURAL	2332	1,348	55	74,140	134,800	
MANOLO FORTICH	TICALA	AGRICULTURAL	2333	2,798	55	153,890	279,800	
MANOLO FORTICH	TICALA	AGRICULTURAL	3990	8,238	55	453,090	823,800	
MANOLO FORTICH	TICALA	AGRICULTURAL	3993	40	49	1,960	2,800	
MANOLO FORTICH	TICALA	AGRICULTURAL	4023	3,912	49	191,688	273,840	
MANOLO FORTICH	TICALA	AGRICULTURAL	4061	3,822	49	187,278	267,540	
MANOLO FORTICH	TICALA	AGRICULTURAL	4066	2,329	49	114,121	163,030	
MANOLO FORTICH	TICALA	AGRICULTURAL	4067	3,166	49	155,134	221,620	
MANOLO FORTICH	TICALA	AGRICULTURAL	4068	2,944	49	144,256	206,080	
MANOLO FORTICH	TICALA	AGRICULTURAL	4073	1,110	49	54,390	77,700	
MANOLO FORTICH	TICALA	AGRICULTURAL	4076	136	49	6,664	9,520	
MANOLO FORTICH	TICALA	AGRICULTURAL	4141	1,252	55	68,860	125,200	
MANOLO FORTICH	TICALA	AGRICULTURAL	4151	5,021	49	246,029	351,470	
MANOLO FORTICH	TICALA	AGRICULTURAL	4152	6,204	49	303,996	434,280	
MANOLO FORTICH	TICALA	AGRICULTURAL	4155	190	49	9,310	13,300	
MANOLO FORTICH	TICALA	AGRICULTURAL	4156	3,270	49	160,230	228,900	
MANOLO FORTICH	TICALA	AGRICULTURAL	4157	5,905	49	289,345	413,350	
MANOLO FORTICH	TICALA	AGRICULTURAL	4161	595	49	29,155	41,650	
MANOLO FORTICH	TICALA	AGRICULTURAL	4187	101	49	4,949	7,070	
MANOLO FORTICH	TICALA	AGRICULTURAL	4325	1,992	55	109,560	199,200	
MANOLO FORTICH	TICALA	AGRICULTURAL	4331	14,349	55	789,195	1,434,900	
MANOLO FORTICH	TICALA	AGRICULTURAL	6473	4,534	49	222,166	317,380	
MANOLO FORTICH	TICALA	AGRICULTURAL	6474	8,351	49	409,199	584,570	
MANOLO FORTICH	TICALA	AGRICULTURAL	6475	1,219	49	59,731	85,330	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
MANOLO FORTICH	TICALA	AGRICULTURAL	6476	3,988	49	195,412	279,160	
MANOLO FORTICH	TICALA	AGRICULTURAL	6477	4,938	49	241,962	345,660	
MANOLO FORTICH	TICALA	AGRICULTURAL	6478	6,243	49	305,907	437,010	
MANOLO FORTICH	TICALA	AGRICULTURAL	6485	3,145	49	154,105	220,150	
MANOLO FORTICH	TICALA	AGRICULTURAL	6486	2,612	49	127,988	182,840	
MANOLO FORTICH	TICALA	AGRICULTURAL	6487	1,055	49	51,695	73,850	
MANOLO FORTICH	TICALA	AGRICULTURAL	6494	4,551	49	222,999	318,570	
MANOLO FORTICH	TICALA	AGRICULTURAL	6495	3,712	49	181,888	259,840	
MANOLO FORTICH	TICALA	AGRICULTURAL	6496	2,115	49	103,635	148,050	
MANOLO FORTICH	TICALA	AGRICULTURAL	6541	9,408	49	460,992	658,560	
MANOLO FORTICH	TICALA	AGRICULTURAL	6542	27	49	1,323	1,890	
MANOLO FORTICH	TICALA	RIVER	RIVER	1,585				
MANOLO FORTICH	TICALA	RIVER	RIVER	5,964				
MANOLO FORTICH	TICALA	RIVER	RIVER	8,723				
SUMILAO	POBLACION	AGRICULTURAL	67	11,826	49	579,474	946,080	
SUMILAO	POBLACION	AGRICULTURAL	74	15,198	55	835,890	2,279,700	
SUMILAO	POBLACION	AGRICULTURAL	75	4,603	55	253,165	690,450	
SUMILAO	POBLACION	AGRICULTURAL	76	10,597	55	582,835	1,589,550	
SUMILAO	POBLACION	AGRICULTURAL	77	12,296	55	676,280	1,844,400	
SUMILAO	POBLACION	AGRICULTURAL	79	8,977	55	493,735	1,346,550	
SUMILAO	POBLACION	AGRICULTURAL	83	20,613	55	1,133,715	3,091,950	
SUMILAO	POBLACION	AGRICULTURAL	87	14,589	55	802,395	2,188,350	
SUMILAO	POBLACION	AGRICULTURAL	89	765	55	42,075	114,750	
SUMILAO	POBLACION	AGRICULTURAL	94	9,544	55	524,920	1,431,600	
SUMILAO	POBLACION	AGRICULTURAL	659	9,832	49	481,768	786,560	
SUMILAO	POBLACION	AGRICULTURAL	766	12,545	55	689,975	5,018,000	
SUMILAO	POBLACION	AGRICULTURAL	773	21,714	55	1,194,270	8,685,600	
SUMILAO	POBLACION	AGRICULTURAL	775	13,526	49	662,774	1,082,080	
SUMILAO	POBLACION	AGRICULTURAL	826	21,953	49	1,075,697	1,756,240	
SUMILAO	POBLACION	AGRICULTURAL	837	28,698	55	1,578,390	4,304,700	
SUMILAO	POBLACION	CANYON	CANYON	26,853	49	1,315,797	1,611,180	
SUMILAO	POBLACION	CREEK	CREEK	3,616				
SUMILAO	POBLACION	CREEK	CREEK	4,169				
SUMILAO	POBLACION	RIVER	RIVER	19,387				
SUMILAO	POBLACION	RIVER	RIVER	19,666				
SUMILAO	POBLACION	RIVER	RIVER	23,736				
SUMILAO	POBLACION	ROAD	ROAD	4,861				
SUMILAO	POBLACION	ROAD	ROAD	1,277				
SUMILAO	VISTA VILLA	AGRICULTURAL	537	4,855	49	237,895	291,300	
SUMILAO	VISTA VILLA	AGRICULTURAL	538	586	55	32,230	58,600	
SUMILAO	VISTA VILLA	AGRICULTURAL	555	14,653	55	805,915	1,318,770	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
SUMILAO	VISTA VILLA	AGRICULTURAL	556	9,936	55	546,480	993,600	
SUMILAO	VISTA VILLA	AGRICULTURAL	557	7,579	55	416,845	757,900	
SUMILAO	VISTA VILLA	AGRICULTURAL	560	3,315	55	182,325	298,350	
SUMILAO	VISTA VILLA	AGRICULTURAL	576	15,901	55	874,555	1,431,090	
SUMILAO	VISTA VILLA	AGRICULTURAL	577	15,702	55	863,610	1,413,180	
SUMILAO	VISTA VILLA	AGRICULTURAL	578	3,494	55	192,170	314,460	
SUMILAO	VISTA VILLA	AGRICULTURAL	579	3,465	55	190,575	311,850	
SUMILAO	VISTA VILLA	AGRICULTURAL	585	1,373	55	75,515	123,570	
SUMILAO	VISTA VILLA	AGRICULTURAL	586	17,583	55	967,065	1,582,470	
SUMILAO	VISTA VILLA	AGRICULTURAL	587	19,706	55	1,083,830	1,773,540	
SUMILAO	VISTA VILLA	AGRICULTURAL	612	18,626	55	1,024,430	1,676,340	
SUMILAO	VISTA VILLA	AGRICULTURAL	613	19,187	55	1,055,285	1,726,830	
SUMILAO	VISTA VILLA	AGRICULTURAL	629	3,937	55	216,535	354,330	
SUMILAO	VISTA VILLA	AGRICULTURAL	630	16,284	55	895,620	1,465,560	
SUMILAO	VISTA VILLA	AGRICULTURAL	631	18,797	55	1,033,835	1,691,730	
SUMILAO	VISTA VILLA	AGRICULTURAL	644	4	55	220	360	
SUMILAO	VISTA VILLA	AGRICULTURAL	645	18,559	55	1,020,745	1,670,310	
SUMILAO	VISTA VILLA	AGRICULTURAL	646	18,623	55	1,024,265	1,676,070	
SUMILAO	VISTA VILLA	AGRICULTURAL	658	10,096	55	555,280	908,640	
SUMILAO	VISTA VILLA	AGRICULTURAL	716	13,899	49	681,051	833,940	
SUMILAO	VISTA VILLA	AGRICULTURAL	717	403	55	22,165	36,270	
SUMILAO	VISTA VILLA	AGRICULTURAL	718	17,126	55	941,930	1,712,600	
SUMILAO	VISTA VILLA	AGRICULTURAL	719	17,047	49	835,303	1,022,820	
SUMILAO	VISTA VILLA	AGRICULTURAL	762	12,288	55	675,840	1,105,920	
SUMILAO	VISTA VILLA	AGRICULTURAL	RIVER	15,784				
SUMILAO	VISTA VILLA	RIVER	RIVER	19,245				
SUMILAO	VISTA VILLA	ROAD	ROAD	844				
SUMILAO	VISTA VILLA	ROAD	ROAD	1,192				
SUMILAO	VISTA VILLA	ROAD	ROAD	918				
SUMILAO	VISTA VILLA	ROAD	ROAD	735				
SUMILAO	VISTA VILLA	ROAD	ROAD	1,214				
SUMILAO	VISTA VILLA	ROAD	ROAD	794				
SUMILAO	VISTA VILLA	ROAD	ROAD	9,869				
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	9	12,645	76	961,020	1,138,050	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	10	9,829	76	747,004	884,610	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	12	86	76	6,536	7,740	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	70	8,277	76	629,052	744,930	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	85	13,372	24	320,928	802,320	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	90	17,255	76	1,311,380	1,552,950	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	94	3,174	24	76,176	190,440	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	95	2,641	24	63,384	158,460	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	96	18,834	76	1,431,384	1,695,060	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	98	9,579	76	728,004	862,110	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	84-A	4,898	24	117,552	293,880	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	84-B	2,853	24	68,472	171,180	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	84-C	1,793	24	43,032	107,580	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	84-D	1,099	24	26,376	65,940	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	92-A	109	76	8,284	9,810	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	92-B	109	76	8,284	9,810	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	92-C	109	76	8,284	9,810	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	92-D	109	76	8,284	9,810	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	92-E	109	76	8,284	9,810	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	93-A	6,639	76	504,564	597,510	
IMPASUG-ONG	CAPITAN BAYONG	AGRICULTURAL	93-B	5,602	76	425,752	504,180	
IMPASUG-ONG	CAPITAN BAYONG	CREEK	CREEK	3,498				
IMPASUG-ONG	CAPITAN BAYONG	CREEK	CREEK	6,800				
IMPASUG-ONG	CAPITAN BAYONG	CREEK	CREEK	16,253				
IMPASUG-ONG	CAPITAN BAYONG	ROAD	ROAD	902				
IMPASUG-ONG	CAPITAN BAYONG	ROAD	ROAD	866				
IMPASUG-ONG	CAWAYAN	AGRICULTURAL	66	15,014	24	360,336	750,700	
IMPASUG-ONG	CAWAYAN	AGRICULTURAL	GAP	36,991	24	887,784	1,849,550	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	605	2,478	24	59,472	123,900	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	608	4,267	24	102,408	213,350	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	620	5,447	24	130,728	272,350	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	623	81	24	1,944	4,050	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	624	11,470	24	275,280	573,500	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	768	2,608	24	62,592	130,400	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	769	13,706	24	328,944	685,300	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	771	291	24	6,984	14,550	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	792	3,573	24	85,752	178,650	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	793	877	24	21,048	43,850	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4505	38,578	24	925,872	1,928,900	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-A					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-B	21,321	76	1,620,396	1,705,680	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-C					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-D					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-E					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-F					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-G					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-H					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-I					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-J					

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-K					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-L					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-M					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-N					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-O					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	4521-P					
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	GAP	21,413	24	513,912	1,070,650	
IMPASUG-ONG	IMPALUTAO	AGRICULTURAL	GAP	35,431	24	850,344	1,771,550	
IMPASUG-ONG	IMPALUTAO	CREEK	CREEK	3,530				
IMPASUG-ONG	IMPALUTAO	CREEK	CREEK	4,062				
IMPASUG-ONG	IMPALUTAO	CREEK	CREEK	3,266				
IMPASUG-ONG	LA FORTUNA	RIVER	RIVER	17,387				
IMPASUG-ONG	POBLACION	AGRICULTURAL	1	11,739	76	892,164	1,408,680	
IMPASUG-ONG	POBLACION	AGRICULTURAL	24	790	55	43,450	118,500	
IMPASUG-ONG	POBLACION	AGRICULTURAL	25	9,400	55	517,000	1,410,000	
IMPASUG-ONG	POBLACION	AGRICULTURAL	28	1,470	55	80,850	220,500	
IMPASUG-ONG	POBLACION	AGRICULTURAL	29	96	55	5,280	14,400	
IMPASUG-ONG	POBLACION	AGRICULTURAL	30	2,938	55	161,590	440,700	
IMPASUG-ONG	POBLACION	AGRICULTURAL	31	12,466	55	685,630	1,869,900	
IMPASUG-ONG	POBLACION	AGRICULTURAL	47	12,125	24	291,000	970,000	
IMPASUG-ONG	POBLACION	AGRICULTURAL	48	7,329	76	557,004	879,480	
IMPASUG-ONG	POBLACION	AGRICULTURAL	49	3,258	76	247,608	390,960	
IMPASUG-ONG	POBLACION	AGRICULTURAL	50	5,676	24	136,224	454,080	
IMPASUG-ONG	POBLACION	AGRICULTURAL	380	4,832	24	115,968	386,560	
IMPASUG-ONG	POBLACION	AGRICULTURAL	381	13,273	24	318,552	1,061,840	
IMPASUG-ONG	POBLACION	AGRICULTURAL	32-J	12,181	76	925,756	1,461,720	
IMPASUG-ONG	POBLACION	AGRICULTURAL	35-I	2,500	76	190,000	300,000	
IMPASUG-ONG	POBLACION	AGRICULTURAL	383-A	4,083	24	97,992	326,640	
IMPASUG-ONG	POBLACION	AGRICULTURAL	383-B	4,082	24	97,968	326,560	
IMPASUG-ONG	POBLACION	AGRICULTURAL	384-B	13,252	24	318,048	1,060,160	
IMPASUG-ONG	POBLACION	AGRICULTURAL	384-C	13,252	76	1,007,152	1,325,200	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-A	2,893	76	219,868	347,160	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-B	3,479	76	264,404	417,480	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-C	1,436	76	109,136	172,320	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-D	1,340	76	101,840	160,800	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-E	1,239	76	94,164	148,680	
IMPASUG-ONG	POBLACION	AGRICULTURAL	38-F	2,503	76	190,228	300,360	
IMPASUG-ONG	POBLACION	AGRICULTURAL	54-A	1,082	24	25,968	86,560	
IMPASUG-ONG	POBLACION	AGRICULTURAL	54-B	1,082	24	25,968	86,560	
IMPASUG-ONG	POBLACION	AGRICULTURAL	56-B	2,636	24	63,264	210,880	
IMPASUG-ONG	POBLACION	AGRICULTURAL	56-C	2,636	24	63,264	210,880	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
IMPASUG-ONG	POBLACION	AGRICULTURAL	ROAD	1,321				
IMPASUG-ONG	POBLACION	CREEK	CREEK	959				
IMPASUG-ONG	POBLACION	RIVER	RIVER	11,695				
IMPASUG-ONG	POBLACION	RIVER	RIVER	3,885				
IMPASUG-ONG	POBLACION	ROAD	ROAD	1,736				
IMPASUG-ONG	POBLACION	ROAD	ROAD	1,046				
IMPASUG-ONG	POBLACION	ROAD	ROAD	1,165				
IMPASUG-ONG	SAN JUAN	AGRICULTURAL	55	14,689	24	352,536	881,340	
IMPASUG-ONG	SAN JUAN	AGRICULTURAL	56-A	2,636	24	63,264	158,160	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	25	7,350	72	529,200	2,205,000	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	43	4,656	72	335,232	1,396,800	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	74	20,737	72	1,493,064	6,221,100	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	77	17,952	72	1,292,544	5,385,600	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	80	4,920	72	354,240	1,476,000	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	1, BLK. 16	31,545	193	6,088,185	18,927,000	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	1, BLK. 4	10,798	63	680,274	971,820	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	3772-B	2,455	72	176,760	736,500	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	45-A	2,043	63	128,709	183,870	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	45-B	3,522	63	221,886	316,980	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	45-C	3,189	63	200,907	287,010	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	46, BLK. 5	28,792	193	5,556,856	17,275,200	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	7-A	465	63	29,295	41,850	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	UNIDENTIFIED LOT	16,132	72	1,161,504	4,839,600	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	UNIDENTIFIED LOT	7,145	72	514,440	2,143,500	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	UNIDENTIFIED LOT	205	72	14,760	61,500	
CITY OF MALAYBALAY	DALAWANGAN	AGRICULTURAL	UNIDENTIFIED LOT	5,069	72	364,968	1,520,700	
CITY OF MALAYBALAY	DALAWANGAN	CREEK	CREEK	8,588				
CITY OF MALAYBALAY	DALAWANGAN	CREEK	CREEK	5,622				
CITY OF MALAYBALAY	DALAWANGAN	CREEK	CREEK	1,365				
CITY OF MALAYBALAY	DALAWANGAN	CREEK	CREEK	3,114				
CITY OF MALAYBALAY	DALAWANGAN	CREEK	CREEK	6,369				
CITY OF MALAYBALAY	DALAWANGAN	ROAD	ROAD	4,586				
CITY OF MALAYBALAY	DALAWANGAN	ROAD	ROAD	1,175				
CITY OF MALAYBALAY	DALAWANGAN	ROAD	ROAD	1,052				
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3	2,898	63	182,574	202,860	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	249	18,778	80	1,502,240	7,511,200	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	257	27,991	63	1,763,433	1,959,370	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	345	19,733	72	1,420,776	2,565,290	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	40343	6,183	72	445,176	803,790	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	40344	5,195	72	374,040	675,350	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	40345	6,055	72	435,960	787,150	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	40346	6,168	72	444,096	801,840	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		23,416	63	1,475,208	1,639,120	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		5,455	63	343,665	381,850	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		10,583	80	846,640	4,233,200	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		13,370	80	1,069,600	5,348,000	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		11,594	72	834,768	1,507,220	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		8,948	63	563,724	626,360	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		25,244	80	2,019,520	10,097,600	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		12,955	63	816,165	906,850	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		28,770	63	1,812,510	2,013,900	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		9,286	63	585,018	650,020	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		2,191	63	138,033	153,370	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		6,466	72	465,552	840,580	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		378	72	27,216	49,140	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		28,266	72	2,035,152	3,674,580	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		1,059	72	76,248	137,670	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL		8,303	72	597,816	1,079,390	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	245-C	11,173	63	703,899	782,110	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	245-D	1,024	63	64,512	71,680	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	322-B	1,104	63	69,552	77,280	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3568-A	3,107	72	223,704	403,910	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3568-B-2	946	72	68,112	122,980	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3568-C	2,786	72	200,592	362,180	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3568-D	4,037	72	290,664	524,810	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3568-E	7,521	72	541,512	977,730	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3605-G	6,283	63	395,829	439,810	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3626-C	4,588	63	289,044	321,160	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3626-D	10,210	63	643,230	714,700	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	3658-B	3,863	63	243,369	270,410	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	F	8,174	63	514,962	572,180	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	G	8,619	63	542,997	603,330	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	GAP	39,685	72	2,857,320	5,159,050	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	UNIDENTIFIED LOT	4,677	80	374,160	1,870,800	
CITY OF MALAYBALAY	KALASUNGAY	AGRICULTURAL	UNIDENTIFIED LOT	100	72	7,200	13,000	
CITY OF MALAYBALAY	KALASUNGAY	ROAD	ROAD	974				

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Land Use Type	Lot Number	ROW Area (sq.m.)	Price/sq.m. based on BIR zonal value	Price of Land based on BIR zonal value	Price of Land based on GPI/IPA Appraisal Reports	Price of Land as Validated by IA
CITY OF MALAYBALAY	KALASUNGAY	ROAD	ROAD	1,199				
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	85	5,306	63	334,278	477,540	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	89	11,830	63	745,290	1,064,700	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	140	16,432	63	1,035,216	1,478,880	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	1238-A	21,424	63	1,349,712	1,928,160	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	139-L	6,096	63	384,048	548,640	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	219-A	15,340	63	966,420	1,380,600	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	F-101312-3468 (LOT 41599)	5,128	63	323,064	461,520	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	UNIDENTIFIED LOT	4,165	63	262,395	374,850	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	UNIDENTIFIED LOT	3,565	63	224,595	320,850	
CITY OF MALAYBALAY	PATPAT	AGRICULTURAL	UNIDENTIFIED LOT	784	63	49,392	70,560	
CITY OF MALAYBALAY	PATPAT	CREEK	CREEK	1,536				
CITY OF MALAYBALAY	PATPAT	CREEK	CREEK	5,268				
CITY OF MALAYBALAY	PATPAT	CREEK	CREEK	6,554				
CITY OF MALAYBALAY	PATPAT	CREEK	CREEK	3,253				
TOTAL				3,943,800		388,759,893	847,966,900	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Appendix 2b – Pricing of Land Based on BIR Zonal Value

MASTERLIST OF COMPENSATION FOR AFFECTED LAND PREPARATORY SURVEY FOR CENTRAL MINDANAO HIGH STANDARD HIGHWAY CONSTRUCTION PROJECT CAGAYAN DE ORO CITY AND TAGOLOAN, MISAMIS ORIENTAL; MALAYBALAY CITY AND MUNICIPALITIES OF MANOLO FORTICH, SUMILAO AND IMPASUG-ONG, PROVINCE OF BUKIDNON																	
Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation		Remarks		
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)		Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)
1	ROW		DPWH	CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL			ROAD		1,280			-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN	
2	1695	PLS-799		CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL	NATIONAL HIGHWAY		AGRICULTURAL	139,755		410	57,299,550	1,500	209,632,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
3	2320	PLS-799		CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	12,726		106	1,348,956	500	6,363,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
4	2301	PLS-799		CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	230		94	21,620	160	36,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
5	2319	PLS-799		CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	14,201		106	1,505,306	500	7,100,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
6	1704	PLS-799		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	24,527		165	4,046,955	400	9,810,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
7	32	GSS 10-000204	NICOMEDES Q. ACHAS	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR	KOT B.L.G. P. 37760	AGRICULTURAL	25,247	488	24,759	93	45,384	120	58,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
8	36	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	NAPOCOR ROAD		AGRICULTURAL	1,961		165	323,565	400	784,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
9	24	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	18,165		93	1,689,345	120	2,179,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
10	23	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	NAPOCOR ROAD		AGRICULTURAL	130		165	21,450	400	52,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
11	21	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	NAPOCOR ROAD		AGRICULTURAL	197		165	32,505	400	78,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
12	22	GSS 10-000204	PENCHIE MAE A. BETONIO	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	43,181	15,042	28,139	93	1,398,906	120	1,805,040	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
13	19	GSS 10-000204	RICHARD K. ACHAS	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR	KOT B.L.G. P. 37772	AGRICULTURAL	44,672	10,449	34,223	93	971,757	120	1,253,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
14	20	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	NAPOCOR ROAD		AGRICULTURAL	1,866		165	307,890	400	746,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
15	14	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	379		165	62,535	400	151,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
16	13	GSS 10-000204	LEONIDES Q. ACHAS	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR	KOT B.L.G. P. 37776	AGRICULTURAL	46,920	25,701	21,219	93	2,390,193	120	3,084,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
17	12	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	6,848		165	1,129,920	400	2,739,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
18	11	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	211		165	34,815	400	84,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
19	GAP			NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	34,468		93	3,205,524	120	4,136,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
20	6	GSS 10-000204	NADYA B. EMANO	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	50,670	9,952	40,718	165	1,642,080	400	3,980,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
21	GAP			NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	30,238		165	4,989,270	400	12,095,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	
22	3	GSS 10-000204	NATASHA E. ELAZEGUI	NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	45,142	823	44,319	165	135,795	400	329,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
23	35	GSS 10-000204		NATUMOLAN	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	10,183		165	1,680,195	400	4,073,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
24	1764	PLS-799	ARNEL BLANDO, ET. AL	CASINGLOT	TAGOLOAN	MISAMIS ORIENTAL	BARANGAY ROAD	TCT NO. E-7362	AGRICULTURAL	79,789	10,885	68,904	106	1,153,810	500	5,442,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
25	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		97,784		93	9,093,912	120	11,734,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
26	617			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	118,852	12,066	106,786	116	1,399,656	500	6,033,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
27	616			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	119,102	26,857	92,245	116	3,115,412	500	13,428,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
28	329			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		977		82	80,114	200	195,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
29	327			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		2,818		82	231,076	200	563,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
30	326			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	123,236	19,408	103,828	116	2,251,328	500	9,704,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
31	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL		3,307		116	383,612	500	1,653,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
32	324			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	84,552	14,159	70,393	116	1,642,444	500	7,079,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
33	323			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	62,384	11,752	50,632	116	1,363,232	500	5,876,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
34	322			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	44,613	8,864	35,749	116	1,028,224	500	4,432,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
35	321			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	106,429	25,853	80,576	116	2,998,948	500	12,926,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
36	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL		473		116	54,868	500	236,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
37	246			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	54,966	9,933	45,033	116	1,152,228	500	4,966,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
38	335			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	70,086	8,143	61,943	82	667,726	200	1,628,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
39	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL		1,664		116	193,024	500	832,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
40	243			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	139,101	24,073	115,028	116	2,792,468	500	12,036,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
41	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL		746		116	86,536	500	373,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
42	216-A			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	28,393	6,500	21,893	116	754,000	600	3,900,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
43	215			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	49,507	6,310	43,197	82	517,420	200	1,262,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
44	208			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	BARANGAY ROAD		AGRICULTURAL	53,039	9,956	43,083	116	1,154,896	600	5,973,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
45	214-A			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		417		82	34,194	200	83,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
46	207			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	27,927	7,381	20,546	116	856,196	500	3,690,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
47	206-B			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	8,065	1,935	6,130	116	224,460	500	967,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
48	206-A			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	6,065	2,236	5,829	82	183,352	200	447,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
49	205			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	27,586	6,562	21,024	116	761,192	500	3,281,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
50	189			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	28,318	6,947	21,371	116	805,852	500	3,473,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
51	188-L			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	35,488	3,816	31,672	116	442,656	500	1,908,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
52	190			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	22,878	335	22,543	116	38,860	500	167,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
53	191			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	57,713	15,755	41,958	116	1,827,580	500	7,877,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
54	171			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	32,104	12,128	19,976	82	994,496	200	2,425,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
55	170			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	38,687	3,837	34,850	82	314,634	200	767,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
56	193			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	84,123	10,102	74,021	82	828,364	200	2,020,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
57	167			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	51,358	2,564	48,694	82	218,448	200	532,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
58	166			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	46,073	18,276	27,797	82	1,498,632	200	3,655,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
59	164			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL	33,180	5,329	27,851	82	436,978	200	1,065,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
60	GAP			MAMBATANGAN	MANOLO FORTICH	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		1,394		82	114,308	200	278,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
61	19875		PRYCE CORPORATION	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	DIRT ROAD		AGRICULTURAL	87,092	8,597	78,495	116	997,252	500	4,298,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
62	19876-P		AMPARO, REGINO	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		3,556		1900	6,756,400	1,200	4,267,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
63	19876-P		PRYCE PROPERTIES CORPORATION	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		12,912		1900	24,532,800	1,200	15,494,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
64	GAP			PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		5,143		1900	9,771,700	1,200	6,171,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
65	ROAD			PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL			ROAD		1,226			-		-	
66	21310-P		LOVE & JOY FARMS, INCORPORATED	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		13,032		1900	24,760,800	1,200	15,638,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
67	21310-P		GARMILL COMPANY, INC.	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		13,032		1900	24,760,800	1,200	15,638,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
68	21310-P		BUGAYONG, HUS S. MARRIED TO LEAH A. BUGAYONG	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	SAYRE HIGHWAY		AGRICULTURAL		1,221		1900	2,319,900	1,200	1,465,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
69	258 PLSM-1038			BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		583		83	48,389	160	93,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
70	21310-P		SEPAYA, RICARDO	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		2,759		82	226,156	200	551,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
71	21310-P		SEPAYA, RICARDO	PUERTO	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		3,479		82	285,278	200	695,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Unit Land Value (Php/Sq.m.)	Amount (Php)	Unit Land Value (Php/Sq.m.)	Amount (Php)	
72	378 PLSM-1098		NERI, LUISITO	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		863		83	71,629	160	138,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
73	248-C-2		PLATO, VICENT	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		3,254		83	270,082	160	520,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
74	249		PLATO, VICENT	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		1,707		83	141,681	160	273,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
75	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		404		83	33,532	160	64,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
76	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		82		83	6,806	160	13,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
77	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		559		83	46,397	160	89,440	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
78	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		1,667		83	138,361	160	266,720	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
79	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		1,615		83	134,046	160	258,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
80	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		865		83	71,795	160	138,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
81	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		581		83	48,223	160	92,960	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
82	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		619		83	51,377	160	99,040	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
83	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		508		83	42,164	160	81,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
84	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		648		83	53,784	160	103,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
85	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		362		83	30,046	160	57,920	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
86	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		271		83	22,493	160	43,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
87	250 PLSM-1098		RAMONES, ROQUE L AND RAMONES, LYDIA G. (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		230		83	19,090	160	36,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
88	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		49		83	4,067	160	7,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
89	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		151		83	12,533	160	24,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
90	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		270		83	22,410	160	43,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
91	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		457		83	37,931	160	73,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
92	250 PLSM-1098		RAMONES, ROQUE L AND LYDIA G. RAMONES (SPS.)	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		786		83	65,238	160	125,760	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
93	251		BACONGUIS, JOSITO (HRS.) REP. BY MIRAFE U. BACONGUIS	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		9,723		83	807,009	160	1,555,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
94	251		BACONGUIS, JOSITO (HRS.) REP. BY MIRAFE U. BACONGUIS	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		280		83	23,240	160	44,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
95	252 PLSM		BACONGUIS, CONCEPCION	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		9,572		83	794,476	160	1,531,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
96	254 PLSM-1098		LEDESMA, EULOGIO S.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		8,907		83	739,281	160	1,425,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
97	PLSM-255		CITY GOVERNMENT OF CAGAYAN DE ORO CITY	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		6,385		83	529,955	160	1,021,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
98	256 PLSM-1098		BACONGUIS, CIPRIANA	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		3,831		83	317,973	160	612,960	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
99	19897		ECHEM, MELQUIADES	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		9,086		83	754,138	160	1,453,760	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
100	19889-P		ECHEM, LUZ B.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		297		83	24,651	160	47,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
101	19889-P		SARIO, AVELINO	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		5,640		83	468,120	160	902,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
102	19898		CUERQUIS, TEODORO	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		15,403		83	1,278,449	160	2,464,480	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
103	19897		CAMOMOT, ROSTACHIL C.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		325		83	26,975	160	52,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
104	19889-P			BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		7,383		83	612,789	160	1,181,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
105	19889-P			BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		965		83	80,095	160	154,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
106	19889-P		CUERQUIS, TEODORO	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		26,783		83	2,222,989	160	4,285,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
107	19901		MALE, ANA J., ET. AL.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		316		83	26,228	160	50,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
108	19901		DE GUZMAN, ROSEMARY R.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		10,755		83	892,665	160	1,720,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
109	19901		PACAMO, CAYETANO	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		6,457		83	535,931	160	1,033,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
110	19901		EDURIA, SANTE	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		4,015		83	333,245	160	642,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
111	19901		ANDRECOZO, BARTOLOME	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		614		83	50,962	160	98,240	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
112	19901		MALE, JENNIFER J.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		4,005		83	332,415	160	640,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
113	19901		SUPLANAS, PLACIDA	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		2,571		83	213,393	160	411,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
114	19901		SUPLANAS, PLACIDA	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		1,338		83	111,054	160	214,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
115	19901		JORZA, MAURO A.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		5,907		83	490,281	160	945,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
116	19901		JORZA, MAURO A.	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		92		83	7,636	160	14,720	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
117	19902		ECHEM, ELY	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		4,146		83	344,118	160	663,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
118	19903		SOCIETY OF SAINT JOHN VIANNEY	BALUBAL	CITY OF CAGAYAN DE ORO	MISAMIS ORIENTAL	INTERIOR		AGRICULTURAL		3,936		83	326,688	160	629,760	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Unit Land Value (Php/Sq.m.)	Amount (Php)	Unit Land Value (Php/Sq.m.)	Amount (Php)	
119	14			ALAE	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		7,344		49	359,856	80	587,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
120	A			ALAE	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		405		49	19,845	80	32,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
121	13-A			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		4,671		55	256,905	120	560,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
122	13-B			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		15,851		55	871,805	120	1,902,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
123	12			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		16,294		55	896,170	120	1,955,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
124	4			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		11,660		55	641,300	120	1,399,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
125	3-C			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		3,782		55	208,010	120	453,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
126	3-D			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		2,418		55	132,990	120	290,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	GAP			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		10,070		55	553,850	120	1,208,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
127	1			ALAE	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		5,071		49	248,479	80	405,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
128	10112			ALAE	MANOLO FORTICH	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		3,749		55	206,195	300	1,124,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
129	GAP			ALAE	MANOLO FORTICH	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		68,223		55	3,752,265	300	20,466,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
130	983			ALAE	MANOLO FORTICH	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		8,437		55	464,035	300	2,531,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
131	1			ALAE	MANOLO FORTICH	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		837		55	46,035	300	251,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
132	2256			ALAE	MANOLO FORTICH	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		2,989		55	164,395	300	896,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
133	2257			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		3,726		55	204,930	120	447,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
134	GAP			ALAE	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		40,864		55	2,247,520	120	4,903,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
135	2205			LUNOCAN	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		7,221		55	397,155	100	722,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
136	2197			LUNOCAN	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		3,403		55	187,165	100	340,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
137	1733			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		12,171		55	669,405	100	1,217,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
138	1734			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		12,075		55	664,125	100	1,207,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
139	1735			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		254		49	12,446	70	17,780	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
140	1876			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		4,380		55	240,900	100	438,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
141	1877			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		10,527		55	578,985	100	1,052,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCTG/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
142	1878			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		8,226		55	452,430	100	822,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
143	1879			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		7,635		55	419,925	100	763,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
144	1180			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		4,769		55	262,295	100	476,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
145	GAP			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,368		49	67,032	70	95,760	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
146	1716			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		10,458		55	575,190	100	1,045,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
147	1715			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		22,035		55	1,211,925	100	2,203,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
148	GAP			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,415		49	69,335	70	99,050	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
149	1751			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		848		49	41,552	70	59,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
150	A			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		18,054		49	884,646	70	1,263,780	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
151	4-17			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		42,404		55	2,332,220	100	4,240,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
152	4-16			DAMLIG	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		943		55	51,865	100	94,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
153	2224 (4-15)			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		84,660		55	4,656,300	100	8,466,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
154	4-12			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		3,972		55	218,460	100	397,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
155	4-24			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		47,106		55	2,590,830	100	4,710,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
156	ROAD			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		ROAD		899			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
157	4-27			SAN MIGUEL	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		46,513		55	2,558,215	100	4,651,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
158	CREEK			SAN MIGUEL	MANOLO FORTICH	BUKIDNON			CREEK		1,596			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
159	2-C			D'CLUM	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		30,018		55	1,650,990	100	3,001,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
160	2-D			D'CLUM	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,056		49	51,744	70	73,920	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
161	2-K			D'CLUM	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		9,806		49	480,494	70	686,420	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
162	2-J			D'CLUM	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		9,583		55	527,065	100	958,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
163	GAP			D'CLUM	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		8,067		49	395,283	70	564,690	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
164	2-L			D'CLUM	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		8,154		55	448,470	100	815,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
165	GAP			D'CLUM	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		67,884		55	3,733,620	100	6,788,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
166	1075			D'CLUM	MANOLO FORTICH	BUKIDNON	THIS IS A ROAD		ROAD		723			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation			Remarks	
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Unit Land Value (Php/Sq.m.)	Amount (Php)	Unit Land Value (Php/Sq.m.)		Amount (Php)
167	GAP			DICLUM	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,123		49	55,027	70	78,610	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
168	14-C			SANKANAN	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		27,481		55	1,511,455	100	2,748,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
169	GAP			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		375		49	18,375	70	26,250	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
170	1101			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		14,529		49	711,921	70	1,017,030	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
171	1104			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		31,317		49	1,534,533	70	2,192,190	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
172	753			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		38		49	1,862	70	2,660	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
173	752			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		9,552		49	468,048	70	668,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
174	754			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		17,870		49	875,630	70	1,250,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
175	756			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		890		49	43,610	70	62,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
176	757			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		182		49	8,918	70	12,740	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	RIVER			SANKANAN	MANOLO FORTICH	BUKIDNON	INTERIOR		RIVER		21,373			-		-	THIS IS A RIVER. HENCE, NO INDICATION OF VALUE IS GIVEN
177	4023			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,912		49	191,688	70	273,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
178	4073			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,110		49	54,390	70	77,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
179	4066			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		2,329		49	114,121	70	163,030	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
180	4067			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,166		49	155,134	70	221,620	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
181	4068			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		2,944		49	144,256	70	206,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
182	3990			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		8,238		55	453,090	100	823,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
183	4061			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,822		49	187,278	70	267,540	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	4076			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		136		49	6,664	70	9,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
184	RIVER			TICALA	MANOLO FORTICH	BUKIDNON			RIVER		1,585			-		-	THIS IS A RIVER. HENCE, NO INDICATION OF VALUE IS GIVEN
	6487			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,055		49	51,695	70	73,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
185	6486			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		2,612		49	127,988	70	182,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
186	6485			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,145		49	154,105	70	220,150	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	4187			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		101		49	4,949	70	7,070	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
187	3993			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		40		49	1,960	70	2,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
188	6541			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		9,408		49	460,392	70	658,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
189	6478			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		6,243		49	305,907	70	437,010	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
190	6477			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		4,938		49	241,962	70	345,660	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
191	6476			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,988		49	199,412	70	279,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
192	6542			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		27		49	1,323	70	1,890	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
193	6473			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		4,534		49	222,166	70	317,380	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
194	6474			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		8,351		49	409,193	70	584,570	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	6475			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		1,219		49	59,731	70	85,330	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
195	6494			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		4,551		49	222,999	70	318,570	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
196	6495			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,712		49	181,888	70	259,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
197	6496			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		2,115		49	103,636	70	148,050	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
198	4155			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		190		49	9,310	70	13,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
199	4156			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		3,270		49	160,230	70	228,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
200	4157			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		5,905		49	289,345	70	413,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
201	4152			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		6,204		49	303,996	70	434,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
202	4151			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		5,021		49	246,029	70	351,470	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
203	RIVER			TICALA	MANOLO FORTICH	BUKIDNON			RIVER		5,964		-	-	-	-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
204	4161			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		595		49	29,155	70	41,650	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
205	4325			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		1,992		55	109,560	100	199,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
206	4141			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		1,252		55	68,860	100	125,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
207	2332			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL	1,348	1,348	0	55	74,140	100	134,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
208	4331			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		14,349		55	789,195	100	1,434,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
209	2333			TICALA	MANOLO FORTICH	BUKIDNON	DIRT ROAD		AGRICULTURAL		2,798		55	153,890	100	279,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
210	2329			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL		10,884		49	533,316	70	761,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
211	2328			TICALA	MANOLO FORTICH	BUKIDNON	INTERIOR		AGRICULTURAL	8,226			49	403,074	70	575,820	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
212	RIVER			TICALA	MANOLO FORTICH	BUKIDNON			RIVER	8,723				-		-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
213	719			VISTA VILLA	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	17,047			49	835,303	60	1,022,820	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
214	716			VISTA VILLA	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	13,899			49	681,051	60	833,940	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
215	537			VISTA VILLA	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	4,855			49	237,896	60	291,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
216	RIVER			VISTA VILLA	SUMILAO	BUKIDNON			AGRICULTURAL	15,784				-		-	
217	717			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	403			55	22,165	90	36,270	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
218	762			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	12,288			55	675,840	90	1,105,920	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
219	718			VISTA VILLA	SUMILAO	BUKIDNON	BARANGAY ROAD		AGRICULTURAL	17,126			55	941,930	100	1,712,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
220	538			VISTA VILLA	SUMILAO	BUKIDNON	BARANGAY ROAD		AGRICULTURAL	586			55	32,230	100	58,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
221	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	844				-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
222	557			VISTA VILLA	SUMILAO	BUKIDNON	BARANGAY ROAD		AGRICULTURAL	7,579			55	416,845	100	757,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
223	556			VISTA VILLA	SUMILAO	BUKIDNON	BARANGAY ROAD		AGRICULTURAL	9,936			55	546,480	100	993,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
224	560			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	3,315			55	182,325	90	298,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
225	555			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	14,653			55	805,915	90	1,318,770	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
226	ROAD			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		ROAD	1,192				-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
227	579			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	3,465			55	190,575	90	311,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
228	576			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	15,901			55	874,555	90	1,431,090	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
229	578			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	3,494			55	192,170	90	314,460	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
230	577			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	15,702			55	863,610	90	1,413,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
231	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	918				-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
232	585			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	1,373			55	75,515	90	123,570	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
233	586			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	17,583			55	967,065	90	1,582,470	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
234	587			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	19,706			55	1,083,830	90	1,773,540	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
235	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	735				-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
236	613			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	19,187			55	1,055,285	90	1,726,830	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation			Remarks	
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Unit Land Value (Php/Sq.m.)	Amount (Php)	Unit Land Value (Php/Sq.m.)		Amount (Php)
237	612			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	18,626			55	1,024,430	90	1,676,340	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
238	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	1,214			-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
239	631			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	18,797			55	1,033,835	90	1,691,730	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
240	630			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	16,284			55	895,620	90	1,465,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
241	629			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	3,937			55	216,535	90	354,330	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
242	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	794			-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
243	646			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	18,623			55	1,024,265	90	1,676,070	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
244	645			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	18,559			55	1,020,745	90	1,670,310	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
245	644			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	4			55	220	90	360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
246	ROAD			VISTA VILLA	SUMILAO	BUKIDNON			ROAD	9,869			-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
247	658			VISTA VILLA	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	10,096			55	555,280	90	908,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
248	RIVER			VISTA VILLA	SUMILAO	BUKIDNON			RIVER	19,245			-	-	-	-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
249	659			POBLACION	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	9,832			49	481,768	80	786,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
250	CANYON			POBLACION	SUMILAO	BUKIDNON	INTERIOR		CANYON	26,853			49	1,315,797	60	1,611,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
251	826			POBLACION	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	21,953			49	1,075,697	80	1,756,240	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
252	766			POBLACION	SUMILAO	BUKIDNON	SUMILAO ROAD		AGRICULTURAL	12,545			55	689,975	400	5,018,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
253	ROAD			POBLACION	SUMILAO	BUKIDNON			ROAD	4,861			-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
254	773		PUBLIC LAND	POBLACION	SUMILAO	BUKIDNON	SUMILAO ROAD		AGRICULTURAL	21,714			55	1,194,270	400	8,685,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
255	RIVER			POBLACION	SUMILAO	BUKIDNON			RIVER	19,387			-	-	-	-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
256	775			POBLACION	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	13,526			49	662,774	80	1,082,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
257	RIVER			POBLACION	SUMILAO	BUKIDNON			RIVER	19,666			-	-	-	-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
258	67			POBLACION	SUMILAO	BUKIDNON	INTERIOR		AGRICULTURAL	11,826			49	579,474	80	946,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
259	74			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	15,198			55	835,890	150	2,279,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
260	ROAD			POBLACION	SUMILAO	BUKIDNON			ROAD	1,277			-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
261	76			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	10,597			55	582,835	150	1,589,550	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
262	CREEK			POBLACION	SUMILAO	BUKIDNON			CREEK	3,616			-	-	-	-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
263	77			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL	12,296			55	676,280	150	1,844,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
264	75			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		4,603		55	253,165	150	690,450	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
265	CREEK			POBLACION	SUMILAO	BUKIDNON			CREEK		4,169			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
266	79			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		8,977		55	493,735	150	1,346,550	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
267	87			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		14,589		55	802,395	150	2,188,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
268	89			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		765		55	42,075	150	114,750	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
269	83			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		20,613		55	1,133,715	150	3,091,950	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
270	94			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		9,544		55	524,920	150	1,431,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
271	RIVER			POBLACION	SUMILAO	BUKIDNON			RIVER		23,736			-		-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
272	837			POBLACION	SUMILAO	BUKIDNON	DIRT ROAD		AGRICULTURAL		28,698		55	1,578,390	150	4,304,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
273	25	PLS-987	NICOLAS CASIÑO	POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	30,000	9,400	20,600	55	517,000	150	1,410,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
274	ROAD			POBLACION	IMPASUG-ONG	BUKIDNON			ROAD		1,736			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
275	28			POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL		1,470		55	80,850	150	220,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
276	24	PLS-987	HEIRS OF CELEDONIO ESCOBIO	POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD	P-20759	AGRICULTURAL	43,857	790	43,067	55	43,450	150	118,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
277	30	PLS-987	MARCELO OLINAY	POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	19,135	2,938	16,197	55	161,590	150	440,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
278	29			POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL		96		55	5,280	150	14,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
279	31	PLS-987	NICOLAS CASIÑO	POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD	P-4720	AGRICULTURAL	42,950	12,466	30,484	55	685,630	150	1,869,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
280	CREEK			POBLACION	IMPASUG-ONG	BUKIDNON			CREEK		959			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
281	32-J	PLS-987	GEORGE MARTIN BAULA	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD		AGRICULTURAL	36,265	12,181	24,084	76	925,756	120	1,461,720	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
282	ROAD			POBLACION	IMPASUG-ONG	BUKIDNON			ROAD		1,046			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
283	35-I	CSD-10-006952-D	QUEDAN AND RURAL CREDIT GUARANTEE CORP	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-105022	AGRICULTURAL	49,996	2,500	47,496	76	190,000	120	300,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
284	38-F	PSD-10-025138	ANTONIO DE LA FUENTE	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52025	AGRICULTURAL	11,005	2,503	8,502	76	190,228	120	300,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
285	38-E	PSD-10-025138		POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52024	AGRICULTURAL	11,001	1,239	9,762	76	94,164	120	148,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
286	38-D	PSD-10-025138		POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52023	AGRICULTURAL	11,001	1,340	9,661	76	101,840	120	160,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
287	38-C	PSD-10-025138		POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52022	AGRICULTURAL	11,000	1,436	9,564	76	109,136	120	172,320	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
288	38-B	PSD-10-025138		POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52021	AGRICULTURAL	11,013	3,479	7,534	76	264,404	120	417,480	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
289	38-A	PSD-10-025138		POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-52026	AGRICULTURAL	11,003	2,893	8,110	76	219,868	120	347,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

RAP Preliminary Cost Estimates for Land

12 of 19

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
290	1	PCS-10-003289	FLOR V. AGBAYANI	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-89188	AGRICULTURAL	22,046	11,739	10,307	76	892,164	120	1,408,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
291	ROAD			POBLACION	IMPASUG-ONG	BUKIDNON			ROAD		1,165			-		-	
292	48	PLS-987	PERFECTO CAGANG	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-32720	AGRICULTURAL	26,132	7,329	18,803	76	557,004	120	879,480	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
293	49	PLS-987	JOELLUIS O. SAGUBAN	POBLACION	IMPASUG-ONG	BUKIDNON	INTAVAS ROAD	T-110315	AGRICULTURAL	21,005	3,258	17,747	76	247,608	120	390,960	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
294	50	PLS-987	FLORENCIO MORENO	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-17427	AGRICULTURAL	12,480	5,676	6,804	24	136,224	80	454,080	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
295	47	PLS-987	ISIDRO REYES	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-16755	AGRICULTURAL	52,226	12,125	40,101	24	291,000	80	970,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
296	ROAD			POBLACION	IMPASUG-ONG	BUKIDNON			AGRICULTURAL		1,321			-		-	
297	54-A	PSD-10-022346	ANA MARIE T. FERNANDEZ	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-78108	AGRICULTURAL	15,000	1,082	13,918	24	25,968	80	86,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
298	54-B	PLS-987	LUCIANO LUNDA	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	P-6305-PART	AGRICULTURAL	12,498	1,082	11,416	24	25,968	80	86,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
299	55	PLS-987	GERONIMO A. PAJAREN	SAN JUAN	IMPASUG-ONG	BUKIDNON	INTERIOR	T-19883	AGRICULTURAL	17,996	14,689	3,307	24	352,536	60	881,340	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
300	56-A	PSD-10-047198	ANNA MARIE T. FERNANDEZ	SAN JUAN	IMPASUG-ONG	BUKIDNON	INTERIOR	133-2018003744	AGRICULTURAL	10,000	2,636	7,364	24	63,264	80	158,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
301	56-B	PSD-10-047198	ENRIQUE BINAYAO	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	133-2018003745	AGRICULTURAL	10,801	2,636	8,165	24	63,264	80	210,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
302	56-C	PSD-10-047198	DANILO BINAYAO	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	133-2018-003746	AGRICULTURAL	20,000	2,636	17,364	24	63,264	80	210,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
303	RIVER			POBLACION	IMPASUG-ONG	BUKIDNON			RIVER		11,695			-		-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
304	381			POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	56,675	13,273	43,402	24	318,552	80	1,061,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
305	380			POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		4,832		24	115,968	80	386,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
306	383-A	PSD-10-062676	GARRY ESTONILO	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-129313	AGRICULTURAL	25,588	4,083	21,505	24	97,992	80	326,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
307	383-B	PSD-10-062676	PRINCES HAMELITA ACUÑA SIAPUATCO	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-129314	AGRICULTURAL	30,000	4,082	25,918	24	97,968	80	326,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
308	RIVER			POBLACION	IMPASUG-ONG	BUKIDNON			RIVER		3,885			-		-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
309	384-B	PSD-10-009721	LOIDA T. LAGRIMOSA	POBLACION	IMPASUG-ONG	BUKIDNON	INTERIOR	T-96948	AGRICULTURAL	78,000	13,252	64,748	24	318,048	80	1,060,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
310	384-C	PSD-10-009721	LOIDA T. LAGRIMOSA	POBLACION	IMPASUG-ONG	BUKIDNON	DIRT ROAD	T-96943	AGRICULTURAL	81,205	13,252	67,953	76	1,007,152	100	1,325,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
311	RIVER			LA FORTUNA	IMPASUG-ONG	BUKIDNON			RIVER		17,387			-		-	THIS IS A RIVER, HENCE, NO INDICATION OF VALUE IS GIVEN
312	85			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		13,372		24	320,928	60	802,320	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
313	84-A	BSD-10-002834 (AR)	HOWARD T. ACUÑA	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR	AT-13222	AGRICULTURAL	30,000	4,898	25,102	24	117,552	60	293,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
314	84-B	BSD-10-002834 (AR)	LOLITA T. ACUÑA	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR	T-105671	AGRICULTURAL	30,111	2,853	27,258	24	68,472	60	171,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
315	84-C	BSD-10-002834 (AR)	LOLITA T. ACUÑA	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR	T-21256 REM PART	AGRICULTURAL	3,034	1,793	1,241	24	43,032	60	107,580	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
316	84-D	BSD-10-002834 (AR)	LOLITA T. ACUÑA	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR	T-21256 REM PART	AGRICULTURAL	3,000	1,099	1,901	24	26,376	60	65,940	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
317	CREEK			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON			CREEK		3,498			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
318	90	PLS 273	FIDENCIO NERI JR.	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	T-20256	AGRICULTURAL	57,037	17,255	39,782	76	1,311,380	90	1,552,950	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
319	ROAD			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON			ROAD		902			-		-	THIS IS A ROAD; HENCE, NO INDICATION OF VALUE IS GIVEN
320	93-A	PSD-10-034757	JOSEFINA E. CARO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	T-69281	AGRICULTURAL	29,848	6,639	23,209	76	504,564	90	597,510	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
321	93-B	PSD-10-034757	JOSEFINA E. CARO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	P-69282	AGRICULTURAL	29,845	5,602	24,243	76	425,752	90	504,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
322	92-A	PSD-10-052169 (AR)	CESARIO N. NAVARRO SR.	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-34297	AGRICULTURAL	30,000	109	29,891	76	8,284	90	9,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
323	92-B	PSD-10-052169 (AR)	MARLOU E. NAVARRO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-34298	AGRICULTURAL	7,659	109	7,550	76	8,284	90	9,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
324	92-C	PSD-10-052169 (AR)	ELIZABETH N. RAYOS	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-34299	AGRICULTURAL	7,659	109	7,550	76	8,284	90	9,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
325	92-D	PSD-10-052169 (AR)	CESARIO N. NAVARRO SR.	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-34300	AGRICULTURAL	7,659	109	7,550	76	8,284	90	9,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
326	92-E	PSD-10-052169 (AR)	ODON E. NAVARRO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-34301	AGRICULTURAL	7,659	109	7,550	76	8,284	90	9,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
327	94			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		3,174		24	76,176	60	190,440	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
328	95	PLS 273	VICENTA TAMPO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	50,000	2,841	47,359	24	63,384	60	158,460	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
329	CREEK			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON			CREEK		6,800			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
330	96	PLS 273	NENA DUNA	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	60,000	18,834	41,166	76	1,431,384	90	1,695,060	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
331	98	PLS 273	VIRGINIA TAMPO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	60,000	9,579	50,421	76	728,004	90	862,110	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
332	ROAD			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON			ROAD		866			-		-	THIS IS A ROAD; HENCE, NO INDICATION OF VALUE IS GIVEN
333	70	PLS 273	RESTITUTO TAMPO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	60,000	8,277	51,723	76	629,052	90	744,930	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
334	CREEK			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON			CREEK		16,253			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
335	12			CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	50,043	86	49,957	76	6,536	90	7,740	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
336	10	CAD-899	EFREN S. MELENDEZ	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD	P-22867	AGRICULTURAL	49,999	9,829	40,170	76	747,004	90	884,610	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
337	9	CAD-899	ARSENIO ESTO	CAPITAN BAYONG	IMPASUG-ONG	BUKIDNON	DIRT ROAD		AGRICULTURAL	47,894	12,645	35,249	76	961,020	90	1,138,050	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
338	66	PLS 273	CIARBA	CAWYAYAN	IMPASUG-ONG	BUKIDNON	INTERIOR	AT-804	AGRICULTURAL	62,650	15,014	47,636	24	360,336	50	750,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
339	GAP			CAWYAYAN	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		36,991		24	887,784	50	1,849,550	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
340	620	CAD-899	NARCISO BAYAO	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	10,000	5,447	4,553	24	130,728	50	272,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
341	CREEK			IMPALUTAO	IMPASUG-ONG	BUKIDNON			CREEK		3,530			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
342	793			IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		877		24	21,048	50	43,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
343	792	CAD-899	EUGENE H. PULIDO	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	7,317	3,573	3,744	24	85,752	50	178,650	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
344	623			IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		81		24	1,944	50	4,050	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
345	624	CAD-899		IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR	P-20510	AGRICULTURAL	36,604	11,470	25,134	24	275,280	50	573,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
346	608	CAD-899	MARIANO MARANDING	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	19,736	4,267	15,469	24	102,408	50	213,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
347	CREEK			IMPALUTAO	IMPASUG-ONG	BUKIDNON			CREEK		4,062			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
348	605	CAD-899	CONCEPCION D. PAULINO M/TO MASAGULA M. PAULINO	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	5,625	2,478	3,347	24	59,472	50	123,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
349	769	CAD-899	MARIANO MARANDING	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	40,603	13,706	26,897	24	328,944	50	685,300	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
350	768	CAD-899		IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL	44,258	2,608	41,650	24	62,592	50	130,400	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
351	GAP			IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		21,413		24	513,912	50	1,070,650	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
352	771	CAD-899	NIDA E. ORIGINES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR	P-23000	AGRICULTURAL	3,542	291	3,251	24	6,984	50	14,550	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
353	4505	CAD-899	QUISUMBING UNITED AGR. REF. BENEFICIARIES ASSO.	IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR	AO-6548	AGRICULTURAL	208,636	38,578	170,058	24	925,872	50	1,928,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
354	GAP			IMPALUTAO	IMPASUG-ONG	BUKIDNON	INTERIOR		AGRICULTURAL		35,431		24	850,344	50	1,771,550	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
355	4521-B	PSD-10-041111 (AR)	TEODOCIO HOMDOS	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-28297	AGRICULTURAL	13,206							PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
356	4521-H	PSD-10-041111 (AR)	EDISON LINUMBAY	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-28300	AGRICULTURAL	14,351							
357	4521-M	PSD-10-041111 (AR)	BERNABE MANDA	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-28301	AGRICULTURAL	10,015							
358	4521-E	PSD-10-041111 (AR)	AGUSTIN E. CERALVO	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-28299	AGRICULTURAL	12,401							
359	4521-A	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	294							
360	4521-F	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	4,504							
361	4521-G	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	16,554							
362	4521-I	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	12,207							
363	4521-K	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	20,654							
364	4521-J	PSD-10-041111 (AR)	QUISUMBING UNITED AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	11,842							
										21,321	168,708		76	1,620,396	80	1,705,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
365	4521-C	PSD-10-041111 (AR)	AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	11,085							
366	4521-D	PSD-10-041111 (AR)	FELIX PABONITA	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AT-28298	AGRICULTURAL	28,090							
367	4521-L	PSD-10-041111 (AR)	AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	12,463							
368	4521-O	PSD-10-041111 (AR)	AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	7,332							
369	4521-N	PSD-10-041111 (AR)	AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	9,906							
370	4521-P	PSD-10-041111 (AR)	AGR. REFORM BENEFICIARIES	IMPALUTAO	IMPASUG-ONG	BUKIDNON	DIRT ROAD	AO-6552-PART	AGRICULTURAL	5,125							
371	CREEK			IMPALUTAO	IMPASUG-ONG	BUKIDNON			CREEK		3,266			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
372	1, BLK. 16		COMMONWEALTH OF THE PHILS.	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	SAYRE HIGHWAY	20729	AGRICULTURAL	4,247,549	31,545	4,216,004	193	6,088,185	600	18,927,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
373	ROAD			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			ROAD		4,586			-		-	THIS IS A ROAD; HENCE, NO INDICATION OF VALUE IS GIVEN
374	46, BLK. 5		JUANITO LESTON	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	SAYRE HIGHWAY		AGRICULTURAL	574,740	28,792	545,948	193	5,556,856	600	17,275,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		16,132		72	1,161,504	300	4,839,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	ROAD			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			ROAD		1,175			-		-	THIS IS A ROAD; HENCE, NO INDICATION OF VALUE IS GIVEN
	43	GSSM-10-0004	NERIO C. LIU M. TO GERALDINE P. LIU	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	133-2020002495	AGRICULTURAL	46,223	4,656	41,567	72	335,232	300	1,396,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		7,145		72	514,440	300	2,143,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		205		72	14,760	300	61,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		5,069		72	364,968	300	1,520,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	45-A	Psd-10-012573	GENITO JUMALON M. TO CLOTILDE BARROS	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-29908	AGRICULTURAL	19,917	2,043	17,874	63	128,709	90	183,870	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	45-B	Psd-10-012573	GENITO JUMALON M. TO CLOTILDE BARROS	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-29371	AGRICULTURAL	1,000	3,522	-2,522	63	221,886	90	316,980	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	45-C	Psd-10-012573	GENITO JUMALON M. TO CLOTILDE BARROS	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-32970	AGRICULTURAL	8,683	3,189	5,494	63	200,307	90	287,010	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			CREEK		8,588			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
	7-A	PLS-800	MARBELITO DESOYO M. TO AUREA MARTINEZ	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL	25,785	465	25,320	63	29,296	90	41,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	1, BLK. 4		LETECIA M. LEGASPI M. TO DIOSDADO P. LEGASPI	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-29545	AGRICULTURAL	32,240	10,798	21,442	63	680,274	90	971,820	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			CREEK		5,622			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN
	74	PLS-800 H-31253	CARLO MAGNO C. MAGHANOY ET AL	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-57940	AGRICULTURAL	202,572	20,737	181,835	72	1,493,064	300	6,221,100	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3772-B	Psd-10-032901	RUTCHIE V. PIQUE (WIDOW)	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	133-2018002343	AGRICULTURAL	11,083	2,455	8,628	72	176,760	300	736,500	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			CREEK		1,365			-		-	THIS IS A CREEK; HENCE, NO INDICATION OF VALUE IS GIVEN

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCTG LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
	25	PSU-145291	AMADO ZOSIMO R. MONTEMAYOR, JR. ET AL.	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-36879	AGRICULTURAL	51,549	7,350	44,199	72	529,200	300	2,205,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			CREEK		3,114			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	77	PLS-800	MECS	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL	141,442	17,952	123,490	72	1,292,544	300	5,385,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	ROAD			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			ROAD		1,052			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
	80	PLS-800	ADRIANO D. BAGICHAN M. TO VICENTA DAHONLAY	DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-31383	AGRICULTURAL	17,580	4,920	12,660	72	354,240	300	1,476,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			DALAWANGAN	CITY OF MALAYBALAY	BUKIDNON			CREEK		6,369			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	UNIDENTIFIED LOT			PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		4,165		63	262,395	90	374,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	85	PLS-800	GAMA FOODS CORP.	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	133-2015003898	AGRICULTURAL	150,734	5,306	145,428	63	334,278	90	477,540	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			PATPAT	CITY OF MALAYBALAY	BUKIDNON			CREEK		1,536			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	89	PLS-800	DALWAGAN DEV. CORP.	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL	40,000	11,830	28,170	63	745,290	90	1,064,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			PATPAT	CITY OF MALAYBALAY	BUKIDNON			CREEK		5,268			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	UNIDENTIFIED LOT			PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		3,565		63	224,595	90	320,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT	PLS-800	ERNESTO M. TABIOS	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	F.P. NO. 7355(X-4)993	AGRICULTURAL	13,725	784	12,941	63	49,392	90	70,560	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	139-L	PSD-10-066332	EMILIO MAXIMO R. GUERRERO ET AL.	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-128871	AGRICULTURAL	32,252	6,096	26,156	63	384,048	90	548,640	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			PATPAT	CITY OF MALAYBALAY	BUKIDNON			CREEK		6,554			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	140	PLS-800	MA. CRISTINE BASAN	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	133-2016001412	AGRICULTURAL	127,000	16,432	110,568	63	1,035,216	90	1,478,880	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	F-101312-3468 (LOT 41599)	CAD-864	HILLARY NICOLE M. BASAN	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-58963	AGRICULTURAL	21,462	5,128	16,334	63	323,064	90	461,520	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	CREEK			PATPAT	CITY OF MALAYBALAY	BUKIDNON			CREEK		3,253			-		-	THIS IS A CREEK, HENCE, NO INDICATION OF VALUE IS GIVEN
	1238-A	PSd-10-051919	DANILO C. RAMOS	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-106474	AGRICULTURAL	111,101	21,424	89,677	63	1,349,712	90	1,928,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	219-A	PSD-10-068648	IRISH CHARMIE G. RAMOS	PATPAT	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	133-2016000774	AGRICULTURAL	50,000	15,340	34,660	63	966,420	90	1,380,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	257	PLS-800	SUSAN G. ALBARACIN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-15038	AGRICULTURAL	139,757	27,991	111,766	63	1,763,433	70	1,959,370	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
			SUSAN G. ALBARACIN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL	101,546	23,416	78,130	63	1,475,208	70	1,639,120	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
			POLICARPIO L. GAROMOT	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		5,455		63	343,665	70	381,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	ROAD			KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON			ROAD		974			-		-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
	245-D	BSD-10-000331 (OLT)	FEDERICO F. PLASOS M. TO LINDA G. ESTAVILLA	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	ET-2183	AGRICULTURAL	31,409	1,024	30,385	63	64,512	70	71,680	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	245-C	BSD-10-000331 (OLT)	RONILO P. SEROJALES	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-68338	AGRICULTURAL	29,994	11,173	18,821	63	703,899	70	782,110	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
			EVELYN V. CONCON	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	PROVINCIAL ROAD	P-52577	AGRICULTURAL		10,583		80	846,640	400	4,233,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

RAP Preliminary Cost Estimates for Land

17 of 19

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
	UNIDENTIFIED LOT			KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	PROVINCIAL ROAD		AGRICULTURAL		4,677		80	374,160	400	1,870,800	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
		H-25792	DALWANGAN DEV. CORP.	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	PROVINCIAL ROAD	T-16115	AGRICULTURAL	103,908	13,370	90,538	80	1,069,600	400	5,348,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
			DEVELOPMENT BANK OF THE PHILS.	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		11,594		72	834,768	130	1,507,220	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3605-G	PSD-10-039144 (AR)	KISMERITO K. UTAO M. TO AMIE B. UTAO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	AT-27669	AGRICULTURAL	30,219	6,283	23,936	63	399,829	70	439,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		8,948		63	563,724	70	626,360	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	249	PLS-800	CORAZON R. VILLAROMAN ET AL	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	PROVINCIAL ROAD	AT-7781	AGRICULTURAL	220,346	18,778	201,568	80	1,502,240	400	7,511,200	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
		H-31265	MA. TRERESITA V. GARCIA ET AL	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	PROVINCIAL ROAD	AT-7464	AGRICULTURAL	163,651	25,244	138,407	80	2,019,520	400	10,097,600	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		12,955		63	816,166	70	906,850	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		28,770		63	1,812,510	70	2,013,900	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3626-C	CSD-10-017998-D	FEUZARDO MELTRELIZ M. LEONORA MELTRELIZ	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-73800	AGRICULTURAL	31,750	4,588	27,162	63	289,044	70	321,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	322-B	PSD-10-031493	CHAD LOUIE ROY H. GUZMAN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	T-126754	AGRICULTURAL	11,422	1,104	10,318	63	69,552	70	77,280	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3626-D	CSD-10-017998-D	JUDITH R. SINCERO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	AFFP NO. 101312-5110	AGRICULTURAL	31,751	10,210	21,541	63	643,230	70	714,700	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL		9,286		63	585,018	70	650,020	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
			PRESADIA B. BAT-AO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR		AGRICULTURAL	131,477	2,191	129,286	63	138,033	70	153,370	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3	H-213137	ERUNDA SALVO M. TO PABLO SALVO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-230	AGRICULTURAL	29,022	2,898	26,124	63	182,574	70	202,860	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3658-B	PSD-10-041461 (AR)	LEONIDA BRIZO M. TO EUTIQIO BRIZO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-31500	AGRICULTURAL	30,003	3,863	26,140	63	243,369	70	270,410	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	F	H-21217	LEONIDA BRIZO M. TO EUTIQIO BRIZO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-230	AGRICULTURAL	29,022	8,174	20,848	63	514,962	70	572,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	G	H-21217	JUDITH GALUPO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	INTERIOR	P-230	AGRICULTURAL	29,022	8,619	20,403	63	542,997	70	603,330	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
		H-213137	TEOTIMO BERAL M. TO PRISCILLA BERAL	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	P-230	AGRICULTURAL	29,021	6,466	22,555	72	465,552	130	840,580	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	ROAD			KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON			ROAD		1,199		-	-	-	-	THIS IS A ROAD, HENCE, NO INDICATION OF VALUE IS GIVEN
		H-313157	MELECIO BERAL M. TO ANGELA SARIO BERAL	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	P-230	AGRICULTURAL	7,770	378	7,392	72	27,216	130	49,140	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	345	PLS-800 H-203161	EDUARDO DE MONTENEGRO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-13662	AGRICULTURAL	224,358	19,733	204,625	72	1,420,776	130	2,565,290	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		28,266		72	2,035,152	130	3,674,580	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3568-E	PSD-10-041461 (AR)	ENRIQUE G. MARTINES M. TO LUCENA C. MARTINEZ	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	AT-20767	AGRICULTURAL	30,591	7,521	23,070	72	541,512	130	977,730	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Index No.	Lot Number	Survey Number	Owner/Claimant	Location			Road Frontage	Title No. (OCT/TCT/CTC/LOA)	Classification / Land Use	Land Area			Compensation				Remarks
				Barangay	City/Municipality	Province				Total Area (Sq.m.)	Affected Area (Sq.m.)	Remaining Area (Sq.m.)	Based on BIR Zonal Value Unit Land Value (Php/Sq.m.)	Amount (Php)	Based on Current Market Unit Land Value (Php/Sq.m.)	Amount (Php)	
	3568-D	PSD-10-041461 (AR)	GILBERT L. DAGUPLO	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	AT-20766	AGRICULTURAL	30,000	4,037	25,963	72	290,664	130	524,810	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3568-C	PSD-10-041461 (AR)	ROGER T. GAYON M. TO VERONICA T. GAYON	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	AT-20765	AGRICULTURAL	30,000	2,786	27,214	72	200,592	130	362,180	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3568-B-2	PSD-10-056860	ROBIN AYN T. VIDAL	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	133-2018000606	AGRICULTURAL	25,000	946	24,054	72	68,112	130	122,980	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		1,059		72	76,248	130	137,670	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	3568-A	PSD-10-041461 (AR)	MA. CELESTE C. UNABIA	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	AT-20763	AGRICULTURAL	30,000	3,107	26,893	72	223,704	130	403,910	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
				KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		8,303		72	597,816	130	1,079,390	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	40343	CAD 864	NASH SARLO SULOGAN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	133-2020003629	AGRICULTURAL	27,347	6,183	21,164	72	445,176	130	803,790	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	40344	CAD 864	CASIMER S. SULOGAN M. TO ROSELYN S. SULOGAN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-122832	AGRICULTURAL	27,347	5,195	22,152	72	374,040	130	675,350	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	40345	CAD 864 CSD-10-013437 (AR)	NORMA S. SULOGAN M. TO COSME SULOGAN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	AO-10570	AGRICULTURAL	27,348	6,055	21,293	72	435,960	130	787,160	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	40346	CAD 864	LYD S. SULOGAN	KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD	T-116595	AGRICULTURAL	27,347	6,168	21,179	72	444,096	130	801,840	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	UNIDENTIFIED LOT			KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		100		72	7,200	130	13,000	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
	GAP			KALASUNGAY	CITY OF MALAYBALAY	BUKIDNON	DIRT ROAD		AGRICULTURAL		39,685		72	2,857,320	130	5,159,050	PARTLY AFFECTED WITH NO SEVERANCE DAMAGE TO THE REMAINDER OF THE PROPERTY
													TOTAL -	388,759,850		847,966,900	

PREPARED BY:

ENGR. NORVIENDO S. RAMOS, JR., I.P.A
Independent Property Appraiser
Licensed Real Estate Appraiser - REA No. 0000735

Appendix 2c – Pricing of Land Based on Tax Declaration

Due to the unavailability of a complete Tax Declaration, the survey team engaged the services of an Independent Property Appraiser (IPA) to prepare the valuation report for the land.

Appendix 2d – Recent Prices of Comparable Properties in the Area

(extracted from the IPA Valuation Report)

Land Value

For purposes of comparison, the following market data may be considered sufficient to provide a reasonable indication of value.

A. Listings

1. Currently, a property having an area of *1,497,512 square meters*, more or less, located *along the National Highway, within Barangay Casinglot, Tagoloan, Misamis Oriental* is offered for sale by the *Pinnacle Real Estate Consulting Service, Inc.* at an asking price of **Php2,538 per square meter**.
2. Currently, a property having an area of *23,900 square meters*, more or less, located *along the road, within Barangay Poblacion, Tagoloan, Misamis Oriental* is offered for sale by *Realtor Mitch* at an asking price of **Php5,000 per square meter**.
3. Currently, a property having an area of *19,631 square meters*, more or less, located *along the Barangay Road, within Tagoloan, Misamis Oriental* is offered for sale through the internet at *dotproperty.com.ph* at an asking price of **Php2,800 per square meter**.
4. Currently, a property having an area of *3,000 square meters*, more or less, located *along the Barangay Road, within Barangay Santa Cruz, Tagoloan, Misamis Oriental* is offered for sale through the internet at *dotproperty.com.ph* at an asking price of **Php2,500 per square meter**.
5. Currently, a property having an area of *365 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Ms. Vanessa Bado Dalde* at an asking price of **Php5,175 per square meter**.
6. Currently, a property having an area of *18,067 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Wilfredo Hero* at an asking price of **Php3,500 per square meter**.
7. Currently, a property having an area of *750 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Jhungen Salvo* at an asking price of **Php3,333 per square meter**.
8. Currently, a property having an area of *600 square meters*, more or less, located *along the road, within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Ms. Vanessa Bado Dalde* at an asking price of **Php2,167 per square meter**.
9. Currently, a property having an area of *4,546 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php1,100 per square meter**.
10. Currently, a property having an area of *75,000 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Paul Monsanto* at an asking price of **Php800 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

11. Currently, a property having an area of *19,076 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php800 per square meter**.
12. Currently, a property having an area of *11,662 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php800 per square meter**.
13. Currently, a property having an area of *500 square meters*, more or less, located *within Barangay Dansolihon, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Alexis Daaca* at an asking price of **Php700 per square meter**.
14. Currently, a property having an area of *13,388 square meters*, more or less, located *along the Barangay Road, within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Mark Mary* at an asking price of **Php1,500 per square meter**.
15. Currently, a property having an area of *885 square meters*, more or less, located *along the Barangay Road, within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Vanessa Baldo Dalde* at an asking price of **Php1,017 per square meter**.
16. Currently, a property having an area of *7,001 square meters*, more or less, located *within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Edgar Tan* at an asking price of **Php857 per square meter**.
17. Currently, a property having an area of *100 square meters*, more or less, located *within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Alvin Asesor* at an asking price of **Php1,300 per square meter**.
18. Currently, a property having an area of *85,000 square meters*, more or less, located *along the road, within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Michael Stephen Lobido* at an asking price of **Php1,118 per square meter**.
19. Currently, a property having an area of *45,000 square meters*, more or less, located *along the road, within Barangay Lunocan, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php240 per square meter**.
20. Currently, a property having an area of *136,813 square meters*, more or less, located *along the road, within Barangay San Miguel, Manolo Fortich, Bukidnon* is offered for sale by through the internet at *dotproperty.com.ph* at an asking price of **Php400 per square meter**.
21. Currently, a property having an area of *55,000 square meters*, more or less, located *within Barangay San Miguel, Manolo Fortich, Bukidnon* is offered for sale by through the *Cagayan de Oro Real Estate* at an asking price of **Php350 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

22. Currently, a property having an area of *164,664 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Vicente Pestano Jr.* at an asking price of **Php1,500 per square meter**.
23. Currently, a property having an area of *65,865 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php1,500 per square meter**.
24. Currently, a property having an area of *32,933 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Vanessa Baldo Dalde* at an asking price of **Php1,488 per square meter**.
25. Currently, a property having an area of *42,932 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Josephine Joy Oco* at an asking price of **Php233 per square meter**.
26. Currently, a property having an area of *3,100 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Alvin Asesor* at an asking price of **Php1,600 per square meter**.
27. Currently, a property having an area of *28,000 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Karen Melgo* at an asking price of **Php428 per square meter**.
28. Currently, a property having an area of *67,000 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale through the internet at an asking price of **Php130 per square meter**.
29. Currently, a property having an area of *10,000 square meters*, more or less, located *within Barangay Sankan, Manolo Fortich, Bukidnon* is offered for sale through the internet at an asking price of **Php120 per square meter**.
30. Currently, a property having an area of *95,000 square meters*, more or less, located *within Barangay Ticala, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Janeth Viernes* at an asking price of **Php100 per square meter**.
31. Currently, a property having an area of *47,111 square meters*, more or less, located *within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by the *Sean Kirsten Realty* at an asking price of **Php500 per square meter**.
32. Currently, a property having an area of *5,315 square meters*, more or less, located *within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php440 per square meter**.
33. Currently, a property having an area of *35,213 square meters*, more or less, located *along the road, within Barangay Santo Niño, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Ernesto Gogo* at an asking price of **Php350 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


34. Currently, a property having an area of *20,000 square meters*, more or less, located *along the road, within Barangay Santo Niño, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Joseph Garbo* at an asking price of **Php350 per square meter**.
35. Currently, a property having an area of *700,000 square meters*, more or less, located *within Sitio Minlaras, Barangay Dalirig, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php40 per square meter**.
36. Currently, a property having an area of *51,642 square meters*, more or less, located *within Sitio Minlaras, Barangay Dalirig, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php50 per square meter**.
37. Currently, a property having an area of *56,000 square meters*, more or less, located *within Barangay Lingion, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Karen Mae Galario* at an asking price of **Php250 per square meter**.
38. Currently, a property having an area of *60,503 square meters*, more or less, located *within Sumilao, Bukidnon* is offered for sale through the internet at *www.homes.waa2.ph* at an asking price of **Php269 per square meter**.
39. Currently, a property having an area of *190,000 square meters*, more or less, located *within Barangay San Vicente, Sumilao, Bukidnon* is offered for sale by *Ms. Ellen Baluran* at an asking price of **Php200 per square meter**.
40. Currently, a property having an area of *19,646 square meters*, more or less, located *3kilometers from the highway, within Sumilao, Bukidnon* is offered for sale by *Ms. Ellen Baluran* at an asking price of **Php200 per square meter**.
41. Currently, a property having an area of *19,000 square meters*, more or less, located *within Sumilao, Bukidnon* is offered for sale through the internet at *www.homes.waa2.ph* at an asking price of **Php200 per square meter**.
42. Currently, a property having an area of *30,785 square meters*, more or less, located *within Barangay Pontian, Sumilao, Bukidnon* is offered for sale by *Mr. Jun Aragon* at an asking price of **Php35 per square meter**.
43. Currently, a property having an area of *59,606 square meters*, more or less, located *along Sayre Highway, within Barangay Poblacion, Impasug-ong, Bukidnon* is offered for sale by *Mr. Daniel Cabaña* at an asking price of **Php1,594 per square meter**.
44. Currently, a property having an area of *62,182 square meters*, more or less, located *along the road, within Impasug-ong, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php354 per square meter**.
45. Currently, a property having an area of *13,200 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale through the internet at an asking price of **Php300 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


46. Currently, a property having an area of *205,044 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale by *Ms. Shirley Chio* at an asking price of **Php122 per square meter**.
47. Currently, a property having an area of *40,000 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale by *Mr. Junelitho Daing* at an asking price of **Php250 per square meter**.
48. Currently, a property having an area of *50,097 square meters*, more or less, located *within Barangay Kibenton, Impasug-ong, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php8 per square meter**.
49. Currently, a property having an area of *1,380,000 square meters*, more or less, located *along the National Road, within Malaybalay City, Bukidnon* is offered for sale by *Mr. Renren Gabas* at an asking price of **Php700 per square meter**.
50. Currently, a property having an area of *30,001 square meters*, more or less, located *along the road, within Barangay Casisang, Malaybalay City, Bukidnon* is offered for sale by *Ms. Janice Mae Momo* at an asking price of **Php150 per square meter**.
51. Currently, a property having an area of *35,000 square meters*, more or less, located *within Barangay Imbayao, Malaybalay City, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php71.43 per square meter**.
52. Currently, a property having an area of *51,642 square meters*, more or less, located *within Malaybalay City, Bukidnon* is offered for sale by *My Saving Grace Realty and Development Corporation* at an asking price of **Php50 per square meter**.
53. Currently, a property having an area of *14,235 square meters*, more or less, located *within Barangay Silae, Malaybalay City, Bukidnon* is offered for sale by *My Saving Grace Realty and Development Corporation* at an asking price of **Php50 per square meter**.
54. Currently, a property having an area of *300,000 square meters*, more or less, located *within Barangay Managok, Malaybalay City, Bukidnon* is offered for sale by the *Development Bank of the Philippines* at an asking price of **Php27.50 per square meter**.
55. Currently, a property having an area of *28,000 square meters*, more or less, located *near the highway, within Barangay Canayan, Malaybalay City, Bukidnon* is offered for sale by the *Bukidnon DCP Real Estate* at an asking price of **Php20 per square meter**.
56. Currently, a property having an area of *36,600 square meters*, more or less, located *within Barangay Capt. Angel, Malaybalay City, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php19.13 per square meter**.
57. Currently, a property having an area of *36,648 square meters*, more or less, located *within Barangay Maligaya, Malaybalay City, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php13.64 per square meter**.

Appendix 2e – OCTs/TCTs and tax Declaration with Lot Descriptions

(Available data provided by the affected LGUs)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0003-10302** Property Identification No. : **052-14-0003-017-18**

Owner: **ELAZEGUI, NATASHA E.** TIN: _____
 Address: **POBLACION, TAGOLOAN, MISAMIS ORIENTAL** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ referred to **MEMO: STA. ANA TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ Survey No. : **GSS-10-000204**
 OCT : _____ Lot No. : **3**
 Date : _____ Blk. No. : _____

Boundaries: North: **LOT NO. 17**
 East: **LOT NO. 09**
 South: **LOT NO. 20, 21**
 West: **LOT NO. 17, 19**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.5142	ha	358,870.00	AGRICULTURAL	15%	53,830.00
Subtotal	4.5142	ha	358,870.00			53,830.00

Total Market Value : **P 358,870.00** Total Assessed Value : **P 53,830.00**

Total Assessed **FIFTY THREE THOUSAND EIGHT HUNDRED THIRTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2016**

Recommended By: _____

Approved By: **(SGD.) EMEE GRACE C. MABELIN,**
(ADO)

(SGD.) MATTHEW M. VALLESER **10-21-2015**
PROVINCIAL ASSESSOR (CIC) Date


This declaration cancels TD No. : **08-14-0003-09820**
 Previous PIN : **052-14-0003-017-18**
 Previous Owner : **ELAZEGUI, NATASHA E.**
 Previous M.V. Ptp : **P 358,870.00** Previous A.V. Ptp : **P 53,830.00**

MEMORANDA: LOCATION OF PROPERTY IS CONFORMED FROM THE "STA. ANA GROUP SETTLEMENT SURVEY" GSS-10-000204. MUNICIPALITY OF TAGOLOAN APPROVED BY PAQUITO D. MELICOR ON NOVEMBER 21, 2006. GSS IS ATTACHED ON FILE; CONFIRMATION BY ALDRICH S. RESMA OIC, CENRO OFFICER, ATTACHED ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALANWAGAN under Ordinance No. 147-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 03:10:41

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0003-10303** Property Identification No. : **052-14-0003-017-20**

Owner: **EMANO, VICENTE Y.** TIN: _____
 Address: **POBLACION, TAGOLOAN, MISAMIS ORIENTAL** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ referred to MEMO: **STA. ANA TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CDA No. : _____ Survey No. : **GSS-10-000204**
 OCT : _____ Lot No. : **1**
 Date : _____ Blk. No. : _____

Boundaries: North: **LOT NO. 18**
 East: **LOT NO. 21**
 South: **LOT NO. 08**
 West: **LOT NO. 19**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	3.1956	ha	254,040.00	AGRICULTURAL	15%	38,110.00
Subtotal :	3.1956	ha	254,040.00			38,110.00

Total Market Value : **P 254,040.00** Total Assessed Value : **P 38,110.00**

Total Assessed **THIRTY EIGHT THOUSAND ONE HUNDRED TEN PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2016**

Recommended By: _____

Approved By: _____
 (SGD.) **EMEE GRACE C. MABELIN,**
LACO I

(SGD.) **MATTHEW M. VALLESER** **10-21-2015**
PROVINCIAL ASSESSOR (OIC) Date


This declaration cancels TD No. : **08-14-0003-09822**
 Previous PIN : **052-14-0003-017-20**
 Previous Owner : **EMANO, VICENTE Y.**
 Previous M.V. Php : **P 254,040.00** Previous A.V. Php : **P 38,110.00**

MEMORANDA: LOCATION OF PROPERTY IS CONFORMED FROM THE "STA. ANA GROUP SETTLEMENT SURVEY" GSS-10-000204. MUNICIPALITY OF TAGOLOAN APPROVED BY PAQUITO D. MELICOR ON NOVEMBER 21, 2006. GSS IS ATTACHED ON FILE. CONFIRMATION BY ALDRICH S. RESMA OIC, CENRD OFFICER, ATTACHED ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAN/IGAN under Ordinance No. 347-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRYANT R. PRINT DATE : 2021-04-16 09:17:10

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-10301 **Property Identification No. :** 052-14-0003-017-17

Owner: ELAZEGUI, VLADEMIR **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **referred to MEMO: STA. ANA TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** GSS-10-000204

CCT : _____ **Lot No. :** 4

Date : _____ **Bk. No. :** _____

Boundaries: North: LOT NO. 15
 East: LOT NO. 09
 South: LOT NO. 18
 West: LOT NO. 16

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.5939	ha	365,200.00	AGRICULTURAL	15%	54,780.00
Subtotal :	4.5939	ha	365,200.00			54,780.00

Total Market Value : P 365,200.00 **Total Assessed Value :** P 54,780.00

Total Assessed **FIFTY FOUR THOUSAND SEVEN HUNDRED EIGHTY PESOS**

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2016

Recommended By: _____

Approved By: _____ **(SGD.) EMEE GRACE C. MABELIN,**
LADO

(SGD.) MATTHEW M. VALLESER **10-21-2015**
PROVINCIAL ASSESSOR (CIC) Date


This declaration cancels TD No. : 08-14-0003-09819
 Previous PIN : 052-14-0003-017-17
 Previous Owner : ELAZEGUI, VLADEMIR
 Previous M.V. Php : P 365,200.00 Previous A.V. Php : P 54,780.00

MEMORANDA: LOCATION OF PROPERTY IS CONFORMED FROM THE "STA. ANA GROUP SETTLEMENT SURVEY" GSS-10-000204, MUNICIPALITY OF TAGOLOAN APPROVED BY PAQUITTO D. MELICOR ON NOVEMBER 21, 2006. GSS IS ATTACHED ON FILE; CONFIRMATION BY ALDRICH S. RESMA OIC, CENRO OFFICER, ATTACHED ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANKALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETACS v2.0 PRINTED BY : NIELGA FREELAND BRENT R. PRINT DATE : 2021-04-15 03:00:01

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-11718 **Property Identification No. :** 052-14-0006-017-04

Owner: ACHAS, NICOMEDES Q. **TIN:** _____

Address: STA. ANA, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **conform from KOT STA. ANA TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLCA No. : KOT BLG, P-37760 **Survey No. :** GSS-10-000204

CCT : _____ **Lot No. :** 32

Date : 2006-12-14 **Blk. No.** _____

Boundaries: North: LOT NO. 01, 19, 20 OF SECTION 018

East: LOT NO. 03

South: LOT NO. 05, 06, 07

West: LOT NO. 19, 20, OF SECTION 018

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	2.5247	ha	143,910.00	AGRICULTURAL	15%	21,590.00
Subtotal	2.5247	ha	143,910.00			21,590.00

Total Market Value : P 143,910.00 Total Assessed Value : P 21,590.00

Total Assessed TWENTY ONE THOUSAND FIVE HUNDRED NINETY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2018

Recommended By: _____

Approved By: _____ **(SGD.) ZENaida V. BULLECER, REA**
MUNICIPAL ASSESSOR

(SGD.) EMEE GRACE C. MABELIN, 03-27-2017
ACTING PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 08-14-0006-04560

Previous PIN : 052-14-0006-017-04

Previous Owner : ACHAS, NICOMEDES Q.


Previous M.V. Php : P 143,910.00 Previous A.V. Php : P 21,590.00

MEMORANDA: CONFORMED THE LOCATION OF THE PROPERTY BASE ON THE TITLE SUBMITTED. TITLE NO. KOT BLG, P-37760.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAYAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 09:20:13

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-10549 **Property Identification No. :** 052-14-0006-018-21

Owner: NANAY, IGNACIA **TIN:** _____
Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrative/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799
CCT : _____ **Lot No. :** 2318
Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 13, 16, 17
East: LOT NO. 20, 22
South: LOT NO. 22, 24, 25
West: LOT NO. 11, 12, 13, 16

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	1.2644	ha	98,310.00	AGRICULTURAL	15%	14,750.00
Subtotal :	1.2644	ha	98,310.00			14,750.00

Total Market Value : P 98,310.00 Total Assessed Value : P 14,750.00

Total Assessed FOURTEEN THOUSAND SEVEN HUNDRED FIFTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2014

Recommended By: _____

Approved By: _____ **(SGD.) ZENaida V. BULLECEr**
MUNICIPAL ASSESSOR

(SGD.) CLAUDETA P. BALITON **06-26-2013**
ACTING PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0006-08107
Previous PSN : 052-14-0006-018-21
Previous Owner : NANAY, IGNACIA VS. NERI, ESTER C.
Previous M.V. Php : P 98,310.00 Previous A.V. Php : P 14,750.00

MEMORANDA: TO CORRECT THE TRUE OWNERSHIP PER DOCUMENTS SUBMITTED ON FILE; 1.) CERTIFICATE OF FINALITY FROM REGIONAL TRIAL COURT OF MISAMIS ORIENTAL WITH JUDICIAL REGIONAL BRANCH 25, CAGAYAN DE ORO CITY, SIGNED BY ATTY. SORA DEREKA T. ORCULLO-ALINAS, BRANCH CLERK OF COURT; 2.) ENTRY OF JUDGMENT FROM SUPREME COURT-MANILA SIGNED BY MA. LOURDES C. PERFECTO-DEPUTY CLERK OF COURT AND CHIEF, JUDICIAL RECORDS OFFICE; 3.) DECISION FROM COURT OF APPEALS, CAGAYAN DE ORO CITY SIGNED BY ATTY. EDGARDO T. LLOREN; EDGARDO A. CAMELLO & JANE AURORA C. LANTON-ASSOCIATE JUSTICES; 4.) TAX CLEARANCE 2013 ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PAMALAWIGAN under Ordinance No. 547-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : MAELGA FREELAND BREA R. PRINT DATE : 2021-04-15 02:48:45

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-09138 **Property Identification No. :** 052-14-0006-018-15

Owner: NANAY, EUGENIO **TIN:** _____
Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799
CCT : _____ **Lot No. :** 2317
Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 36 OF SECTION 014
 East: LOT NO. 17, 16, 14
 South: LOT NO. 14, 16
 West: LOT NO. 12 & 14

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	8.8421	ha	687,480.00	AGRICULTURAL	15%	103,120.00
Subtotal :	8.8421	ha	687,480.00			103,120.00

Total Market Value : P 687,480.00 Total Assessed Value : P 103,120.00

Total Assessed ONE HUNDRED THREE THOUSAND ONE HUNDRED TWENTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2012

Recommended By: _____

Approved By: _____ **(SGD.) LETECIA L. JAQUILMAC**
 _____ **LADO IV**

(SGD.) CLAUDITA P. BALITON **08-02-2011**
 ACTING PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0006-04597
 Previous PIN : 052-14-0006-018-15
 Previous Owner : NERI, ESTER VS. NANAY, EUGENIO
 Previous M.V. Php : P 687,480.00 Previous A.V. Php : P 103,120.00

MEMORANDA: TO CORRECT OWNER'S NAME FROM NERI, ESTER VS. NANAY EUGENIO TO NANAY, EUGENIO PER LETTER REQUEST OF RODERICO C. VILLAROSA-COUNSEL FOR THE HEIRS OF NANAYS; ATTACH ENTRY OF JUDGMENT FROM THE SUPREME COURT; MANILA; THIRD DIVISION DATED APRIL 20, 2000 BY MA. LOURDES C. PERFECTO-CLERK OF COURT; NOTICE OF RESOLUTION FROM COURT OF APPEALS, CAGAYAN DE ORO CITY BY MA. THERESA ABAN-CAHANNONG-DIVISION CLERK OF COURT;; JUDGMENT FROM BRANCH 25, CAGAYAN DE ORO CITY DATED FEBRUARY 23, 2000 BY NOLI T. CATLI-JUDGE; SECOND AMENDED COMPLAINT BRANCH VIII; DOC. NO. 2; PAGE NO. 2; BOOK NO. XXI; SERIES OF 1975; NOTARIZED BY CONSTANTINO G. JARAULA; ATTACH 2011 TAX CLEARANCE. NOTE: LOT 2317 ALSO DECLARED IN THE NAME OF NELDMIDA, VICENTE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the BANGGUNIANG PANKALAWIGAN under Ordinance No. 947-2006 dated 2006-11-08. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v3.0 PRINTED BY : NAELOA, FREELAND GRENIT R. PRINT DATE : 2021-04-15 02:45:47

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-10210 **Property Identification No. :** 052-14-0006-018-12

Owner: NANAY, EUGENIO **TIN:** _____

Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799

OCT : _____ **Lot No. :** 2275

Date : _____ **Rik. No.** _____

Boundaries: North: LOT NO. 37 OF SECTION 014
 East: LOT NO. 13, 14, 15
 South: LOT NO. 11
 West: LOT NO. 04, 08

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	8.3421	ha	497,380.00	AGRICULTURAL	15%	74,610.00
Subtotal :		8.3421 ha	497,380.00			74,610.00

Total Market Value : P 497,380.00 **Total Assessed Value :** P 74,610.00

Total Assessed SEVENTY FOUR THOUSAND SIX HUNDRED TEN PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2013

Recommended By: _____

Approved By: _____ **(SGD.) ANESIA R. COLANSE**
LADO II

(SGD.) CLAUDITA P. BALITON **10-10-2012**
ACTING PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0006-04594
 Previous PIN : 052-14-0006-018-12
 Previous Owner : NANAY, EUGENIO VS. NERI, JAIME
 Previous M.V. Php : P 497,380.00 Previous A.V. Php : P 74,610.00

MEMORANDA: TO CORRECT THE TRUE OWNERSHIP PER DOCUMENTS SUBMITTED ON FILE (3 PARCELS) 1. CERTIFICATE OF FINALITY FROM REGIONAL TRIAL COURT OF MISAMIS ORIENTAL WITH JUDICIAL REGIONAL BRANCH 25, CAGAYAN DE ORO CITY, SIGNED BY ATTY. SORA DEREKA T. ORCULLO-ALINAS, BRANCH CLERK OF COURT; 2. ENTRY OF JUDGMENT FROM SUPREME COURT-MANILA SIGNED BY MA. LOURDES C. PERFECTO-DEPUTY CLERK OF COURT AND CHIEF, JUDICIAL RECORDS OFFICE; 3. LETTER REQUEST FROM ATTY. RODERICO C. VILLARDOYA-COUNSEL OF THE HEIRS OF NANAY; 4. JUDGMENT; 5. SECOND AMENDED COMPLAINT.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANKALAWIGAN under Ordinance No. 047-2006 dated 2006-11-05. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY: ETRACS v2.0 PRINTED BY: NADGA, FREELAND GRENTR. PRINT DATE: 2021-04-15 02:44:58

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-10209 **Property Identification No. :** 052-14-0006-018-04

Owner: NANAY, EUGENIO **TIN:** _____

Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLDA No. : _____ **Survey No. :** PLS 799

CCT : _____ **Lot No. :** 2274

Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 38 OF SECTION 014

East: LOT NO. 12

South: LOT NO. 05, 07, 08

West: LOT NO. 02

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.7330	ha	376,260.00	AGRICULTURAL	15%	56,440.00
Subtotal :	4.7330	ha	376,260.00			56,440.00

Total Market Value : P 376,260.00 Total Assessed Value : P 56,440.00

Total Assessed FIFTY SIX THOUSAND FOUR HUNDRED FORTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2013

Recommended By: _____

Approved By: _____

(SGD.) ANESIA R. COLANSE
LAO II

(SGD.) CLAUDITA P. BALITON 10-10-2012
ACTING PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 08-14-0006-04585

Previous PSN : 052-14-0006-018-04

Previous Owner : NANAY, EUGENIO VS. NERI, JESUS


Previous M.V. Php : P 376,260.00 Previous A.V. Php : P 56,440.00

MEMORANDA: TO CORRECT THE TRUE OWNERSHIP PER DOCUMENTS SUBMITTED ON FILE (3 PARCELS) 1. CERTIFICATE OF FINALITY FROM REGIONAL TRIAL COURT OF MISAMIS ORIENTAL WITH JUDICIAL REGIONAL BRANCH 25, CAGAYAN DE ORO CITY, SIGNED BY ATTY. SORA DEREKA T. CIRULLO-ALINAS, BRANCH CLERK OF COURT; 2. ENTRY OF JUDGMENT FROM SUPREME COURT-MANILA SIGNED BY MA. LOURDES C. PERFECTO-DEPUTY CLERK OF COURT AND CHIEF; JUDICIAL RECORDS OFFICE; 3. LETTER REQUEST FROM ATTY. RODRIGO C. VILLARDOYA-COUNSEL OF THE HEIRS OF NANAY; 4. JUDGMENT; 5. SECOND AMENDED COMPLAINT.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2005 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 02:43:30

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-04562 **Property Identification No. :** 052-14-0006-017-06

Owner: ESTRADA, DANILO C. **TIN:** _____
Address: EL SALVADOR, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : KOT BLG. P-38048 **Survey No. :** GSS-10-000204, PLS 799
OCT : _____ **Lot No. :** 28
Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 04
 East: LOT NO. 07
 South: LOT NO. 15
 West: LOT NO. 05

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	0.9412	ha	\$3,650.00	AGRICULTURAL	15%	8,050.00
Subtotal :	0.9412	ha	\$3,650.00			8,050.00

Total Market Value : P 33,650.00 **Total Assessed Value :** P 8,050.00

Total Assessed _____ **EIGHT THOUSAND FIFTY PESOS**

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2008

Recommended By: _____
Approved By: _____ **(SGD.) ZENAIDA V. BULLECEER**
 _____ **MUNICIPAL ASSESSOR**

(SGD.) CLAUDITA P. BALITON **12-18-2007**
 _____ **ACTING PROVINCIAL ASSESSOR** **Date**


This declaration cancels TD No. : 14-0006-01643
 Previous PIN : 052-14-0006-017-06
 Previous Owner : ESTRADA, DANILO C.
 Previous M.V. Php : P 41,210.00 Previous A.V. Php : P 6,190.00

MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 03:25:41

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-04563 **Property Identification No. :** 052-14-0006-017-07

Owner: ACHAS, NICOMEDES Q. **TIN:** _____
Address: STA. ANA, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : KOT BLG. P-37763 **Survey No. :** GSS-10-000204, PLS 799
CCT : _____ **Lot No. :** 27
Date : _____ **Blk. No.** _____

Boundaries: North: LOT NO. 04
 East: LOT NO. 08
 South: LOT NO. 14
 West: LOT NO. 06

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	1.0415	ha	59,370.00	AGRICULTURAL	15%	8,910.00
Subtotal :	1.0415	ha	59,370.00			8,910.00

Total Market Value : P 59,370.00 Total Assessed Value : P 8,910.00

Total Assessed EIGHT THOUSAND NINE HUNDRED TEN PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2008

Recommended By: _____

Approved By: _____ **(SGD.) ZENaida V. BULLECEr**

 _____ **MUNICIPAL ASSESSOR**

(SGD.) CLAUDITA P. BALITON **12-18-2007**

 _____ **ACTING PROVINCIAL ASSESSOR** **Date**


This declaration cancels TD No. : 14-0006-01644
 Previous PIN : 052-14-0006-017-07
 Previous Owner : ACHAS, NICOMEDES Q.
 Previous M.V. Php : P 45,670.00 Previous A.V. Php : P 6,850.00

MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : ANELGA, FRESLAND BRENT R. PRINT DATE : 2021-04-15 03:24:43

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-04565 **Property Identification No. : 052-14-0006-017-09**

Owner: BETONIO, PENCHIE MAE A. **TIN: _____**
Address: BONTONG, STA. ANA, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. : _____**
Administrator/Beneficial User: _____ **TIN: _____**
Address: _____ **Telephone No. : _____**

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. : GSS-10-000204, PLS 799**
CCT : _____ **Lot No. : 22**
Date : _____ **Bk. No. : _____**

Boundaries: North: **LOT NO. 02, 03, 10**
East: **LOT NO. 10**
South: **LOT NO. 12**
West: **LOT NO. 08**

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.3181	ha	246,140.00	AGRICULTURAL	15%	36,920.00
Subtotal :		4.3181 ha	246,140.00	36,920.00		

Total Market Value : **P 246,140.00** Total Assessed Value : **P 36,920.00**

Total Assessed **THIRTY SIX THOUSAND NINE HUNDRED TWENTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2008**

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
MUNICIPAL ASSESSOR

(SGD.) CLAUDITA P. BALITON **12-18-2007**
ACTING PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : **14-0006-01646**
Previous PSN : **052-14-0006-017-09**
Previous Owner : **BETONIO, PENCHIE MAE A.**
Previous M.V. Php : **P 189,340.00** Previous A.V. Php : **P 28,400.00**

MEMORANDA: REVISED PURSUANT TO SECTION 210, REPUBLIC ACT 7160.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALANGGAW under Ordinance No. 947-2006 dated 2006-11-08. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-15 09:29:04

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0006-04568** Property Identification No. : **052-14-0006-017-12**

Owner: **ACHAS, RICHARD K.** TIN: _____
 Address: **STA. ANA, TAGOLOAN, MISAMIS ORIENTAL** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **KOT BLG. P-37772** Survey No. : **GSS-10-000204, PLS 799**
 CCT : _____ Lot No. : **19**
 Date : _____ Blk. No. : _____

Boundaries: North: **LOT NO. 09**
 East: **LOT NO. 11**
 South: **LOT NO. 21**
 West: **LOT NO. 13**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.4672	ha	254,640.00	AGRICULTURAL	15%	38,200.00
Subtotal :	4.4672	ha	254,640.00			38,200.00

Total Market Value : **P 254,640.00** Total Assessed Value : **P 38,200.00**

Total Assessed **THIRTY EIGHT THOUSAND TWO HUNDRED PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2008**

Recommended By: _____

Approved By: _____ **(SGD.) ZENaida V. BULLECER**
 MUNICIPAL ASSESSOR

(SGD.) CLAUDITA P. BALITON **12-18-2007**
 ACTING PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : **14-0006-01649**
 Previous PIN : **052-14-0006-017-12**
 Previous Owner : **ACHAS, RICHARD K.**
 Previous M.V. Php : **P 195,880.00** Previous A.V. Php : **P 29,380.00**

MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the BANGOLINEANG PANLALAWISAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v3.0 PRINTED BY : HAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-15 03:22:38



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0006-04578	Property Identification No. :	052-14-0006-017-22
Owner:	ACHAS, LEONIDES Q.	TIN:	
Address:	STA. ANA, TAGOLOAN, MISAMIS ORIENTAL	Telephone No. :	
Administrator/Beneficial User:		TIN:	
Address:		Telephone No. :	
Location of Property:		NATUMOLAN	TAGOLOAN, MISAMIS ORIENTAL
	(Number and Street)	(Barangay/District)	(Municipality & Province/City)
OCT/TCT/CLOA No. :	KOT BLG. P-37776	Survey No. :	GSS-10-000204, PLS 799
CCT :		Lot No. :	13
Date :		Blk. No.	
Boundaries:	North: LOT NO. 11, 19		
	East: LOT NO. 24, FOREST ZONE		
	South: LOT NO. 23		
	West: LOT NO. 21, 19, 23		

KIND OF PROPERTY ASSESSED :

☒ LAND

☐ BUILDING

No. of Storeys :

Brief Description :

☐

MACHINERY Brief Description :

☐ OTHERS

Brief Description :

1000-0000/01/0000-0000\$10.00/0

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	4.6920	ha	267,460.00	AGRICULTURAL	15%	40,120.00
Subtotal :	4.6920	ha	267,460.00			40,120.00

Total Market Value : P 267,460.00 Total Assessed Value : P 40,120.00

Total Assessed _____ FORTY THOUSAND ONE HUNDRED TWENTY PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment : 1Q, 2008

Recommended By:

Approved By:

(SGD.) ZENAIDA V. BULLECEER
MUNICIPAL ASSESSOR

(SGD.) CLAUDITA P. BALITON

12-18-2007

ACTING PROVINCIAL ASSESSOR

Eighteen

This declaration cancels TD No. : **14-0006-01659**

Previous PIN : 052-14-0006-017-22

Previous Owner : **ACHAS, LEONIDES Q.**

Previous M.V. Php :	P 205,740.00
---------------------	--------------

Previous A.V. Php 1	P 30.860.00
---------------------	-------------


MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PAYSALAWIGAN under Ordinance No. 847-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.


GENERATED BY ETRACS v2.0

PRINTED BY: NACLGA, FREELAND BRENT R. PRINT DATE: 2021-04-15 09:26:26

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-10685 **Property Identification No. :** 052-14-0006-018-07

Owner: NAGANGA, ANGELO **TIN:** _____
Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLDA No. : _____ **Survey No. :** PLS 799
CCT : _____ **Lot No. :** 1698
Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 04
East: LOT NO. 08, 09
South: LOT NO. 10
West: LOT NO. 05, 06

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	1.6513	ha	128,390.00	AGRICULTURAL	15%	19,260.00
Subtotal :	1.6513	ha	128,390.00			19,260.00

Total Market Value : P 128,390.00 Total Assessed Value : P 19,260.00

Total Assessed NINETEEN THOUSAND TWO HUNDRED SIXTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2015

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECEER**
MUNICIPAL ASSESSOR

(SGD.) ENGR. MARILYN P. LEGASPI **06-09-2014**
PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0006-04589
Previous PIN : 052-14-0006-018-07
Previous Owner : NERI, JESUS VS NAGANGGA, ANGELO
Previous M.V. Php : P 128,390.00 Previous A.V. Php : P 19,240.00

MEMORANDA: TO CORRECT THE TRUE OWNERSHIP PER DOCUMENTS SUBMITTED ON FILE 1.) CERTIFICATE OF FINALITY FROM REGIONAL TRIAL COURT OF MISAMIS ORIENTAL 10TH JUDICIAL REGION BRANCH 25, CAGAYAN DE ORO CITY, SIGNED BY ATTY. SORA DEREKA T. ORCULLO-BRANCH CLERK OF COURT 2.) ENTRY OF JUDGMENT FROM SUPREME COURT-MANILA SIGNED BY MA. LOURDES C. PERFECTO-DEPUTY CLERK OF COURT & CHIEF, JUDICIAL RECORDS OFFICE 3.) JUDGMENT FROM REGIONAL TRIAL COURT OF MISAMIS ORIENTAL BRANCH 25 CAGAYAN DE ORO CITY SIGNED BY NOLI T. CATLE-JUDGE 4.) CERTIFICATION FROM CENRO APPROVED BY ALDRICH S. RESMA-OJC, CENRO OFFICER 5.) TAX CLEARANCE 2014. AREA CORRECTED FROM 16,500 SQ. METERS TO 16,513 SQ. METERS PER TECHNICAL DESCRIPTION ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANTALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA FREELAND WRENT H. PRINT DATE : 2021-04-15 02:36:57

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-04590 **Property Identification No. :** 052-14-0006-018-08

Owner: NERI, JESUS VS ASIÑERO, PAZ **TIN:** _____

Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799

CCT : _____ **Lot No. :** 1699

Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 04
 East: LOT NO. 11, 12
 South: LOT NO. 09
 West: LOT NO. 07

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	0.7631	ha	74,160.00	AGRICULTURAL	15%	11,120.00
Subtotal :	0.7631	ha	74,160.00			11,120.00

Total Market Value : P 74,160.00 Total Assessed Value : P 11,120.00

Total Assessed ELEVEN THOUSAND ONE HUNDRED TWENTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2008

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
MUNICIPAL ASSESSOR

(SGD.) CLAUDITA P. BALITON **12-18-2007**
ACTING PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 14-0006-00645

Previous PIN : 052-14-0006-018-08

Previous Owner : NERI JESUS VS. ASIÑERO PAZ

Previous M.V. Php : P 57,050.00 Previous A.V. Php : P 8,560.00

MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.


Annotations:

NOTICE OF USPENDENS: PLAINTIFF: HRS. OF RAMON NERI ET AL VS: DEFENDANT: HRS. OF EUGENIO NANAY & HRS. OF IGNACIA NANAY; CIVIL CASE NO. 488; FOR QUIETING OF TITLE, ETC.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALANIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.0. PRINTED BY : INHELGA, FREELAND BIENT R. PRINT DATE : 2007-04-18 02:42:43

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-12868 **Property Identification No. :** 052-14-0006-018-06

Owner: NANAY, EUGENIO **TIN:** _____

Address: NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Ward and Street) (Barangay/District) (Municipality & Province City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799

CCT : _____ **Lot No. :** 1597

Date : _____ **Blk. No. :** _____

Boundaries: North: LOT 05
East: LOT 07
South: LOT 42
West: LOT 42

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	0.8804	ha	51,340.00	AGRICULTURAL	15%	7,700.00
Subtotal :	0.8804	ha	51,340.00			7,700.00

Total Market Value : P 51,340.00 Total Assessed Value : P 7,700.00

Total Assessed SEVEN THOUSAND SEVEN HUNDRED PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2022

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLICER, REA**
MUNICIPAL ASSESSOR

(SGD.) ENGR. MARILYN P. LEGASPI, 01-20-2021
PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0006-04587
Previous PIN : 052-14-0006-018-06
Previous Owner : NANAY, EUGENIO
Previous M.V. Php : P 111,380.00 Previous A.V. Php : P 16,710.00

MEMORANDA: CORRECTION OF AREA FROM 19,100 SQ. METERS TO 8,804 SQ. METERS AS PER LETTER REQUEST; B.L. FORM NO. V-37; SKETCH PLAN & TAX CLEARANCE 2021 ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the BANGGILANG PANTALAYAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELGA FREELAND BRENT R. PRINT DATE : 2021-04-15 02:32:28

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0006-10381** Property Identification No. : **052-14-0006-018-05**

Owner: **VACALARES, EMMANUEL S.** TIN: _____
 Address: **NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ Survey No. : **PLS 799**
 CCT : _____ Lot No. : **1696**
 Date : _____ Blk. No. : _____

Boundaries: North: **LOT NO. 02, 04**
 East: **LOT NO. 07, 06**
 South: **LOT NO. 01, 06**
 West: **LOT NO. 01**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	1.0358	ha	82,340.00	AGRICULTURAL	15%	12,350.00
Subtotal :	1.0358	ha	82,340.00			12,350.00

Total Market Value : **P 82,340.00** Total Assessed Value : **P 12,350.00**

Total Assessed **TWELVE THOUSAND THREE HUNDRED FIFTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2018**

Recommended By: _____

Approved By: **(SGD.) ANESIA R. COLANSE**
TAX HAPPER IV

(SGD.) EMEE GRACE C. MABELIN, 10-05-2017
ACTING PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : **08-14-0006-09989**
 Previous PIN : **052-14-0006-018-05**
 Previous Owner : **ASINERO, SILVESTRE**
 Previous M.V. Php : **P 82,340.00** Previous A.V. Php : **P 12,350.00**

MEMORANDA: TRANSFER OF OWNERSHIP PER DEED OF ABSOLUTE SALE; DOC. NO. 330; PAGE NO. 66; BOOK NO. XXVII; SERIES OF 2004; L.R.A. CERTIFICATION; TAX ON TRANSFER (PHP. 720.00) O.R. NO. 8538879 DATED SEPTEMBER 18, 2017 AND TAX RECEIPT ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-08. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA, FREELAND BREVET R. PRINT DATE : 2021-04-15 02:31:47

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0006-12780 **Property Identification No. :** 052-14-0006-018-01

Owner: NERI, ARISTOTELES C., SR. **TIN:** _____
Address: POBLACION, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____
(Number and Street) **NATUMOLAN** **TAGOLOAN, MISAMIS ORIENTAL**
(Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799
CCT : _____ **Lot No. :** 2287
Date : _____ **Blk. No. :** _____

Boundaries: North: SECTION 019, LOT NO. 02, 05, 06
 East: LOT NO. 02, 05, 06
 South: BARANGAY CASINGLOT
 West: SECTION 019

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	7.0067	ha	557,020.00	AGRICULTURAL	15%	83,550.00
Subtotal :	7.0067	ha	557,020.00			83,550.00

Total Market Value : P 557,020.00 Total Assessed Value : P 83,550.00

Total Assessed EIGHTY THREE THOUSAND FIVE HUNDRED FIFTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2021

Recommended By: _____

Approved By: _____

(SGD.) ZENaida V. BULLECEr, REA
 MUNICIPAL ASSESSOR

(SGD.) ENGR. MARILYN P. LEGASPI, 10-27-2020
 PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 08-14-0006-04582
 Previous PIN : 052-14-0006-018-01
 Previous Owner : NERI, ARESTOTELES SR.
 Previous M.V. Php : P 557,020.00 Previous A.V. Php : P 83,550.00

MEMORANDA: TO CORRECT THE FIRST NAME FROM NERI, ARESTOTELES SR. TO NERI, ARISTOTELES C., SR. AS PER LETTER REQUEST; TITLE; JOINT AFFIDAVIT OF TWO DISINTERESTED PERSONS DOC. NO. 410; PAGE NO. 82; BOOK NO. 12; SERIES OF 2020; JOHANNIE EMMANUEL G. AGUSTIN - NOTARY PUBLIC & TAX CLEARANCE 2020 ON FILE.

Annotations:

NOTICE OF LISPENDIENS: PLAINTIFF: HRS. OF RAMON NERI ET. AL. VS. DEFENDANT: HRS. OF EUGENIO NANAY & HRS. OF IGNACIA NANAY; CIVIL CASE NO.: 4486; FOR QUIETTING OF TITLE, ETC.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIAN PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEIGA, FREELAND BRENT R. Print DATE : 2021-04-05 02:30:48



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0003-11909	Property Identification No. :	052-14-0003-015-03
Owner:	MISAMIS ORIENTAL LAND DEVELOPMENT CORPORATION	TIN:	
Address:	MAKATI, METRO MANILA	Telephone No. :	
Administrator/Beneficial User:		TIN:	
Address:		Telephone No. :	
Location of Property:		CASINGLOT	TAGOLOAN, MISAMIS ORIENTAL
	(Number and street)		(Barangay/District)
OCT/TCT/CLOA No. :	TCT NO.136-2016001376	Survey No. :	PSD-10-015283
OCT :		Lot No. :	1-D-2-D-4
Date :	2016-12-20	Blk. No.	
			(Municipality & Province/City)
Boundaries:			
North:	SECTION 012, 013		
East:	LOT NO. 04		
South:	LOT NO. 18		
West:	LOT NO. 02		

KIND OF PROPERTY ASSESSED :

☒ LAND☐ BUILDING No. of Storeys :

Brief Description:

☐ MACHINERY Brief Description :

☐ OTHERS Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	6.7634	ha	628,890.00	AGRICULTURAL	15%	94,340.00
Subtotal :	6.7634	ha	628,890.00			94,340.00

Total Market Value : P 628,890.00 Total Assessed Value : P 94,340.00

Total Assestad _____ NINETY FOUR THOUSAND THREE HUNDRED FORTY PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment : 1Q, 2018

Recommended By:

Approved By:

(SGD.) ZENaida V. BULLECEr, REA
MUNICIPAL ASSESSOR


(SGD.) EMEE GRACE C. MABELIN, ACTING PROVINCIAL ASSESSOR	01-29-2018 Date
---	--------------------

This declaration cancels TD No.: 08-14-0003-03169
 Previous PIN: 052-14-0003-015-01
 Previous Owner: MISAMIS ORIENTAL LAND DEVELOPMENT CORPORATION
 Previous M.V. Php: P 16,102,510.00 Previous A.V. Php: P 2,415,380.00


MEMORANDA: AREA SUBDIVISION PER APPROVED SUBDIVISION PLAN; TITLE & TAX CLEARANCE 2017 ON FILE

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of untraded values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-11908 **Property Identification No. :** 052-14-0003-015-02

Owner: MISAMIS ORIENTAL LAND DEVELOPMENT CORPORATION **TIN:** _____

Address: MAKATI, METRO MANILA **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** TAGOLOAN, MISAMIS ORIENTAL

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : TCT NO.136-2016001374 **Survey No. :** PSD-10-015283

OCT : _____ **Lot No. :** 1-D-2-D-1

Date : 2016-12-20 **Blk. No. :** _____

Boundaries: North: SECTION 012

East: LOT NO. 03

South: LOT NO. 19

West: NATIONAL HIGHWAY

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	6.8112	ha	630,370.00	AGRICULTURAL	15%	94,560.00
Subtotal :	6.8112	ha	630,370.00			94,560.00

Total Market Value : P 630,370.00 Total Assessed Value : P 94,560.00

Total Assessed NINETY FOUR THOUSAND FIVE HUNDRED SIXTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2018

Recommended By: _____

Approved By: _____ **(SGD.) ZENaida V. Bullecer, REA**
MUNICIPAL ASSESSOR

(SGD.) EMEe GRACE C. MABELIN, 01-29-2018
ACTING PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 08-14-0003-03169

Previous PIN : 052-14-0003-015-01

Previous Owner : MISAMIS ORIENTAL LAND DEVELOPMENT CORPORATION


Previous M.V. Php : P 16,102,510.00 Previous A.V. Php : P 2,415,380.00

MEMORANDA: AREA SUBDIVISION PER APPROVED SUBDIVISION PLAN; TITLE & TAX CLEARANCE 2017 ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA FREELAND BRENT R. PRINT DATE : 2021-04-16 11:31:37

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-12689 **Property Identification No. :** 052-14-0003-012-38

Owner: RAMA, JOEL R. **TIN:** _____

Address: ZONE 28, BALUARTE, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-026173

CCT : _____ **Lot No. :** 1-D-2C-3-CC-3-O-17-PART

Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 39 (EXISTING ROAD)

East: LOT NO. 39

South: LOT NO. 39

West: LOT NO. 39

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RES	139.00	sqm	40,310.00	RESIDENTIAL	10%	4,030.00
Subtotal :	139.00	sqm	40,310.00			4,030.00

Total Market Value : P 40,310.00 Total Assessed Value : P 4,030.00

Total Assessed FOUR THOUSAND THIRTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2Q, 2020

Recommended by: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER, REA**

MUNICIPAL ASSESSOR

(SGD.) ENGR. MARILYN P. LEGASPI, 03-31-2020

PROVINCIAL ASSESSOR Date

This declaration cancels TD No. : 08-14-0003-12687

Previous PIN : 052-14-0003-012-38

Previous Owner : TADEO, SERGIO D.


Previous M.V. Php : P 40,310.00 Previous A.V. Php : P 4,030.00

MEMORANDA: TRANSFERRED BY VIRTUE OF DEED OF ABSOLUTE SALE OVER PORTION OF PARCEL OF LAND (100, 000.00); DOC. NO. 180; PAGE NO. 37; BOOK NO. 57; SERIES OF 2019; AUDIE G. PADUGANAN-NOTARY PUBLIC; CERTIFICATE AUTHORIZING REGISTRATION (CAR); & FIELD APPRAISAL REPORT ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : E-TRACE v2.0 PRINTED BY : NARLGA FREELAND BREVIT R. PRINT DATE : 2021-04-15 02:20:48

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08512 **Property Identification No. :** 052-14-0003-011-24

Owner: SOLIDUM, RAUL P.; ALBINO, MILAGROS S. ; HOLDRIGE, MARIA SALOME S. ; TIN:
MIRANDA, DULCE S.

Address: 1824 S. Martina Avenue, Torrance California U. S. A. **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay-District) (Municipality & Province/City)

OCT/TCT/CLOA No. : TCT NO. T-54289 **Survey No. :** PSD-10-058291

CCT : _____ **Lot No. :** 1-D-2-C-2-B-2, PSD-10-060396

Date : 2009-08-19 **Blk. No.** _____

Boundaries: North: LOT NO. 10, 21, 23
East: SECTION 016
South: SECTION 012, 013, 014
West: LOT NO. 23, NATIONAL HIGHWAY

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	45.0000	ha	1,965,600.00	AGRICULTURAL	15%	294,840.00
Subtotal	45.0000	ha	1,965,600.00			294,840.00

Total Market Value : P 1,965,600.00 Total Assessed Value : P 294,840.00

Total Assessed TWO HUNDRED NINETY FOUR THOUSAND EIGHT HUNDRED FORTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECEER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **08-25-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08162
Previous PIN : 052-14-0003-011-22
Previous Owner : SOLIDUM, RAUL P.; ALBINO, MILAGROS S. ; HOLDRIGE, MARIA SALOME S. ; MIRANDA,
Previous M.V. Php : P 2,052,960.00 Previous A.V. Php : P 307,940.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : MAELGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 01:09:01



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0003-03194	Property Identification No. :	052-14-0003-017-08
Owner:	BLANDO, ARNEL; BLANDO, ARIEL QUIM A. & BLANDO, MYRISH	TIN:	
Address:	CASINGLOT, TAGOLOAN, MISAMIS ORIENTAL	Telephone No. :	
Administrator/Beneficial User:		TIN:	
Address:		Telephone No. :	
Location of Property:	CASINGLOT	TAGOLOAN, MISAMIS ORIENTAL	
	<i>(Number and Street)</i>	<i>(Barangay/District)</i>	<i>(Municipality & Province/City)</i>
OCT/TCT/CLOA No. :	TCT NO. E-7362	Survey No. :	PLS 799
CCT :		Lot No. :	1764
Date :		Blk. No.	
Boundaries:			
North:	LOT NO. 09		
East:	LOT NO. 09		
South:	BUGNA CREEK		
West:	BUGNA CREEK		

KIND OF PROPERTY ASSESSED :

☒ LAND☐ BUILD

No. of Storeys :

Brief Description :

☐ MACHINERY Brief Description:

OTHERS

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	7.9789	ha	620,370.00	AGRICULTURAL	15%	\$3,080.00
Subtotal :	7.9789	ha	620,370.00			\$3,080.00

Total Market Value : P 620,370.00 Total Assessed Value : P 93,060.00

Total Assessed

NINETY THREE THOUSAND SIXTY PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment : 1Q, 2008

Recommended By:

Approved By:

(SGD.) ZENAIDA V. BULLECE

Municipal Assessor

(SGD.) CLAUDITA P. BALITON

11-28-2007

Acting Provincial Assessor

Environ

This declaration cancels TD No. : 14-0003-00673

Previous PIN : 052-14-0003-017-08

Previous Owner : BANDO, ARNEL; BANDO, ARIEL QUIM A. & BANDO, MYRISH


Previous M.V. Ptg :	P 477,200.00
---------------------	--------------

Previous A.V. Php :	P 71,580.00
---------------------	-------------


MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLAUWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0003-03105** Property Identification No. : **052-14-0003-012-17**

Owner: **TADEO, CONSTANCIA** TIN: _____
 Address: **CASINGLOT, TAGOLOAN, MISAMIS ORIENTAL** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Ward and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **OCT NO. E-6867** Survey No. : **PSD-10-026173 (AR)**
 OCT : _____ Lot No. : **I-D-2-C-3-CC-3-T**
 Date : _____ Blk. No. : _____

Boundaries: North: **LOT NO. 20, SECTION 011**
 East: **LOT NO. 01, 02, 24, SECTION 013**
 South: **LOT NO. 18, 19, 22**
 West: **LOT NO. 15, 16, 22**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	1.9362	ha	196,630.00	AGRICULTURAL	15%	29,490.00
Subtotal :	1.9362	ha	196,630.00			29,490.00

Total Market Value : **P 196,630.00** Total Assessed Value : **P 29,490.00**

Total Assessed **TWENTY NINE THOUSAND FOUR HUNDRED NINETY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2008**

Recommended By: _____

Approved By: _____

(SGD.) **CLAUDITA P. BALITON** **11-22-2007**
 Acting Provincial Assessor Date

(SGD.) **ZENAIDA V. BULLECER**
 Municipal Assessor


This declaration cancels TD No. : **14-0003-00585**
 Previous PIN : **052-14-0003-012-17**
 Previous Owner : **TADEO, CONSTANCIA**
 Previous M.V. Php : **P 151,260.00** Previous A.V. Php : **P 22,690.00**

MEMORANDA: REVISED PURSUANT TO SECTION 219, REPUBLIC ACT 7160.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAYAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-15 02:26:29

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-12814 **Property Identification No. :** 052-14-0003-012-41

Owner: TADEO, SERGIO D. **TIN:** _____
Address: CASINGLOT, TAGOLOAN, MISAMIS ORIENTAL **Telephone No. :** _____
Administrator/Beneficial User: _____ **TIN:** _____
Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS 799
CCT : _____ **Lot No. :** 1-D-2-C-3-CC-3-0-PART
Date : _____ **Blk. No. :** _____

Boundaries: North: LOT 10, 11, 12, 16, 17, 18, 19, 24, 38, 40
 East: LOT 12, 18, 19, 20, 21, 38, 40
 South: LOT 19, 20, 21, 24, 38, 40 & LOT 01 OF SECTION 015
 West: LOT 10, 11, 12, 23, 24, 25, 38, 40

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	2.3132	ha	234,920.00	AGRICULTURAL	15%	35,240.00
Subtotal :	2.3132	ha	234,920.00			35,240.00

Total Market Value : P 234,920.00 Total Assessed Value : P 35,240.00

Total Assessed THIRTY FIVE THOUSAND TWO HUNDRED FORTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2021

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER, REA**
PROVINCIAL ASSESSOR MUNICIPAL ASSESSOR

(SGD.) ENGR. MARILYN P. LEGASPI, 12-03-2020
PROVINCIAL ASSESSOR Date


This declaration cancels TD No. : 08-14-0003-12688
 Previous PIN : 052-14-0003-012-39
 Previous Owner : TADEO, SERGIO D.
 Previous M.V. Php : P 237,950.00 Previous A.V. Php : P 35,690.00

MEMORANDA: AREA SUBDIVIDED PER SKETCH PLAN & TAX CLEARANCE 2020 ON FILE.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAYAN under Ordinance No. 947-2000 dated 2006-11-08. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : MAELGA FREELAND BRENT R. PRINT DATE : 2021-04-19 02:17:56

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08399 **Property Identification No. :** 052-14-0003-031-02

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-20-B, PSD-10-058383

Date : _____ **Blk. No. :** _____

Boundaries: North: SECTION 039
 East: LOT NO. 03
 South: LOT NO. 17
 West: LOT NO. 01

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	864.00	sqm	345,600.00	RESIDENTIAL	10%	34,560.00
Subtotal :	864.00	sqm	345,600.00			34,560.00

Total Market Value : P 345,600.00 Total Assessed Value : P 34,560.00

Total Assessed THIRTY FOUR THOUSAND FIVE HUNDRED SIXTY PESOS

Taxable ☒ Exempt ☐ Effectivity of Assessment : 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON 07-28-2009
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PDN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANKALAWAGAN under Ordinance No. 547-2008 dated 2008-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA FREELAND BRENT R. PRINT DATE : 2021-04-15 08:13:23

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08427 **Property Identification No. :** 052-14-0003-032-13

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: LEE JEONG IL **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

DCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-21-M, PSD 10-058338

Date : _____ **Blk. No.** _____

Boundaries: North: SECTION 039
East: SECTION 039, 040
South: LOT NO. 14, 22, SECTION 040
West: LOT NO. 12, 14

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	940.00	sqm	376,000.00	RESIDENTIAL	10%	37,600.00
Subtotal :	940.00	sqm	376,000.00			37,600.00

Total Market Value : P 376,000.00 Total Assessed Value : P 37,600.00

Total Assessed THIRTY SEVEN THOUSAND SIX HUNDRED PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-28-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-08. It does not and cannot by itself show confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-15 08:08:38

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08436 **Property Identification No. : 052-14-0003-032-22**

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN: _____**
Address: 451 Edsa, Guadalupe, Makati City **Telephone No. : _____**
Administrator/Beneficial User: REP. BY: LEE JEONG IL **TIN: _____**
Address: _____ **Telephone No. : _____**

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Space) (Barangay/District) (Municipality & Province/City)

DCT/TCT/CLOA No. : _____ **Survey No. : PSD-10-058079**
CCT : _____ **Lot No. : 1-D-2-C-1-C-21-V, PSD 10-058338**
Date : _____ **Blk. No. : _____**

Boundaries: North: **LOT NO. 13, 14**
East: **SECTION 040**
South: **SECTION 040, LOT NO. 22 OF SECTION 011**
West: **LOT NO. 14, 21**

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	711.00	sqm	284,400.00	RESIDENTIAL	10%	28,440.00
Subtotal :	711.00	sqm	284,400.00			28,440.00

Total Market Value : **P 284,400.00** Total Assessed Value : **P 28,440.00**

Total Assessed **TWENTY EIGHT THOUSAND FOUR HUNDRED FORTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2010**

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Acting Provincial Assessor Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-28-2009**
Acting Provincial Assessor Date


This declaration cancels TD No. : **08-14-0003-08265**
Previous PIN : **052-14-0003-011-10**
Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**
Previous M.V. Php : **P 101,037,360.00** Previous A.V. Php : **P 10,103,740.00**

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v2.0 PRINTED BY : NAEIGA, FREELAND BRIGHT R. PRINT DATE : 2021-04-15 08:04:49

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0003-08401** Property Identification No. : **052-14-0003-031-04**

Owner: **DAEMYUNG CONSULTING & REALTY CORPORATION** TIN: _____
 Address: **451 Edsa, Guadalupe, Makati City** Telephone No. : _____
 Administrator/Beneficial User: **REP. BY: MYUNG HWAN LEE** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
 (Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ Survey No. : **PSD-10-058079**
 CCT : _____ Lot No. : **1-D-2-C-1-C-20-D, PSD-10-058383**
 Date : _____ Blk. No. : _____

Boundaries: North: **SECTION 039**
 East: **LOT NO. 05**
 South: **LOT NO. 17**
 West: **LOT NO. 03**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____
 Brief Description : _____ ☐ OTHERS Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	715.00	sqm	286,000.00	RESIDENTIAL	10%	28,600.00
Subtotal :	715.00	sqm	286,000.00			28,600.00

Total Market Value : **P 286,000.00** Total Assessed Value : **P 28,600.00**

Total Assessed **TWENTY EIGHT THOUSAND SIX HUNDRED PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2010**

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
 Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-28-2009**
 Acting Provincial Assessor Date

This declaration cancels TD No. : **08-14-0003-08265**
 Previous PIN : **052-14-0003-011-10**
 Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**
 Previous M.V. Php : **P 101,037,360.00** Previous A.V. Php : **P 10,103,740.00**

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY: ETRACS v2.0 PRINTED BY: MAELISA FREELAND BRENT R. PRINT DATE: 2021-04-15 08:15:57



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0003-08400	Property Identification No. :	052-14-0003-031-03
Owner:	DAEMYUNG CONSULTING & REALTY CORPORATION	TIN:	
Address:	451 Edsa, Guadalupe, Makati City	Telephone No. :	
Administrator/Beneficial User:	REP. BY: MYUNG HWAN LEE	TIN:	
Address:		Telephone No. :	
Location of Property:		CASINGLOT	TAGLOAN, MISAMIS ORIENTAL
	(Number and Street)	(Barangay/District)	(Municipality & Province/City)
OCT/TCT/CLOA No. :		Survey No. :	PSD-10-058079
CCT :		Lot No. :	1-D-2-C-1-C-20-C, PSD-10-058383
Date :		Blk. No.	
Boundaries:			
North:	SECTION 039		
East:	LOT NO. 04		
South:	LOT NO. 17		
West:	LOT NO. 02		

KIND OF PROPERTY ASSESSED:

☒ LAND

No. of Storeys :

Brief Description

☐ **MACHINERY** Brief Description :

OTHERS	Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	718.00	sqm	285,400.00	RESIDENTIAL	10%	28,540.00
Subtotal:	718.00	sqm	285,400.00			28,540.00

Total Market Value : P 286,400.00 Total Assessed Value : P 28,640.00

Total Assessed

TWENTY EIGHT THOUSAND SIX HUNDRED FORTY PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment | 1Q, 2010

Recommended By:

Approved By:

(SGD.) ZENaida V. BULLECEr

Municipal Assessors

(SGD,) CLAUDITA P. BALITON

07-28-2009

Acting Provincial Assessor

Change

This declaration cancels TD No. : 00-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**


Previous M.V. Slip :	P 101,037,360.00
----------------------	------------------

Previous A.V. Php 1	P 10,103,740.00
---------------------	-----------------


MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08398 **Property Identification No. :** 052-14-0003-031-01

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay District) (Municipality & Province City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

OCT : _____ **Lot No. :** 1-D-2-C-1-C-20-A, PSD-10-058383

Date : _____ **Blk. No. :** _____

Boundaries: North: SECTION 039, SECTION 041

East: LOT NO. 02

South: LOT NO. 17

West: SECTION 041

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	0.1124	ha	12,270.00	AGRICULTURAL	15%	1,840.00
Subtotal :	0.1124	ha	12,270.00			1,840.00

Total Market Value : P 12,270.00 Total Assessed Value : P 1,840.00

Total Assessed ONE THOUSAND EIGHT HUNDRED FORTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-27-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION

Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v3.0 PRINTED BY : MAELGA, FREELAND BRENT R. PRINT DATE : 2021-04-15 08:13:45



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0003-08391	Property Identification No. :	052-14-0003-030-19
Owner:	DAEMYUNG CONSULTING & REALTY CORPORATION	TIN:	
Address:	451 Edsa, Guadalupe, Makati City	Telephone No. :	
Administrator/Beneficial User:	REP. BY: LEE JEONG DL	TIN:	
Address:		Telephone No. :	
Location of Property:		CASINGLOT	TAGOLOAN, MISAMIS ORIENTAL
	<i>(Number and Street)</i>	<i>(Barangay/District)</i>	<i>(Municipality & Province/City)</i>
OCT/TCT/CLOA No. :		Survey No. :	PSD-10-058079
CCT :		Lot No. :	1-D-2-C-1-C-19-S, PSD-10-058344
Date :		Blk. No.	
Boundaries:			
North:	LOT NO. 14, 16		
East:	LOT NO. 21		
South:	SECTION 040		
West:	LOT NO. 17		

KIND OF PROPERTY ASSESSED :

☒ LAND

☐ EXIT

No. of Storeys :

Brief Description

☐ MACHINERY Brief Description :

OTHERS	Brief Description :
--------	---------------------

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	1,060.00	sqm	424,000.00	RESIDENTIAL	10%	42,400.00
Subtotal:	1,060.00	sqm	424,000.00			42,400.00

Total Market Value : P 424,000.00 Total Assessed Value : P 42,400.00

Total Assessed

FORTY TWO THOUSAND FOUR HUNDRED PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment : 1Q, 2010

Recommended By:

Approved By:

(SGD.) ZENAIDA V. BULLECEER

Municipal Assessor

(SGD.) CLAUDITA P. BALITON

07-27-2009

Acting Provincial Adviser

Date:

This declaration cancels TD No.: 08-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Ptp : P 101,037,360.00

Previous A.V. Rfp : P 10,103,740.00


MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 947-2000 dated 2006-11-09. It does not and cannot by itself alone confer any ownership or legal title to the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : **08-14-0003-08386** Property Identification No. : **052-14-0003-030-14**

Owner: **DAEMYUNG CONSULTING & REALTY CORPORATION** TIN: _____
 Address: **451 Edsa, Guadalupe, Makati City** Telephone No. : _____
 Administrator/Beneficial User: **REP. BY: MYUNG HWAN LEE** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CDOA No. : _____ Survey No. : **PSD-10-058079**
 CCT : _____ Lot No. : **1-D-2-C-1-C-19-N, PSD-10-058344**
 Date : _____ Blk. No. : _____

Boundaries: North: **SECTION 022, 023**
 East: **LOT NO. 16**
 South: **LOT NO. 17, 19**
 West: **LOT NO. 12**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	1,176.00	sqm	470,400.00	RESIDENTIAL	10%	47,040.00
Subtotal :	1,176.00	sqm	470,400.00			47,040.00

Total Market Value : **P 470,400.00** Total Assessed Value : **P 47,040.00**

Total Assessed **FORTY SEVEN THOUSAND FORTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2010**

Recommended By: _____

Approved By: **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-27-2009**
Acting Provincial Assessor Date


This declaration cancels TD No. : **08-14-0003-08265**
 Previous PIN : **052-14-0003-011-10**
 Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**
 Previous M.V. Php : **P 101,037,360.00** Previous A.V. Php : **P 10,103,740.00**

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 347-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAEUGA, FREELAND BRIGHT R. PRINT DATE : 2021-04-15 08:27:08

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08387 **Property Identification No. :** 052-14-0003-030-15

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Manner and Street) (Barangay District) (Municipality & Province City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-19-O, PSD-10-058344

Date : _____ **Blk. No. :** _____

Boundaries: North: LOT NO. 10, 12, 17

East: LOT NO. 17, SECTION 040

South: LOT NO. 13, SECTION 040

West: LOT NO. 08, 10, 13

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	952.00	sqm	380,800.00	RESIDENTIAL	10%	38,080.00
Subtotal :	952.00	sqm	380,800.00			38,080.00

Total Market Value : P 380,800.00 Total Assessed Value : P 38,080.00

Total Assessed THIRTY EIGHT THOUSAND EIGHTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____

(SGD.) ZENAIDA V. BULLECEER
Municipal Assessor

(SGD.) CLAUDITA P. BALITON 07-27-2009
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PSN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANDIGUNANG PANLALAY/VIDAN under Ordinance No. 947-2006 dated 2005-11-05. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.0 PRINTED BY : NAEIDA FREELMO @PRINT R. PRINT DATE : 2021-04-15 08:34:41

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08389 **Property Identification No. :** 052-14-0003-030-17

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

DCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-19-Q, PSD-10-058344

Date : _____ **IR. No.** _____

Boundaries: North: LOT NO. 12, 14

East: LOT NO. 19, SECTION 040

South: LOT NO. 15, SECTION 040

West: LOT NO. 10, 12, 15

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	996.00	sqm	398,400.00	RESIDENTIAL	10%	39,840.00
Subtotal :	996.00	sqm	398,400.00			39,840.00

Total Market Value : P 398,400.00 Total Assessed Value : P 39,840.00

Total Assessed THIRTY NINE THOUSAND EIGHT HUNDRED FORTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____

(SGD.) **ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) **CLAUDITA P. BALITON** **07-27-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PAMALAYWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NIELGA, FREELAND BRENT R. PRINT DATE : 2021-04-05 08:33:09

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08385 **Property Identification No. : 052-14-0003-030-13**

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN: _____**
Address: 451 Edsa, Guadalupe, Makati City **Telephone No. : _____**
Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN: _____**
Address: _____ **Telephone No. : _____**

Location of Property: _____ **CASINGLOT TAGOLOAN, MISAMIS ORIENTAL**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. : PSD-10-058079**
OCT : _____ **Lot No. : 1-D-2-C-1-C-19-M, PSD-10-058344**
Date : _____ **Blk. No. _____**

Boundaries: **North: LOT NO. 08, 10, 15**
East: LOT NO. 15, SECTION 040
South: LOT NO. 11, SECTION 040
West: LOT NO. 06, 08, 11

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____
Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	997.00	sqm	398,800.00	RESIDENTIAL	10%	39,880.00
Subtotal :	997.00	sqm	398,800.00			39,880.00

Total Market Value : **P 398,800.00** Total Assessed Value : **P 39,880.00**

Total Assessed **THIRTY NINE THOUSAND EIGHT HUNDRED EIGHTY PESOS**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **1Q, 2010**

Recommended By: _____

Approved By: **(SGD.) ZENaida V. Bullecer**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-27-2009**
Acting Provincial Assessor Date


This declaration cancels TD No. : **08-14-0003-08265**
Previous PIN : **052-14-0003-011-10**
Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**
Previous M.V. Php : **P 101,037,360.00** Previous A.V. Php : **P 10,103,740.00**

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-19 09:21:48

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08383 **Property Identification No. :** 052-14-0003-030-11

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edaa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-19-X, PSD-10-058344

Date : _____ **Blk. No.** _____

Boundaries: North: LOT NO. 06, 08, 13

East: LOT NO. 13, SECTION 040

South: LOT NO. 09, SECTION 040

West: LOT NO. 09

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	900.00	sqm	360,000.00	RESIDENTIAL	10%	36,000.00
Subtotal :	900.00	sqm	360,000.00			36,000.00

Total Market Value : P 360,000.00 Total Assessed Value : P 36,000.00

Total Assessed THIRTY SIX THOUSAND PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-27-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PDN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 **Previous A.V. Php :** P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 047-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NAELOA FREELAND BRENT B. PRINT DATE : 2021-04-15 08:18:12

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08395 **Property Identification No. :** 052-14-0003-030-23

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: LEE JEONG IL **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-19-W, PSD-10,058344

Date : _____ **Blk. No.** _____

Boundaries: North: LOT NO. 18

East: LOT NO. 25

South: SECTION 040

West: LOT NO. 21

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	992.00	sqm	396,800.00	RESIDENTIAL	10%	39,680.00
Subtotal :	992.00	sqm	396,800.00			39,680.00

Total Market Value : P 396,800.00 Total Assessed Value : P 39,680.00

Total Assessed THIRTY NINE THOUSAND SIX HUNDRED EIGHTY PESOS

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Municipal Assessor

(SGD.) CLAUDITA P. BALITON 07-27-2009
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265

Previous PIN : 052-14-0003-011-10

Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION


Previous M.V. Php : P 101,037,360.00 **Previous A.V. Php :** P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANGALAYOGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : NHELGA FREELAND BRENT R. PRINT DATE : 2021-04-16 08:30:57

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF TAGOLOAN
MISAMIS ORIENTAL



TAX DECLARATION OF REAL PROPERTY

TD No. : 08-14-0003-08393 **Property Identification No. :** 052-14-0003-030-21

Owner: DAEMYUNG CONSULTING & REALTY CORPORATION **TIN:** _____

Address: 451 Edsa, Guadalupe, Makati City **Telephone No. :** _____

Administrator/Beneficial User: REP. BY: MYUNG HWAN LEE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CASINGLOT** **TAGOLOAN, MISAMIS ORIENTAL**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PSD-10-058079

CCT : _____ **Lot No. :** 1-D-2-C-1-C-19-U, PSD-10-058344

Date : _____ **Blk. No.** _____

Boundaries: North: LOT NO. 16, 18
 East: LOT NO. 23
 South: SECTION 040
 West: LOT NO. 19

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____
☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	978.00	sqm	391,200.00	RESIDENTIAL	10%	39,120.00
Subtotal :		978.00 sqm	391,200.00	39,120.00		

Total Market Value : P 391,200.00 **Total Assessed Value :** P 39,120.00

Total Assessed **THIRTY NINE THOUSAND ONE HUNDRED TWENTY PESOS**

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 1Q, 2010

Recommended By: _____

Approved By: _____ **(SGD.) ZENAIDA V. BULLECER**
Acting Provincial Assessor Municipal Assessor

(SGD.) CLAUDITA P. BALITON **07-27-2009**
Acting Provincial Assessor Date

This declaration cancels TD No. : 08-14-0003-08265
 Previous PIN : 052-14-0003-011-10
 Previous Owner : DAEMYUNG CONSULTING & REALTY CORPORATION
 Previous M.V. Php : P 101,037,360.00 Previous A.V. Php : P 10,103,740.00

MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANTALAYAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : HAELOA, FREELAND BRENT R. PRINT DATE : 2021-04-15 08:30:17



TAX DECLARATION OF REAL PROPERTY

TD No. :	08-14-0003-08405	Property Identification No. :	052-14-0003-031-08
Owner:	DAEMYUNG CONSULTING & REALTY CORPORATION	TIN:	
Address:	451 Edsa, Guadalupe, Makati City	Telephone No. :	
Administrator/Beneficial User :	REP. BY: MYUNG HWAN LEE	TIN:	
Address:		Telephone No. :	
Location of Property:		CASINGLOT	TAGOLOAN, MISAMIS ORIENTAL
	<i>(Number and Street)</i>	<i>(Barangay/District)</i>	<i>(Municipality & Province/City)</i>
OCT/TCT/CLOA No. :		Survey No. :	PSD-10-058079
OCT :		Lot No. :	1-D-2-C-1-C-20-H, PSD-10-058383
Date :		Blk. No.	
Boundaries:			
North:	SECTION 039		
East:	LOT NO. 09		
South:	LOT NO. 17		
West:	LOT NO. 07, 17		

KIND OF PROPERTY ASSESSED :

☒ LAND

☐ BUILDING

No. of Storeys :

Brief Description :

☐ MACHINERY Brief Description :

OTHERS	Brief Description :
--------	---------------------

Classification	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
RESIDENTIAL	754.00	sqm	301,600.00	RESIDENTIAL	10%	30,160.00
Subtotal :	754.00	sqm	301,600.00			30,160.00

Total Market Value : P 301,600.00 Total Assessed Value : P 30,160.00

Total Assessed THIRTY THOUSAND ONE HUNDRED SIXTY PESOS

Taxable ☒ Exempt ☐

Effectivity of Assessment : 1Q, 2010

Recommended By:

Approved By:

(SGD.) ZENAIDA V. BULLECE

Municipal Assessor

(SGD.) CLAUDITA P. BALITON

07-28-2009

Acting Provincial Assessor

412

This declaration cancels TD No. : **08-14-0003-08265**
 Previous PIN : **052-14-0003-011-10**
 Previous Owner : **DAEMYUNG CONSULTING & REALTY CORPORATION**
 Previous M.V. Php : **P 101,037,360.00** Previous A.V. Php : **P 10,103,740.00**


MEMORANDA: Area Subdivided per Approved Subdivision Plan & Tax Clearance 2009 on file.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the SANGGUNIANG PANALAMIGAN under Ordinance No. 947-2006 dated 2006-11-06. It does not and cannot by itself alone confer any ownership or legal title to the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LIST OF PROJECT AFFECTED LOTS				
LGU	BARANGAY	STATION	LOT NO.	REMARKS
IMPASUG-ONG	POBLACION	42+000	25	001-31-001-001
IMPASUG-ONG	POBLACION		24	001-31-001-002
IMPASUG-ONG	POBLACION		30	001-31-001-003
IMPASUG-ONG	POBLACION		31	001-31-001-004
IMPASUG-ONG	POBLACION		32	001-31-001-005
IMPASUG-ONG	POBLACION		36	001-31-001-006
IMPASUG-ONG	POBLACION		39	001-31-001-007
IMPASUG-ONG	POBLACION		48	001-31-001-008
IMPASUG-ONG	POBLACION		49	001-31-001-009
IMPASUG-ONG	POBLACION		50	001-31-001-010
IMPASUG-ONG	POBLACION		52	001-31-001-011
IMPASUG-ONG	POBLACION		54	001-31-001-012
IMPASUG-ONG	POBLACION		47	001-31-001-013
IMPASUG-ONG	POBLACION		55	001-31-001-014
IMPASUG-ONG	POBLACION		56	001-31-001-015
IMPASUG-ONG	POBLACION		57	001-31-001-016
IMPASUG-ONG	POBLACION		582	001-31-001-017
IMPASUG-ONG	POBLACION		383	001-31-001-018
IMPASUG-ONG	POBLACION		384	001-31-001-019
IMPASUG-ONG	POBLACION		388	001-31-001-020
IMPASUG-ONG	POBLACION		389	001-31-001-021
IMPASUG-ONG	CAPITAN BAYONG	47+500	84	001-31-001-022
IMPASUG-ONG	CAPITAN BAYONG		83	001-31-001-023
IMPASUG-ONG	CAPITAN BAYONG		90	001-31-001-024
IMPASUG-ONG	CAPITAN BAYONG		91	001-31-001-025
IMPASUG-ONG	CAPITAN BAYONG		92	001-31-001-026
IMPASUG-ONG	CAPITAN BAYONG		93	001-31-001-027
IMPASUG-ONG	CAPITAN BAYONG		95	001-31-001-028
IMPASUG-ONG	CAPITAN BAYONG		96	001-31-001-029
IMPASUG-ONG	CAPITAN BAYONG		98	001-31-001-030
IMPASUG-ONG	CAPITAN BAYONG		70	001-31-001-031
IMPASUG-ONG	CAPITAN BAYONG		9	001-31-001-032
IMPASUG-ONG	CAPITAN BAYONG	48+000	10	001-31-001-033
IMPASUG-ONG	CAWAYAN	48+000	65	001-31-001-034
IMPASUG-ONG	IMPALUTAO	50	620	001-31-001-035
IMPASUG-ONG	IMPALUTAO	5+500	621	001-31-001-036
IMPASUG-ONG	IMPALUTAO		625	001-31-001-037
IMPASUG-ONG	IMPALUTAO		792	001-31-001-038
IMPASUG-ONG	IMPALUTAO		791	001-31-001-039
IMPASUG-ONG	IMPALUTAO		624	001-31-001-040
IMPASUG-ONG	IMPALUTAO		607	001-31-001-041
IMPASUG-ONG	IMPALUTAO		606	001-31-001-042
IMPASUG-ONG	IMPALUTAO		605	001-31-001-043
IMPASUG-ONG	IMPALUTAO		769	001-31-001-044
IMPASUG-ONG	IMPALUTAO		768	001-31-001-045
IMPASUG-ONG	IMPALUTAO		771	001-31-001-046
IMPASUG-ONG	IMPALUTAO		4505	001-31-001-047
IMPASUG-ONG	IMPALUTAO	55+000	4521	001-31-001-048

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-00104 **Property Identification No. :** 059-06-001-35-041

Owner: CASIÑO, NICOLAS **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS-987

CCT : _____ **Lot No. :** 25

Date : _____ **Blk. No. :** _____

Boundaries: North: NE:35-001 & 002 (26 & 1, ALL OF PLS-987)

East: 35-079 -ROAD

South: 35-043 (28, PLS-987)

West: 35-042 (27, PLS-987)

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ BUILDING No. of Storeys : _____

☐ MACHINERY Brief Description : _____

☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CL2	0.759400	HA	100,180.00	AGRICULTURAL	10%	10,018.00
AGRICULTURAL	PE1	3.340000	HA	1,260,582.00	AGRICULTURAL	10%	126,058.20
TOTAL:		3.000000	HA	1,360,742.00			136,080.00

Total Market Value : P 1,360,742.00 **Total Assessed Value :** P 136,080.00

Total Assessed Value ONE HUNDRED THIRTY SIX THOUSAND EIGHTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** _____

ASSESSMENT CLERK II **MUNICIPAL ASSESSOR**

This declaration cancels TD No. : H-092005

Previous PIN : 059-06-001-35-041

Previous Owner : CASIÑO, NICOLAS

Previous Administrator : _____

Previous Area (sqm) : 30,000.00 **Previous M.V. Php :** 342,432.00 **Previous A.V. Php :** 85,610.00

MEMORANDA: GENERAL REVISION OF 2018

Annotations:

MORTGAGED FOR PHP72,793.00 TO THE CAGAYAN DE ORO RURAL BANK BY NICOLAS CASIÑO ON SEPTEMBER 23, 1975. (BOD) C. ABSUELDO

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit/market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAWIGAN under Ordinance No. 2017-05-R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACK v2.1 PRINTED BY : JOHANN V. MACPAZ PRINT DATE : 2019-11-20 09:15:33

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-00083 **Property Identification No. :** 059-06-001-35-040

Owner: ESCOBIO, CELEDONIO (HRS. OF) **TIN:** _____

Address: STO. ANGEL, SAN PABLO CITY **Telephone No. :** _____

Administrator/Beneficial User: REP. ROSITA E. TICZON-MARRIED TO: ROGELIO TICZON **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : P-20759 **Survey No. :** PLS-987

CCT : _____ **Lot No. :** 24

Date : 1992-10-29 **Dk. No.** _____

Boundaries: North: 35-016 (2, PLS-987)
East: KILABLAB CREEK
South: 35-044 (30, PLS-987)
West: NW: ROAD

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	0.328600	HA	55,979.00	AGRICULTURAL	10%	5,700.00
AGRICULTURAL	PT1	4.057100	HA	2,400,180.00	AGRICULTURAL	10%	240,030.00
TOTAL:		4.385700	HA	2,457,159.00			245,720.00

Total Market Value : **P 2,457,159.00** Total Assessed Value : **P 245,720.00**

TWO HUNDRED FORTY FIVE THOUSAND SEVEN HUNDRED TWENTY AND 00/100

Total Assessed Value _____

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN S. BARRAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017002

Previous PIN : 059-06-001-35-040

Previous Owner : ESCOBIO, CELEDONIO (HRS. OF)

Previous Administrator : REP. ROSITA E. TICZON-MARRIED TO: ROGELIO TICZON


Previous Area (sqm) : 43,857.00 Previous M.V. Php : 630,685.00 Previous A.V. Php : 157,670.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAAYIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : AUREEN ANOR ABETA DAMBAS PRINT DATE : 2019-01-21 11:46:40

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-00087** Property Identification No. : **059-06-001-35-044**

Owner: **OLINAY, MARCELO** TIN: _____
 Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **OLINAY, EUSEBIO** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____
 (Number and Street) (Barangay/Street) (Municipality & Province/City)

OCT/TC/TLOA No. : _____ Survey No. : **PLS-987**
 OCT : _____ Lot No. : **30**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE-35-040 (24, PLS-987)**
 East: **NE-KILABLAB CREEK**
 South: **35-045 (29 & 31, ALL OF PLS-987)**
 West: **NW-DIRT ROAD**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____
 Brief Description : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	PT1	1.913500	HA	998,847.00	AGRICULTURAL	10%	99,880.00
TOTAL:		1.913500	HA	998,847.00			99,880.00

Total Market Value : **P 998,847.00** Total Assessed Value : **P 99,880.00**

Total Assessed Value: **NINETY NINE THOUSAND EIGHT HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **JOCELYN J. BINASAG, REA** By Authority of the Provincial Assessor:
 MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-912637**
 Previous PIN : **059-06-001-35-044**
 Previous Owner : **OLINAY, MARCELO**
 Previous Administrator : **OLINAY, EUSEBIO**
 Previous Area (sqm) : **19,135.00** Previous M.V. Php : **275,544.00** Previous A.V. Php : **68,890.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAMINGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : (ETRACS v2.0) PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2018-09-20 09:28:37

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-00105** Property Identification No. : **059-06-001-35-045**

Owner: **CASIÑO, NICOLAS** TIN: _____
 Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **POBLACION** **IMPASUGONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC (CLOA No. : **P-4720** Survey No. : **PLS-987**
 OCT : _____ Lot No. : **29 & 31**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 35-043 & 044 (28 & 30, ALL OF PLS-987)**
 East: **SE-KILABLAB CREEK**
 South: **& SW-ROAD & 35-046 (366, PLS-987)**
 West: **NW: 35-083 (20-C-2-A, PSD-10-023397)**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY (Brief Description : _____)
☐ BUILDING No. of Storeys : _____ ☐ OTHERS (Brief Description : _____)

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	1.431900	HA	186,899.00	AGRICULTURAL	10%	18,689.00
AGRICULTURAL	PT1	4.883900	HA	2,403,773.00	AGRICULTURAL	10%	240,377.30
TOTAL:		6.415800	HA	2,992,669.00			299,270.00

Total Market Value : **P 2,992,669.00** Total Assessed Value : **P 299,270.00**

Total Assessed Value: **TWO HUNDRED NINETY NINE THOUSAND TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCelyn J. Binasag, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-002009**
 Previous PIN : **059-06-001-35-045**
 Previous Owner : **CASIÑO, NICOLAS**
 Previous Administrator : _____
 Previous Area (sqm) : **64,155.00** Previous M.V. Php : **751,667.00** Previous A.V. Php : **187,920.00**


MEMORANDA: GENERAL REVISION OF 2018

Annotations:
MORTGAGED PHP 72,792.00 TO FIELA BY NICOLAS CASIÑO ON SEPTEMBER 23, 1975. (RGD) C. ARSUELO.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAINGAG under Ordinance No. 2017-094A(13TH SR) dated 2017-12-15. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETANES-VLS PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2019-06-28 01:56:54

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-00445 **Property Identification No. :** 059-06-001-35-050

Owner: BAULA, GEORGE MARTIN **TIN:** _____

Address: KISOLON, SUMILAO, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON
(Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : _____ **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 32-3

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 35-039 (23, PLS-987)

East: SE: 35-051 (32-3, CSD-10-006952-D)

South: SW: 35-088 - PROPOSED ROAD

West: NW-KILABLAB CREEK

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	3.626500	HA	579,515.00	AGRICULTURAL	10%	57,950.00
TOTAL:		3.626500	HA	579,515.00			57,950.00

Total Market Value : **P 579,515.00** Total Assessed Value : **P 57,950.00**

Total Assessed Value FIFTY SEVEN THOUSAND NINE HUNDRED FIFTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA M. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BERNASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002012

Previous PIN : 059-06-001-35-050

Previous Owner : BAULA, GEORGE MARTIN

Previous Administrator : _____

Previous Area (sqm) : 36,265.00 **Previous M.V. Php :** 136,356.00 **Previous A.V. Php :** 34,090.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG BAKALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETACS v2.0 PRINTED BY : JOHANA V. MACAPAZ PRINT DATE : 2019-11-20 09:41:28

matana lot #: 32, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-00239 **Property Identification No. :** 059-06-001-35-051

Owner: QUEDAN AND RURAL CREDIT GUARANTEE CORP. **TIN:** _____

Address: _____ **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : T-105022 **Survey No. :** IDENTICAL TO LOT 582, PLS-987

CCT : _____ **Lot No. :** 32-1,CSD-10-006952-D

Date : _____ **Bk. No. :** _____

Boundaries: North: 35-039 (23,PLS-987) NE-35-052 (32-M,CSD-10-006952-D)

East: SE- 35-063 (32-G,CSD-10-006952-D)

South: SW-ROAD

West: NW- 35-050 (32-J,CSD-10-006952-D)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	L3	4,999.00	HA	1,823,854.00	AGRICULTURAL	10%	182,390.00
TOTAL:		4,999.00	HA	1,823,854.00			182,390.00

Total Market Value : P 1,823,854.00 **Total Assessed Value :** P 182,390.00

Total Assessed Value ONE HUNDRED EIGHTY TWO THOUSAND THREE HUNDRED NINETY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA M. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BERNAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-014202

Previous PIN : 059-06-001-35-051

Previous Owner : QUEDAN AND RURAL CREDIT GUARANTEE CORP.

Previous Administrator : _____

Previous Area (sqm) : 49,996.00 Previous M.V. Php : 187,985.00 Previous A.V. Php : 47,000.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAHAYGAN under Ordinance No. 2017-054R(17TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : JOHANN V. MACAPAG PRINT DATE : 2018-11-30 09:45:31

mother lot #: 32, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-01793** Property Identification No. : **059-06-001-35-064**

Owner: **FUENTE, ANTONIO DE LA** TIN: _____
 Address: **CAGAYAN DE ORO CITY** Telephone No. : _____
 Administrator/Beneficial User: **MARRIED TO: CRISTINA M. DE LA FUENTE** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ POBLACION **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/TOLLO No. : **T-52025** Survey No. : **PSD-10-025138**
 CCT : _____ Lot No. : **38-F**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 35-080 (PROPOSED ROAD)**
 East: **SE: 035-065 (38-E, PSD-10-025138)**
 South: **SW: 35-104 (39-B, PSD-10-041417)**
 West: **NW: 35-076 (35, PLS-987)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ BUILDING No. of Storeys : _____
 Brief Description : _____

☐ MACHINERY Brief Description : _____
☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	1.100500	HA	181,472.00	AGRICULTURAL	10%	18,150.00
TOTAL:		1.100500	HA	181,472.00			18,150.00

Total Market Value : **P 181,472.00** Total Assessed Value : **P 18,150.00**

Total Assessed Value **EDGTEEN THOUSAND ONE HUNDRED FIFTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA M. RIVERA, REA** By Authority of the Provincial Assessor: **JOSEPH J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-002036**
 Previous TIN : **059-06-001-35-064**
 Previous Owner : **FUENTE, ANTONIO DE LA**
 Previous Administrator : **MARRIED TO: CRISTINA M. DE LA FUENTE**
 Previous Area (sqm) : **11,005.00** Previous M.V. Php : **42,699.00** Previous A.V. Php : **10,670.00**


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : JOHANN V. MACAPAZ PRINT DATE : 2018-11-28 10:27:24

Mother lot #: 38, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01797 **Property Identification No. :** 059-06-001-35-065

Owner: FUENTE, ANTONIO DE LA **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: CRISTINA M. DE LA FUENTE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON
(Number and Street) (Municipality & Province/City)

OCT/TC/CLQA No. : T-52024 **Survey No. :** PSD-10-025138

OCT : _____ **Lot No. :** 38-E

Date : _____ **BR. No.** _____

Boundaries: North: NE:35-080 (PROPOSED ROAD)

East: SE: 35-066 (38-D, PSD-10-025138)

South: SW: 35-104 (39-B, PSD-10-041417)

West: NW: 35-064 (38-F, PSD-10-025138)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	1.100100	HA	181,406.00	AGRICULTURAL	10%	18,140.60
TOTAL:		1.100100	HA	181,406.00			18,140.60

Total Market Value : P 181,406.00 **Total Assessed Value :** P 18,140.60

Total Assessed Value EIGHTEEN THOUSAND ONE HUNDRED FORTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BERNASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002037

Previous PTN : 059-06-001-35-065

Previous Owner : FUENTE, ANTONIO DE LA

Previous Administrator : MARRIED TO: CRISTINA M. DE LA FUENTE

Previous Area (sum) : 11,001.00 Previous M.V. Php : 42,684.00 Previous A.V. Php : 10,670.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWATIGAN under Ordinance No. 2017-0549(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v3.3 PRINTED BY : JOHANN V. MACAPAL PRINT DATE : 2018-12-20 15:36:35

Mother Lot # 38, PS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01799 **Property Identification No. :** 059-06-001-35-066

Owner: FUENTE, ANTONIO DE LA **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: CRISTINA M. DE LA FUENTE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : T-52023 **Survey No. :** PSD-10-025138

CCT : _____ **Lot No. :** 38-D

Date : _____ **Blk. No.** _____

Boundaries: North: NE: 35-080 (PROPOSED ROAD)

East: SE: 35-067 (38-C, PSD-10-025138)

South: SW: 35-103 (39, PLS-987)

West: NW: 35-065 (38-E, PSD-10-025138)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	R34	1.100100	HA	162,199.00	AGRICULTURAL	10%	16,220.00
TOTAL:		1.100100	HA	162,199.00			16,220.00

Total Market Value : **P 162,199.00** Total Assessed Value : **P 16,220.00**

Total Assessed Value **SIXTEEN THOUSAND TWO HUNDRED TWENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINAGAG, REA

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002038

Previous TIN : 059-06-001-35-066

Previous Owner : FUENTE, ANTONIO DE LA

Previous Administrator : MARRIED TO: CRISTINA M. DE LA FUENTE

Previous Area (sqm) : 11,001.00 Previous M.V. Php : 42,684.00 Previous A.V. Php : 10,670.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWOGAN under Ordinance No. 2017-054R(13TH SF) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.3 PRINTED BY : JOANMAR V. MACAPAZ PRINT DATE : 2019-12-20 10:40:20

Plotter Lot # : 38, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01800 **Property Identification No. :** 059-06-001-35-067

Owner: FUENTE, ANTONIO DE LA **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: CRISTINA M. DE LA FUENTE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLDA No. : T-52022 **Survey No. :** PSD-10-025138

CCT : _____ **Lot No. :** 38-C

Date : _____ **Blk. No.** _____

Boundaries: North: NE: 35-088 (PROPOSED ROAD)
East: SE: 35-068 (38-B, PSD-10-025138)
South: SW: 35-103 (39, PLS-987)
West: NW: 35-066 (38-D, PSD-10-025138)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	BU4	1.100000	HA	162,184.00	AGRICULTURAL	10%	16,220.00
TOTAL:		1.100000	HA	162,184.00			16,220.00

Total Market Value : **P 162,184.00** Total Assessed Value : **P 16,220.00**

Total Assessed Value SIXTEEN THOUSAND TWO HUNDRED TWENTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BENASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002039

Previous PIN : 059-06-001-35-067

Previous Owner : FUENTE, ANTONIO DE LA

Previous Administrator : MARRIED TO: CRISTINA M. DE LA FUENTE

Previous Area (sqm) : 11,000.00 **Previous M.V. Php :** 42,680.00 **Previous A.V. Php :** 10,670.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWOGAN under Ordinance No. 2017-0546(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACKS v2.3 PRINTED BY : JOHANN V. MACAPAZ PRINT DATE : 2019-11-28 01:03:38

mother lot # 38, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01801 **Property Identification No. :** 059-06-001-35-068

Owner: FUENTE, ANTONIO DE LA **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: CRISTINA M. DE LA FUENTE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Number and Street) (Barangay/City) (Municipality & Province/City)

OCT/TCT/CLOA No. : T-52021 **Survey No. :** PSD-10-025138

CCT : _____ **Lot No. :** 38-B

Date : _____ **Blk. No.** _____

Boundaries: North: NE: 35-080 (PROPOSED ROAD)

East: SE: 35-069 (38-A, PSD-10-025138)

South: SW: 35-102 (1, PCS-10-003289)

West: NW: 35-067 (38-C, PSD-10-025138)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	BU4	1.101300	HA	162,376.00	AGRICULTURAL	10%	16,240.00
TOTAL:		1.101300	HA	162,376.00			16,240.00

Total Market Value : **P 162,376.00** Total Assessed Value : **P 16,240.00**

Total Assessed Value SIXTEEN THOUSAND TWO HUNDRED FORTY AND 00/100

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:**

ASSESSMENT CLERK II JOCELYN J. KINAGAG, REA

This declaration cancels TD No. : H-002040 **MUNICIPAL ASSESSOR**

Previous TIN : 059-06-001-35-068

Previous Owner : FUENTE, ANTONIO DE LA

Previous Administrator : MARRIED TO: CRISTINA M. DE LA FUENTE

Previous Area (sqm) : 11,013.00 Previous M.V. Php : 42,730.00 Previous A.V. Php : 10,680.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JOHANN V. MACAPAZ PRINT DATE : 2019-11-20 05:12:54

Mother Lot # 38, PCS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01802 **Property Identification No. :** 059-06-001-35-069

Owner: FUENTE, ANTONIO DE LA **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: CRISTINA M. DE LA FUENTE **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUGONG, BUKIDNON

(Barangay and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : T-52026 **Survey No. :** PSD-10-025138

CCT : _____ **Lot No. :** 38-A

Date : _____ **BLK. No.** _____

Boundaries: North: NE: 35-080 (PROPOSED ROAD)

East: SE: 35-082 (PROVINCIAL ROAD)

South: SW: 35-102 (1, PCS-10-003289)

West: NW: 35-068 (38-B, PSD-10-025138)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	1.100300	HA	187,051.00	AGRICULTURAL	10%	18,710.00
TOTAL:		1.100300	HA	187,051.00			18,710.00

Total Market Value : P 187,051.00 Total Assessed Value : P 18,710.00

Total Assessed Value: EIGHTEEN THOUSAND SEVEN HUNDRED TEN AND 00/100

Taxable : ☒ **Exempt :** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCelyn J. Dinaag, REA

ASSESSMENT CLERK II MUNICIPAL ASSESSOR II

This declaration cancels TD No. : H-002041

Previous PIN : 059-06-001-35-069

Previous Owner : FUENTE, ANTONIO DE LA

Previous Administrator : MARRIED TO: CRISTINA M. DE LA FUENTE

Previous Area (sqm) : 11,003.00 **Previous M.V. Php :** 42,692.00 **Previous A.V. Php :** 10,670.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGLULAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.0 PRINTED BY : JOHANN V. MACAPAZ PRINT DATE : 2018-11-26 01:15:58

Noted Lot #: 38, PS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01927 **Property Identification No. :** 059-06-001-35-102

Owner: AGBAYANI, FLOR V. **TIN:** _____

Address: JUANILLA VILLAGE, VALENCIA CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: NENITA AGBAYANI **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : T-89188 **Survey No. :** PCS-10-003289

OCT : _____ **Lot No. :** 1

Date : _____ **Sk. No.** _____

Boundaries: North: NE: 35-068 & 069 (35-B & A, ALL PSD-10-025138)

East: SE: 35-082 (PROVINCIAL ROAD)

South: SW: 35-105 (39-C, PSD-10-041417)

West: NW: 35-103 (39, PLS-987)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.204600	HA	299,826.00	AGRICULTURAL	10%	29,980.00
TOTAL:		2.204600	HA	299,826.00			29,980.00

Total Market Value : **P 299,826.00** Total Assessed Value : **P 29,980.00**

Total Assessed Value TWENTY NINE THOUSAND NINE HUNDRED EIGHTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. KINABAG, REA

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration circums TD No. : H-011828

Previous PIN : 059-06-001-35-102

Previous Owner : AGBAYANI, FLOR V.

Previous Administrator : MARRIED TO: NENITA AGBAYANI

Previous Area (sqm) : 0.00 **Previous H.V. Php :** 0.00 **Previous A.V. Php :** 0.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGTAR under Ordinance No. 2017-0540(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JORHAE V. MACAPAZ PRINT DATE : 2019-11-20 04:26:44

Mother Lot # 39, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01937 **Property Identification No. :** 059-06-001-35-103

Owner: GAYON, JEOFFREY G. **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: ROSAMISTICA A. GAYON **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: ANASAGON POBLACION IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : AT-21337 **Survey No. :** PSD-10-041417

OCT : _____ **Lot No. :** 39-B

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 35-066 & 067 (38-D & 38-C, ALL PSD-10-025138)

East: SE: 35-102 (1, PCS-10-003289)

South: SW: 35-105 (39-C, PSD-10-041417)

West: NW: LOT 39-C, PSD-10-041417

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.150300	HA	260,272.00	AGRICULTURAL	10%	26,030.00
TOTAL:		2.150300	HA	260,272.00			26,030.00

Total Market Value : P 260,272.00 **Total Assessed Value :** P 26,030.00

Total Assessed Value TWENTY SIX THOUSAND THIRTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA J. RIVERA, REA **By Authority of the Provincial Assessor:** _____
ASSESSMENT CLERK II JOCelyn J. BUNAG, REA
H-016251 **MUNICIPAL ASSESSOR**

This declaration concerns TD No. : H-016251

Previous PIN : 059-06-001-35-103

Previous Owner : GAYON, JEOFFREY G.

Previous Administrator : MARRIED TO: ROSAMISTICA A. GAYON

Previous Area (sqm) : 21,503.00 **Previous M.V. Php :** 81,711.40 **Previous A.V. Php :** 20,430.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.3 PRINTED BY : JOHANN V. MACAFIAZ PRINT DATE : 2018-11-26 04:01:37

Mother Lot # : 39, PCS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01938 **Property Identification No. :** 059-06-001-35-104

Owner: GAYON, RENATO G. **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: HILDA JANE GAYON **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: ANASAGON POBLACION IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : AT-21338 **Survey No. :** PSD-10-041417

CCT : _____ **Lot No. :** 39-C

Date : _____ **Blk. No.** _____

Boundaries: North: NE: 35-064 & 065 (38-F & 38-E, ALL OF PSD-10-025138)

East: SE: 35-103 (39-39, PLS-987)

South: SW: 36-074 (40-B, PSD-10-039539)

West: NW: LOT 35, PLS-987

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.150300	HA	260,272.00	AGRICULTURAL	10%	26,030.00
TOTAL:		2.150300	HA	260,272.00			26,030.00

Total Market Value : P. 260,272.00 Total Assessed Value : P. 26,030.00

Total Assessed Value TWENTY SIX THOUSAND THIRTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-016252

Previous PIN : 059-06-001-35-104

Previous Owner : GAYON, RENATO G.

Previous Administrator : MARRIED TO: HILDA JANE GAYON

Previous Area (sqm) : 21,503.00 Previous M.V. Php : 81,711.40 Previous A.V. Php : 20,430.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAMITGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : (ETRACS v2.3) PRINTED BY : JOHANNA V. MACAPAZ PRINT DATE : 2019-11-20 04:37:42

Mother Lot # : 39, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-01939** Property Identification No. : **059-06-001-35-105**

Owner: **GAYON, RESTITUTO P** TIN: _____
 Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **ANASAGON** **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/T/CLOA No. : **P-6235-REM. PART** Survey No. : **PLS-987**
 OCT : _____ Lot No. : **39**
 Date : _____ Bk. No. : _____

Boundaries: North: **NE: 35-103 & 102 (39-B, PSD-10-041417 & 1, PCS-10-003289)**
 East: **SE: 35-082 (PROVINCIAL ROAD)**
 South: **SW: 36-074 & 072 (40-B & 40-A, ALL OF PSD-10-039539), PLS-987**
 West: **NW: LOT 39-C, PSD-10-041417**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	0.425100	HA	\$6,658.00	AGRICULTURAL	10%	5,670.00
TOTAL:		0.425100	HA	\$6,658.00			5,670.00

Total Market Value : **P 56,658.00** Total Assessed value : **P 5,670.00**
 FIVE THOUSAND SIX HUNDRED SEVENTY AND 00/100

Total Assessed Value _____
 Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA R. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
 ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-016253**
 Previous PDN : **059-06-001-35-105**
 Previous Owner : **GAYON, RESTITUTO P**
 Previous Administrator : _____
 Previous Area (sqm) : **4,251.00** Previous M.V., Php : **16,154.00** Previous A.V., Php : **4,040.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALALAWIGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.1 PRINTED BY : JOHANN V. MACAPAZ PRINT DATE : 2019-11-30 04:42:56

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01809 **Property Identification No. :** 059-06-001-35-074

Owner: CAGANG, PERFECTO **TIN:** _____

Address: IMPALAMBONG, MALAYBALAY CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: DAISY CAGANG **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : T-32720 **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 48

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 35-070 (43, PLS-987)

East: SE: 36-008 (47, PLS-987)

South: SW: 36-006 (49, PLS-987)

West: NW: 35-082 (PROVINCIAL ROAD)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	2.613200	HA	444,244.00	AGRICULTURAL	10%	44,420.00
TOTAL:		2.613200	HA	444,244.00			44,420.00

Total Market Value : P 444,244.00 Total Assessed Value : P 44,420.00

Total Assessed Value: FORTY FOUR THOUSAND FOUR HUNDRED TWENTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCKEY S. BERNAG, REA

ASSESSMENT CLERK II MUNICIPAL ASSESSOR II

This declaration cancels TD No. : H-002047

Previous PIN : 059-06-001-35-074

Previous Owner : CAGANG, PERFECTO

Previous Administrator : MARRIED TO: DAISY CAGANG

Previous Area (sqm) : 26,132.00 **Previous M.V. Php :** 104,528.00 **Previous A.V. Php :** 26,130.00

MEMORANDA: GENERAL REVISION OF 2018

Annotations:

MORTGAGED FOR 100,000.00 TO THE MALAYBALAY RURAL BANK BY PERFECTO CAGANG ON MAY 4, 2010. (SGD) J.L.S. ALAR


Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and shall be subject to an order by the SANGGUNIANG PAMALAYTAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot be used for any other purpose not related to the property.

GENERATED BY: STANIS K. B. BERNAG **PRINTED BY:** JOCKEY S. BERNAG **PRINT DATE:** 2018-11-20 01:40:45

009 October 1, 2019

Signed by A. A. Bernag

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-02330 **Property Identification No. :** 059-06-001-36-006

Owner: SAGUBAN, JOELUIS O. **TIN:** _____

Address: PATAG, CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : T-110315 **Survey No. :** PLS-987

CCT : _____ **Lot No. :** 49

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 35-074 (48, PLS-987)

East: SE: 36-007 (50, PLS-987)

South: SW: 36-059 (ROAD LOT)

West: NW: 36-059 (ROAD LOT)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.100500	HA	271,385.00	AGRICULTURAL	10%	27,140.00
TOTAL:		2.100500	HA	271,385.00			27,140.00

Total Market Value : **P 271,385.00** Total Assessed Value : **P 27,140.00**

Total Assessed Value TWENTY SEVEN THOUSAND ONE HUNDRED FORTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BERNAG, REA

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-013507

Previous PIN : 059-06-001-36-006

Previous Owner : SAGUBAN, JOELUIS O.

Previous Administrator : _____


Previous Area (sqm) : 21,005.00 **Previous M.V. Ptp :** 82,340.00 **Previous A.V. Ptp :** 20,590.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYWIGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ITRACS v2.3 PRINTED BY : MARK ENRILOSON S. TINGALAN PRINT DATE : 2019-11-21 10:59:23

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-02331 **Property Identification No. :** 059-06-001-36-007

Owner: MORENTO, FLORENCIO **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: PANJOON POBLACION IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/Village) (Municipality & Province/City)

OCT/TC/CLDA No. : T-17427 **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 50

Date : _____ **Bk. No. :** _____

Boundaries: North: NE: 35-074 (48, PLS-987)
East: SE: 36-008 (47, PLS-169)
South: SW: PROPOSED ROAD
West: NW: PROPOSED ROAD

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	1.248000	HA	164,636.00	AGRICULTURAL	10%	16,460.00
TOTAL:		1.248000	HA	164,636.00			16,460.00

Total Market Value : **P 164,636.00** Total Assessed Value : **P 16,460.00**

Total Assessed Value SIXTEEN THOUSAND FOUR HUNDRED SIXTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOSEPH J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002066

Previous TIN : 059-06-001-36-007

Previous Owner : MORENTO, FLORENCIO

Previous Administrator : _____


Previous Area (sqm) : 12,480.00 **Previous M.V. Php :** 88,422.40 **Previous A.V. Php :** 12,110.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGATAGAN under Ordinance No. 2017-05-01 (L3TH SF) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v1.5 PRINTED BY : MARK OVERLON S. TINGALAN PRINT DATE : 2019-06-29 03:38:23

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-02335 **Property Identification No. :** 059-06-001-36-013

Owner: MORENTO, FLORENCIO **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: MORENTO, PURITA A. **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Municipality & Province/City)

OCT/TC/TICLOA No. : P-33572 **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 52

Date : _____ **BLK. No.** _____

Boundaries: North: NE: ROAD
 East: SE: ROAD
 South: SW: 36-083 & 084 (53-A & B, ALL PSD-10-032210)
 West: NW: 36-088 (51-B, PSD-10-057562)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.383200	HA	311,753.00	AGRICULTURAL	10%	31,180.00
AGRICULTURAL	RL2	0.500000	HA	65,960.00	AGRICULTURAL	10%	6,600.00
TOTAL:		2.883200	HA	377,713.00			37,780.00

Total Market Value : P 377,713.00 **Total Assessed Value :** P 37,780.00

Total Assessed Value THIRTY SEVEN THOUSAND SEVEN HUNDRED EIGHTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCelyn J. Binasag, REA
 ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002072

Previous PIN : 059-06-001-36-013

Previous Owner : MORENTO, FLORENCIO

Previous Administrator : MARRIED TO: MORENTO, PURITA A.

Previous Area (sqm) : 28,632.00 **Previous M.V. Php :** 110,607.00 **Previous A.V. Php :** 27,650.00


MEMORANDA: GENERAL REVISION OF 2018

Annotations:
 THIS INSTRUMENT HAS BEEN ANNOTATED BY ME THIS 22ND DAY OF SEPTEMBER, 2006 FROM THE ORIGINAL OF TAX DECLARATION NO. H-002072 IN THE POSSESSION OF ASIAN HILLS BANK, INC.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYAN under Ordinance No. 2017-054R(JTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETAXCS v2.1 PRINTED BY : MARC ENRIQUE S. TINGALAN PRINT DATE : 2018-11-21 11:28:04

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-00463** Property Identification No. : **059-06-001-36-011**

Owner: **FERNANDEZ, ANA MARIE T.** TIN: _____

Address: **CAGAYAN DE ORO CITY** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: **SAN JUAN** **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **T-78108** Survey No. : **PSD-10-022346**

CCT : _____ Lot No. : **54-A**

Date : _____ Blk. No. _____

Boundaries: North: **NE: ROAD**

East: **SE: 36-010 (55, PLS-987)**

South: **SW: 36-012 (54-B, PLS-169)**

West: **NW: ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ BUILDING No. of Storeys : _____

☐ MACHINERY Brief Description : _____

☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	1.500000	HA	242,230.00	AGRICULTURAL	10%	24,230.00
TOTAL:		1.500000	HA	242,230.00			24,230.00

Total Market Value : **P 242,230.00** Total Assessed Value : **P 24,230.00**

Total Assessed Value **TWENTY FOUR THOUSAND TWO HUNDRED THIRTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BIRASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-002070**

Previous PIN : **059-06-001-36-011**

Previous Owner : **FERNANDEZ, ANA MARIE T.**

Previous Administrator : _____

Previous Area (sqm) : **15,000.00** Previous M.V. Ptp : **58,200.00** Previous A.V. Ptp : **14,550.00**


MEMORANDA: GENERAL REVISION OF 2019

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-11-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETANCOS & S. PRINTED BY : JOCELYN J. BIRASAG, REA PRINT DATE : 2019-06-20 09:55:48

Matua Lot # 54, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-02334** Property Identification No. : **059-06-001-36-012**

Owner: **LUNDA, LUCIANO** TIN: _____
 Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **LINDONGAN, CRISTINA LUNDA** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **SAN JUAN** **POBLACION** **IMPASUGONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **P-6305-PART** Survey No. : **PLS-987**
 OCT : _____ Lot No. : **54-B**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 36-011 (54, PLS-169)**
 East: **SE: 36-010 (55, PLS-169)**
 South: **SW: 36-030 (54-C, PSD-10-022346)**
 West: **NW: ROAD**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	1.249800	HA	164,874.00	AGRICULTURAL	10%	16,490.00
TOTAL:		1.249800	HA	164,874.00			16,490.00

Total Market Value : **P 164,874.00** Total Assessed Value : **P 16,490.00**

Total Assessed Value **SIXTEEN THOUSAND FOUR HUNDRED NINETY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCKEY Z. BINASAG, REA**
This declaration cancels TD No. : **H-002071** MUNICIPAL ASSESSOR
Previous TIN : **059-06-001-36-012**
Previous Owner : **LUNDA, LUCIANO**
Previous Administrator : **LINDONGAN, CRISTINA LUNDA**
Previous Area (sqm) : **12,498.00** Previous M.V. Php : **88,492.24** Previous A.V. Php : **12,120.00**


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGITAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : PAAC-EMERLSON S. TINGLAN PRINT DATE : 2018-11-20 11:22:13

Mother Lot# 54, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-00100 **Property Identification No. :** 059-06-001-36-008

Owner: REYES, ISIDRO **TIN:** _____

Address: BULUA, CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: ANASAGON POBLACION IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/Centro) (Municipality & Province/City)

OCT/TC/CLOA No. : T-16755 **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 47

Date : _____ **Bk. No. :** _____

Boundaries: North: NE: SECTION 35
East: SE:36-009 (46, PLS-987)
South: SW: PROPOSED ROAD
West: NW:36-007 & SEC. 35 (50, PLS-987)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	PS1	5.222600	HA	2,817,070.00	AGRICULTURAL	10%	281,710.00
TOTAL:		5.222600	HA	2,817,070.00			281,710.00

Total Market Value : P 2,817,070.00 Total Assessed Value : P 281,710.00

Total Assessed Value TWO HUNDRED EIGHTY ONE THOUSAND SEVEN HUNDRED TEN AND 00/100

Taxable ☒ Exempt ☐ Effectivity of Assessment : 2019

Appraised By: JOCELYN J. BIRASAG, REA **By Authority of the Provincial Assessor:** JOCELYN J. BIRASAG, REA
MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-002067

Previous TIN : 059-06-001-36-008

Previous Owner : REYES, ISIDRO

Previous Administrator : _____


Previous Area (sqm) : 52,226.00 Previous H.V. Php : 767,095.49 Previous A.V. Php : 191,770.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAUNGAN under Ordinance No. 3017-094R(13TH SF) dated 2017-12-13. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : CTRACS v2.5 PRINTED BY : JOCELYN J. BIRASAG, REA PRINT DATE : 2019-06-28 11:44:00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-00101** Property Identification No. : **059-06-001-36-010**

Owner: **PAJAREN, GERONIMO A.** TIN: _____

Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **T-19883** Survey No. : **PLS-987**

CCT : _____ Lot No. : **55**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: ROAD**

East: **SE:36-031(56, PLS-987) & ROAD**

South: **SW:36-058**

West: **NW: SEC. 36-011 & 012**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	P11	1.799600	HA	970,704.00	AGRICULTURAL	10%	97,070.00
TOTAL:		1.799600	HA	970,704.00			97,070.00

Total Market Value : **P 970,704.00** Total Assessed Value : **P 97,070.00**

NINETY SEVEN THOUSAND SEVENTY AND 00/100

Total Assessed Value _____

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **JOCELYN J. BINASAG, REA** By Authority of the Provincial Assessor: _____
MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-002069**

Previous PSN : **059-06-001-36-010**

Previous Owner : **PAJAREN, GERONIMO A.**

Previous Administrator : _____


Previous Area (sqm) : **17,996.00** Previous M.V. Php : **251,368.13** Previous A.V. Php : **62,840.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANALAMUNGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETBACS v2.0 PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2019-06-08 01:22:19

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-05016 **Property Identification No. :** 059-06-001-36-100

Owner: ANA MARIE T. FERNANDEZ (MARIED) **TIN:** _____

Address: CAGAYAN DE ORO CITY **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, PROVINCE OF

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCI/TC/CLOA No. : 133-2018003744 **Survey No. :** PSD-10-047198

CCT : _____ **Lot No. :** 56-A

Date : 2017-07-24 **Blk. No.** _____

Boundaries: North: NE: 36-010 (55, PLS-169)

East: SE: 36-101 & 102 (56-B & 56-C, ALL OF PSD-10-047198)

South: SW: 36-102 (56-C, PSD-10-047198)

West: NW: 36-029 & 030 (54 & 54-C, PLS-987 & PSD-10-022346)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	1.000000	HA	116,900.00	AGRICULTURAL	10%	11,700.00
TOTAL:		1.000000	HA	116,900.00			11,700.00

Total Market Value : **P 116,900.00** Total Assessed Value : **P 11,700.00**

Total Assessed Value **ELEVEN THOUSAND SEVEN HUNDRED AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2020**

Appraised By: LEONARDA A. RIVERA, REA **Recommended By:** JOCELYN J. BIRASAG, REA **Approved By:** ROGER G. GUILLERMO REE, REA, ENP

ASSESSMENT CLERK II MUNICIPAL ASSESSOR PROVINCIAL ASSESSOR

This declaration concerns TD No. : 06-001-02343

Previous PIN : 059-06-001-36-031

Previous Owner : BINAYAO, RODOLFO (HEIRS OF)

Previous Administrator : REP. BY: ENRIQUE BINAYAO

Previous Area (sqm) : 40,802.00 Previous M.V. Php : 527,162.00 Previous A.V. Php : 52,720.00

MEMORANDA: TRANSFERRED FROM HEIRS OF RODOLFO BINAYAO TO ANA MARIE T. FERNANDEZ BY VIRTUE OF DEED OF ABSOLUTE SALE EXECUTED BEFORE ATTY GERARDO J. MORILLO, NOTARY PUBLIC FOR AND IN THE PROVINCE OF BUKIDNON PER DOC. NO. 102, BOOK NO. 21, PAGE NO. XXXIV, SERIES OF 2014 AND TO CONFORM WITH TRANSFER CERTIFICATE OF TITLE NO. 133-2018003744. THIS IS ALSO SUPPORTED WITH APPROVED SUCCESSION PLAN SURVEY NO. PSD-10-047198.

REALTY TAX PAID UP TO 2019 UNDER OR. NO. 6970782, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

TRANSFER TAX PAID IN AMOUNT OF PHP 1,578.00 PER O.J. NO. 6212798 DATED JUNE 01, 2017 AT PTO-BUKIDNON.

ADDITNL. TRANSFER TAX PAID IN AMOUNT OF PHP 1,474.00 PER O.J. NO. 8643167, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

ECAR201500404101 AMOUNT PAID PHP5,667.67 (CGT), PHP1,574.32 (DST), SIGNED BY MANPAY U. PANGCOGA AUTHORIZED REVENUE OFFICIAL, RDO NO. 099 - MALAYBALAY, BUKIDNON


RRL NO. 16 - CAGAYAN DE ORO CITY.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGANG KALALAYAN under Ordinance No. 2017-0546(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.1 PRINTED BY : NICHOL INDUSTRIES SAGA PRINT DATE : 2019-03-20 02:46:06

110/lot Lot # : 56, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

 **Republic of the Philippines**
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-05017 **Property Identification No. :** 059-06-001-36-101

Owner: ENRIQUE BINAYAO (MARRIED) **TIN:** _____

Address: POBLACION, IMPASUG-ONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, PROVINCE OF**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : 133-2018003745 **Survey No. :** PSD-10-047198

CCT : _____ **Lot No. :** 56-B

Date : 2017-07-24 **Blk. No. :** _____

Boundaries: North: NE: 36-018 (55, PLS-169)

East: SE: TAGABOLO CREEK

South: SW: 36-182 (56-C, PSD-10-047198)

West: NW: 36-188 (56-A, PSD-10-047198)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	1.080100	HA	130,736.00	AGRICULTURAL	10%	13,073.60
TOTAL:		1.080100	HA	130,736.00			13,073.60

Total Market Value : **P 130,736.00** Total Assessed Value : **P 13,073.60**

Total Assessed Value: **THIRTEEN THOUSAND SEVENTY AND 00/100**

Taxable: ☒ **Exempt:** ☐ **Effectivity of Assessment :** **2020**

Appraised By: LEONARDA N. RIVERA, REA **Recommended By:** JOCETH J. BINASAG, REA **Approved By:** ROGER A. GUTIERREZ, REA, ENP

ASSESSMENT CLERK II MUNICIPAL ASSESSOR PROVINCIAL ASSESSOR

This declaration cancels TD No. : 06-001-02343

Previous PIN : 059-06-001-36-831

Previous Owner : BINAYAO, RODOLFO (HEIRS OF)

Previous Administrator : REP. BY: ENRIQUE BINAYAO

Previous Area (sqm) : 40,802.00 **Previous M.V. Php :** 527,162.00 **Previous A.V. Php :** 52,720.00

MEMORANDA: TRANSFERRED FROM HEIRS OF RODOLFO BINAYAO TO ENRIQUE BINAYAO PER TRANSFER CERTIFICATE OF TITLE NO. 133-2018003745. THIS IS ALSO SUPPORTED WITH APPROVED SUBDIVISION PLAN SURVEY NO. PSD-10-047198.

REALTY TAX PAID UPTO 2019 UNDER OR. NO. 6970782, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

TRANSFER TAX PAID IN AMOUNT OF PHP 1,578.00 PER O.R. NO. 6212798 DATED JUNE 01, 2017 AT PTO-BUKIDNON.


ADDITIONAL TRANSFER TAX PAID IN AMOUNT OF PHP 1,474.00 PER O.R. NO. 8643167, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PHILANDONGAN under Ordinance No. 2017-05-RQ(13TH SP) dated 2017-12-13. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : CTRACS v1.1 PRINTED BY : RUBEN INDIUSTAN SAGA PRINT DATE : 2019-03-20 02:46:40

mother lot # 56, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-05019 **Property Identification No. :** 059-06-001-36-102

Owner: DANILO BINAYAO (MARRIED) **TIN:** _____

Address: POBLACION, IMPASUG-ONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, PROVINCE OF**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/ICT/CLA No. : 133-2018003746 **Survey No. :** PSD-10-047198

OCT : _____ **Lot No. :** 56-C

Date : 2017-07-24 **Blk. No.** _____

Boundaries: North: NE: 36-181 (56-B, PSD-10-047198)

East: SE: TAGABOLO CREEK

South: SW: 36-032 (57, PLS-987) ROAD LOT

West: NW: 36-029 & 180 (54 & 56-A, PLS-987 & PSD-10-047198)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.000010	HA	258,401.00	AGRICULTURAL	10%	25,840.00
TOTAL:		2.000010	HA	258,401.00			25,840.00

Total Market Value : **P 258,401.00** Total Assessed Value : **P 25,840.00**

Total Assessed Value TWENTY FIVE THOUSAND EIGHT HUNDRED FORTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment : 2020**

Appraised By: LEONARDA A. RIVERA, REA **Recommended By:** JOCelyn J. BINASAG, REA **Approved By:** ROGERO G. GUILLERMO RER, REA, ENP

ASSESSMENT CLERK II MUNICIPAL ASSESSOR PROVINCIAL ASSESSOR

This declaration concerns TD No. : 06-001-02343

Previous FPN : 059-06-001-36-031

Previous Owner : BINAYAO, RODOLFO (HEIRS OF)

Previous Administrator : REP. BY: ENRIQUE BINAYAO

Previous Area (sqm) : 40,882.00 **Previous M.V. Php :** 527,162.00 **Previous A.V. Php :** 52,726.00

MEMORANDA: TRANSFERRED FROM HEIRS OF RODOLFO BINAYAO TO DANILO BINAYAO PER TRANSFER CERTIFICATE OF TITLE NO. 133-2018003746. THIS IS ALSO SUPPORTED WITH APPROVED SUBDIVISION PLAN SURVEY NO. PSD-10-047198.

REALTY TAX PAID UP TO 2019 UNDER O.R. NO. 6970782, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

TRANSFER TAX PAID IN AMOUNT OF PHP 1,578.00 PER O.R. NO. 6212708 DATED JUNE 01, 2017 AT PTO-BUKIDNON.


ADDITNL. TRANSFER TAX PAID IN AMOUNT OF PHP 1,474.00 PER O.R. NO. 8643167, DATED JANUARY 28, 2019 AT MTO-IMPASUGONG, BUKIDNON.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMBALAYATAN under Ordinance No. 2017-05-49(12TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.1 PRINTED BY : RODEN BOUTAN SACA PRINT DATE : 2019-09-20 02:54:32

Mother Lot # 56, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-02344 **Property Identification No. :** 059-06-001-36-032

Owner: SUNGKIT, VIRGINIA **TIN:** _____

Address: POBLACION, IMPASUG-ONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/Zone) (Municipality & Province/City)

DCT/CT/CLOA No. : P-6366 **Survey No. :** PLS-987

CCT : _____ **Lot No. :** 57

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 36-031 (56, PLS-987)

East: SE: 36-058 (PUBLIC LAND)

South: SW: 36-055 (60, PLS-987)

West: NW: 36-033 (58, PLS-987)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	5.000000	HA	646,000.00	AGRICULTURAL	10%	64,600.00
TOTAL:		5.000000	HA	646,000.00			64,600.00

Total Market Value : **P 646,000.00** Total Assessed Value : **P 64,600.00**

Total Assessed Value **SIXTY FOUR THOUSAND SIX HUNDRED AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA N. RIVERA, REA **By Authority of the Provincial Assessor:**

ASSESSMENT CLERK II JOCelyn J. Mirasag, REA
MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-092087

Previous PIN : 059-06-001-36-032

Previous Owner : SUNGKIT, VIRGINIA

Previous Administrator : _____

Previous Area (sqm) : 50,000.00 Previous M.V. Php : 182,000.00 Previous A.V. Php : 45,500.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWITGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS V2.5 PRINTED BY : MARC EMERSON S. TINGALAN PRINT DATE : 2019-06-19 04:25:00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01833 **Property Identification No. :** 059-06-001-37-018

Owner: LAGRIMOSA, LOIDA T. **TIN:** _____

Address: RM.301 C.K. SY DIAMOND BUILDING 156 A. ARNAIZ AVENUE, PASAY CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: JOEMARLO B. LAGRIMOSA **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: KIBANGAN, POBLACION IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : T-96954 **Survey No. :** PLS-987

CCT : _____ **Lot No. :** 382

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 37-017 (381, PLS-987)
East: SE: 37-040 & 041 (383-A & 383-B, ALL PSD-10-062676))
South: SW: 37-022 (385, PLS-987)
West: NW: 37-023 (PUBLIC LAND) & TAGABOLO CREEK

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	6.913900	HA	1,022,566.00	AGRICULTURAL	10%	102,260.00
TOTAL:		6.913900	HA	1,022,566.00			102,260.00

Total Market Value : P 1,022,566.00 **Total Assessed Value :** P 102,260.00

Total Assessed Value ONE HUNDRED TWO THOUSAND TWO HUNDRED SIXTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA L. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN L. DINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration concerns TD No. : H-012291

Previous PIN : 059-06-001-37-018

Previous Owner : LAGRIMOSA, LOIDA T.

Previous Administrator : MARRIED TO: JOEMARLO B. LAGRIMOSA


Previous Area (sqm) : 69,139.00 **Previous M.V. Php :** 887,714.00 **Previous A.V. Php :** 221,930.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : LIZARDO S. LABAURA PRINT DATE : 2018-11-18 11:46:15

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-02804 **Property Identification No. :** 059-06-001-37-048

Owner: ESTONILO, GARRY (SINGLE) **TIN:** _____

Address: LA FORTUNA, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **POBLACION** IMPASUG-ONG, BUKIDNON

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : T-129313 **Survey No. :** PSD-10-062676

OCT : _____ **Lot No. :** 383-A

Date : _____ **Blk. No.** _____

Boundaries: North: 17-016 (380, PLS-169)

East: SE: 37-025 (PUBLIC LAND) KIBANGAN CREEK

South: SW: 37-049 (383-B, PSD-10-062676)

West: NW-ALONG LINE 1-2 BY LOT 382

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	RE1	2.558800	HA	1,058,959.00	AGRICULTURAL	10%	105,900.00
TOTAL:		2.558800	HA	1,058,959.00			105,900.00

Total Market Value : **P 1,058,959.00** Total Assessed Value : **P 105,900.00**

Total Assessed Value **ONE HUNDRED FIVE THOUSAND NINE HUNDRED AND 00/100**

Appraised By: LEONARDA RIVERA, REA **Effectivity of Assessment :** 2019

ASSESSMENT CLERK II

By Authority of the Provincial Assessor: JOCELYN J. BENAG, REA

MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-015660

Previous PIN : 059-06-001-37-048

Previous Owner : ESTONILO, GARRY (SINGLE)

Previous Administrator : _____

Previous Area (sqm) : 25,588.00 Previous M.V. Php : 443,667.00 Previous A.V. Php : 110,920.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMULAHAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.5 PRINTED BY : LIZARDO S LABAURA PRINT DATE : 2019-06-15 03:35:22

McAker Lot # : 383, PLS-487

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-02797** Property Identification No. : **059-06-001-37-049**

Owner: **SIAPUATCO, PRINCES HAMELITA ACUÑA** TIN: _____

Address: **BLK 31, LOT 11 TO 14 GARNET ST. RUBY SUBD. CATALUNAN GRANDE, DAVAO CITY** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: RIZALINO L. SIAPUATCO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ POBLACION **IMPASUG-ONG, BUKIDNON**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **T-129314** Survey No. : **383-B, PSD-10-062676**

OCT : _____ Lot No. : **383-B, PSD-10-062676**

Date : _____ Blk. No. : _____

Boundaries: North: **NE:37-048 (383-A, PSD-10-062676)**

East: **SE: 37-025 (PUBLIC LAND) & KIBANGAN CREEK**

South: **SW: BARANGAY LA FORTUNA**

West: **NW:37-018 (382, PLS-987)**

KIND OF PROPERTY ASSESSED : _____

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	BE1	3.000000	HA	1,241,550.00	AGRICULTURAL	10%	124,160.00
TOTAL:		3.000000	HA	1,241,550.00			124,160.00

Total Market Value : **P 1,241,550.00** Total Assessed Value : **P 124,160.00**

Total Assessed Value **ONE HUNDRED TWENTY FOUR THOUSAND ONE HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-015661**

Previous PSN : **059-06-001-37-049**

Previous Owner : **SIAPUATCO, PRINCES HAMELITA ACUÑA**

Previous Administrator : **MARRIED TO: RIZALINO L. SIAPUATCO**

Previous Area (sqm) : **30,000.00** Previous M.V. Php : **497,755.00** Previous A.V. Php : **124,440.00**


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : MARC EMBELSON S. TINGALAN PRINT DATE : 2019-05-25 11:52:25

Remarks:
mother LOT# 383, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-001-01598** Property Identification No. : **059-06-001-37-020**

Owner: **LAGRIMOSA, LOIDA T.** TIN: _____
 Address: **RM.301 C.K. SY DIAMOND BUILDING 156 A.ARNATZ AVENUE,PASAY CITY** Telephone No. : _____
 Administrator/Beneficial User: **MARRIED TO: JOEMARLO B. LAGRIMOSA** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **KIBANGAN, MODULE 1** **POBLACION** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **T-96948** Survey No. : **PSD-10-009721**
 CCT : _____ Lot No. : **384-B**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 37-015 (384-A, PSD-10-00721)**
 East: **SE: PUBLIC LAND (STEEP BANK)**
 South: **SW: 37-021 (384-C, PLS-987, PSD-10-00721)**
 West: **NW: 37-025 (PUBLIC LAND)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	7.800000	HA	1,153,620.00	AGRICULTURAL	10%	115,360.00
TOTAL:		7.800000	HA	1,153,620.00			115,360.00

Total Market Value : **P 1,153,620.00** Total Assessed Value : **P 115,360.00**

Total Assessed Value: **ONE HUNDRED FIFTEEN THOUSAND THREE HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-012289**
 Previous PSN : **059-06-001-37-020**
 Previous Owner : **LAGRIMOSA, LOIDA T.**
 Previous Administrator : **MARRIED TO: JOEMARLO B. LAGRIMOSA**
 Previous Area (sqm) : **78,000.00** Previous M.V. Php : **676,822.75** Previous A.V. Php : **160,200.00**


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : EYRACS v1.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2018-11-07 01:02:24

Remarks:
Mother Lot # : 384, PLS-987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-001-01602 **Property Identification No. :** 059-06-001-37-021

Owner: LAGRIMOSA, LOIDA T. **TIN:** _____

Address: RM.301 C.K. 5Y DIAMOND BUILDING 156 A. ARNAIZ AVENUE, PASAY CITY **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: JOEMARLO B. LAGRIMAS **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: KIBANGAN, MODULE 1, **POBLACION** IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay-Division) (Municipality & Province/City)

OCT/TCT/COA No. : T-96943 **Survey No. :** PSD-10-009721

CCT : _____ **Lot No. :** 384-C,

Date : _____ **BR. No.** _____

Boundaries: North: NE:37-020 (384-B, PSD-10-009721)

East: SE: PUBLIC LAND (STEEP BANK)

South: SW: BARANGAY LA FORTUNA

West: NW:37-025 (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	8.120500	HA	1,228,632.00	AGRICULTURAL	10%	122,860.00
TOTAL:		8.120500	HA	1,228,632.00			122,860.00

Total Market Value : **P 1,228,632.00** Total Assessed Value : **P 122,860.00**

Total Assessed Value ONE HUNDRED TWENTY TWO THOUSAND EIGHT HUNDRED SIXTY AND 00/100

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-012286

Previous PIN : 059-06-001-37-021

Previous Owner : LAGRIMOSA, LOIDA T.

Previous Administrator : MARRIED TO: JOEMARLO B. LAGRIMAS

Previous Area (sqm) : 81,205.00 Previous M.V. Php : 688,233.00 Previous A.V. Php : 172,060.00


MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAGAN under Ordinance No. 2017-014R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETXACS v2.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2018-11-07 02:04:34

Remarks:
Molken LOT# : 384, PLS 987

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-012-00173** Property Identification No. : **059-06-012-03-002**

Owner: **ECAT, GODOFREDO** TIN: _____
 Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **KIBANGAN** **LA FORTUNA** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : **P-6359** Survey No. : **PLS-987**
 CCT : _____ Lot No. : **388**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: BRGY. POBLACION**
 East: **SE: 03-003 (389, PLS-987)**
 South: **SW: 03-006 & 007 (391 & 390, BOTH OF PLS-987-1009722)**
 West: **NW:03-028 (PUBLIC LAND & KIBANGAN CREEK)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	3.000000	HA	253,980.00	AGRICULTURAL	10%	25,400.00
AGRICULTURAL	RE3	2.333400	HA	534,535.00	AGRICULTURAL	10%	53,450.00
TOTAL:		5.333400	HA	788,515.00			78,850.00

Total Market Value : **P 788,515.00** Total Assessed Value : **P 78,850.00**

Total Assessed Value: **SEVENTY EIGHT THOUSAND EIGHT HUNDRED FIFTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA R. RIVERA, REA** By Authority of the Provincial Assessor: **JOCKEN J. RIVASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-008891**
 Previous PDN : **059-06-012-03-002**
 Previous Owner : **ECAT, GODOFREDO**
 Previous Administrator : _____
 Previous Area (sqm) : **53,334.00** Previous M.V. Php : **295,166.00** Previous A.V. Php : **73,790.00**

MEMORANDA: GENERAL REVISION OF 2018

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v2.1 PRINTED BY : AUREEN AMOR ABEDA ZARBAZ PRINT DATE : 2019-04-01 10:25:18

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-012-00174 **Property Identification No. :** 059-06-012-03-003

Owner: LAGRIMAS, JOSEFINA M. (WIDOW) **TIN:** _____

Address: MALAYBALAY BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **LA FORTUNA** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : T-43339 **Survey No. :** PLS-987

OCT : _____ **Lot No. :** 389

Date : _____ **GR. No.** _____

Boundaries: North: NE: BRGY. POBLACION
 East: SE: 03-027
 South: SW: 03-005 & 006 (392 & 391, BOTH OF PLS-987)
 West: NW: 03-002 (388, PLS-987)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CRJ	4.109000	HA	347,868.00	AGRICULTURAL	10%	34,790.00
TOTAL:		4.109000	HA	347,868.00			34,790.00

Total Market Value : **P 347,868.00** Total Assessed Value : **P 34,790.00**

Total Assessed Value **THIRTY FOUR THOUSAND SEVEN HUNDRED NINETY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOSEFINA M. BENASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-009892

Previous PIN : 059-06-012-03-003

Previous Owner : LAGRIMAS, JOSEFINA M. (WIDOW)

Previous Administrator : _____


Previous Area (sqm) : 41,090.00 Previous M.V. Php : 107,245.00 Previous A.V. Php : 26,810.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANALAWIGAN under Ordinance No. 2017-0548(12TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v2.5 PRINTED BY : MARC EMERSON S. TINGALAN PRINT DATE : 2019-02-27 10:20:17

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00784 **Property Identification No. :** 059-06-004-10-037

Owner: ACUÑA, LOLITA T. **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUGONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : T-21256- REM. PRT **Survey No. :** 85D-10-002834

CCT : _____ **Lot No. :** 84 - D

Date : _____ **Blk. No.** _____

Boundaries: North: NE:10-022 (PUBLIC LAND)
 East: SE:10-019 (85, PLS-273)
 South: SW: 12
 West: NW: 10-038 (84-A, 85D-10-002834)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CE3	0.300100	HA	26,019.00	AGRICULTURAL	10%	2,600.00
TOTAL:		0.300100	HA	26,019.00			2,600.00

Total Market Value : **P 26,019.00** Total Assessed Value : **P 2,600.00**

Total Assessed Value TWO THOUSAND SIX HUNDRED AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA N. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-013337

Previous PTN : 059-06-004-10-037

Previous Owner : ACUÑA, LOLITA T.

Previous Administrator : _____


Previous Area (sqm) : 3,001.00 **Previous M.V. Php :** 7,292.00 **Previous A.V. Php :** 1,820.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETAC3 v2.3 PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2019-02-07 06:51:08

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00143** Property Identification No. : **059-06-004-10-038**

Owner: **ACUÑA, HOWARD T.** TIN: _____

Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay District) (Municipality & Province/City)

OCT/CT/CLOA No. : **AT-13222** Survey No. : **BSD-10-002834(AR)**

OCT : _____ Lot No. : **84 - A**

Date : _____ Bk. No. _____

Boundaries: North: **NE:10-019 (85, PLS-273)**

East: **SE: 10-039 (84-B, BSD-10-002834(AR))**

South: **SW:11-001 (83-A, PSD-10-024759)**

West: **NW: 10-037 (84-D, BSD-10-002834)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	3.000000	HA	346,800.00	AGRICULTURAL	10%	34,680.00
TOTAL:		3.000000	HA	346,800.00			34,680.00

Total Market Value : **P 346,800.00** Total Assessed Value : **P 34,680.00**

Total Assessed Value: **THIRTY FOUR THOUSAND SIX HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCelyn J. Binasag, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-013338**

Previous PSN : **059-06-004-10-038**

Previous Owner : **ACUÑA, HOWARD T.**

Previous Administrator : _____


Previous Area (sqm) : **30,000.00** Previous M.V. Php : **72,900.00** Previous A.V. Php : **18,230.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAHIGAN under Ordinance No. 2017-0249(LETH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS 4.5 PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2019-02-27 04:52:02

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00144 **Property Identification No. :** 059-06-004-10-039

Owner: ACUÑA, LOLITA T. **TIN:** _____

Address: POBLACION, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CTC/CLCA No. : T-105671 **Survey No. :** BSD-10-002834(AR)

CCT : _____ **Lot No. :** 84-B

Date : _____ **Blk. No. :** _____

Boundaries: North: NE:10-019 (85, PLS-273)

East: SE: 10-040 (84-C, BSD-10-002834(AR))

South: SW:11-001 (83, PLS-273)

West: NW:10-038 (84-A, BSD-10-002834 (AR))

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	3.011100	HA	348,084.00	AGRICULTURAL *	10%	34,810.00
TOTAL:		3.011100	HA	348,084.00			34,810.00

Total Market Value : **P 348,084.00** Total Assessed Value : **P 34,810.00**

Total Assessed Value THIRTY FOUR THOUSAND EIGHT HUNDRED TEN AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** _____
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-013339

Previous PSN : 059-06-004-10-039

Previous Owner : ACUÑA, LOLITA T.

Previous Administrator : _____


Previous Area (sqm) : 30,111.00 **Previous M.V. Php :** 73,170.00 **Previous A.V. Php :** 18,290.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANTALAWIGAN under Ordinance No. 2017-054R(53TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JOCELYN L. EDASAG, REA PRINT DATE : 2019-02-07 04:54:37

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00145** Property Identification No. : **059-06-004-10-040**

Owner: **ACUÑA, LOLITA T.** TIN: _____

Address: **POBLACION, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**

(Number and Street) (Barangay/Clerico) (Municipality & Province/City)

OCT/TC/CLOA No. : **T-21256 REM. PRT** Survey No. : **BSD-10-002834(AR)**

OCT : _____ Lot No. : **84-C**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 10-019 (85, PLS-273)**

East: **SE: PASPASON CREEK**

South: **SW: 11-001 (83, PLS-273)**

West: **NW: 10-039 (84-B, BSD-10-002834(AR))**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ BUILDING No. of Storeys : _____

☐ MACHINERY Brief Description : _____

☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	0.303400	HA	35,073.00	AGRICULTURAL	10%	3,510.00
TOTAL:		0.303400	HA	35,073.00			3,510.00

Total Market Value : **P 35,073.00** Total Assessed Value : **P 3,510.00**

Total Assessed Value **THREE THOUSAND FIVE HUNDRED TEN AND 00/100**

Taxable ☒ Exempt ☐

Appraised By: **LEONARDA RIVERA, REA** Effectivity of Assessment : **2019**

ASSESSMENT CLERK II

By Authority of the Provincial Assessor:

JOCELYN J. BERNASAG, REA

MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-013340**

Previous PIN : **059-06-004-10-040**

Previous Owner : **ACUÑA, LOLITA T.**

Previous Administrator : _____


Previous Area (sqm) : **3,034.00** Previous M.V. Php : **7,373.00** Previous A.V. Php : **1,840.00**

MEMORANDA: GENERAL REVISION OF 2018

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGKALAMITAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JOCELYN J. BERNASAG, REA PRINT DATE : 2019-03-07 04:56:03

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00061** Property Identification No. : **059-06-004-11-001**

Owner: **RM ROQUE & SONS CORPORATION** TIN: _____
 Address: **HAGKOL, VALENCIA CITY** Telephone No. : _____
 Administrator/Beneficial User: **ROQUE, ROGELIO M.** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **T-51151** Survey No. : **PSD-10-0024759**
 OCT : _____ Lot No. : **83-A**
 Date : _____ Blk. No. : _____

Boundaries: North: **10**
 East: **11-002 (83-B, PSD-10-024759)**
 South: **11-017 (ROAD)**
 West: **ATUGAN RIVER**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	L3	3.000000	HA	1,013,760.00	AGRICULTURAL ?	10%	101,380.00
TOTAL:		3.000000	HA	1,013,760.00			101,380.00

Total Market Value : **P 1,013,760.00** Total Assessed Value : **P 101,380.00**

Total Assessed Value **ONE HUNDRED ONE THOUSAND THREE HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA L. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-003401**
 Previous PIN : **059-06-004-11-001**
 Previous Owner : **RM ROQUE & SONS CORPORATION**
 Previous Administrator : **ROQUE, ROGELIO M.**
 Previous Area (sqm) : **30,000.00** Previous M.V. Php : **132,000.00** Previous A.V. Php : **33,000.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAHANTOGAN under Ordinance No. 017-034R(13TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.5 PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2018-08-24 08:27:44

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00077** Property Identification No. : **059-06-004-11-002**

Owner: **RM ROQUE & SONS CORPORATION** TIN: _____

Address: **HAGKOL, VALENCIA CITY** Telephone No. : _____

Administrator/Beneficial User: **REPRESENTED BY: ROQUE, REGELIO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLDA No. : **T-51152** Survey No. : **PSD-10-024759 759**

OCT : _____ Lot No. : **83-B**

Date : _____ Blk. No. _____

Boundaries: North: **SECTION 10**

East: **CREEK**

South: **ROAD**

West: **11-001 (83-A, BD-10-024759)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	3.162000	HA	391,329.00	AGRICULTURAL?	10%	39,130.00
TOTAL:		3.162000	HA	391,329.00			39,130.00

Total Market Value : **P 391,329.00** Total Assessed Value : **P 39,130.00**

Total Assessed Value **THIRTY NINE THOUSAND ONE HUNDRED THIRTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JACKLYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-003406**

Previous PIN : **059-06-004-11-002**

Previous Owner : **RM ROQUE & SONS CORPORATION**

Previous Administrator : **REPRESENTED BY: ROQUE, REGELIO**


Previous Area (sqm) : **31,620.00** Previous M.V. Php : **83,477.00** Previous A.V. Php : **20,870.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 2017-0548(13TH SR) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JACKLYN J. BINASAG, REA PRINT DATE : 2018-06-24 09:09:09

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00588** Property Identification No. : **059-06-004-11-004**

Owner: **NERI, FIDENCIO JR.** TIN: _____

Address: **CAGAYAN DE ORO CITY** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **T-20256** Survey No. : **PLS-273**

OCT : _____ Lot No. : **90**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 11-017 (BARANGAY ROAD)**

East: **SE: 11-017 (BARANGAY ROAD)**

South: **SW: 11-003 (91, PLS-273)**

West: **NW: PASPASON CREEK**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CRI	5.703700	HA	901,755.00	AGRICULTURAL	10%	90,180.00
TOTAL:		5.703700	HA	901,755.00			90,180.00

Total Market Value : **P 901,755.00** Total Assessed Value : **P 90,180.00**

Total Assessed Value **NINETY THOUSAND ONE HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. MIRASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-003415**

Previous PIN : **059-06-004-11-004**

Previous Owner : **NERI, FIDENCIO JR.**

Previous Administrator : _____


Previous Area (sqm) : **57,037.00** Previous M.V. Php : **228,146.00** Previous A.V. Php : **57,040.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v2.0 PRINTED BY : ALBEN ANCH ABESTA ZAMBAZ PRINT DATE : 2019-03-01 09:34:18

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00099** Property Identification No. : **059-06-004-11-003**

Owner: **ABEJUELA, GEORGE VINCENT B. ET. AL.** TIN: _____

Address: **CAPITAN BAYONG, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **AT-25269** Survey No. : **PLS 275**

CCT : _____ Lot No. : **91**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 11-004 (90, PLS-273)**

East: **SE: 11-017 (PROPOSED ROAD)**

South: **SW: 11-017 (PROPOSED ROAD)**

West: **NW: PUBLIC LAND**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	L3	7.454100	HA	2,662,008.00	AGRICULTURAL ?	10%	266,200.80
TOTAL:		7.454100	HA	2,662,008.00			266,200.80

Total Market Value : **P 2,662,008.00** Total Assessed Value : **P 266,200.80**

Total Assessed Value **TWO HUNDRED SIXTY SIX THOUSAND TWO HUNDRED AND 80/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA L. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-013149**

Previous PIN : **059-06-004-11-003**

Previous Owner : **ABEJUELA, GEORGE VINCENT B. ET. AL.**

Previous Administrator : _____


Previous Area (sqm) : **74,541.00** Previous M.V. Php : **346,616.00** Previous A.V. Php : **86,650.00**

MEMORANDA: GENERAL REVISION OF 2019

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGUNIANG PANGALAWAGAN under Ordinance No. 2017-0549(13TH SP) dated 2017-12-18. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JOCELYN J. BINASAG, REA PRINT DATE : 2018-06-29 02:54:24

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00600** Property Identification No. : **059-06-004-11-025**

Owner: **NAVARRO, CESARIO SR. N.** TIN: _____

Address: **CAPITAN BAYONG, IMPASUG-ONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: CRISTITA NAVARRO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____

(Number and Street) **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : **AT-34297** Survey No. : **PSD-10-052169(AR)**

CCT : _____ Lot No. : **92-A**

Date : **2011-12-26** Blk. No. : _____

Boundaries: North: **NE: 11-020 (93-A, PSD-10-052169(AR))**

East: **SE: 11-007(95, PLS-273)**

South: **SW: 11-026(92-B, PSD-10-052169(AR))**

West: **NW: 11-017-ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	3.000000	HA	284,580.00	AGRICULTURAL	10%	28,460.00
TOTAL:		3.000000	HA	284,580.00			28,460.00

Total Market Value : **P 284,580.00** Total Assessed Value : **P 28,460.00**

Total Assessed Value **TWENTY EIGHT THOUSAND FOUR HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA E. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN Z. BENASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017418**

Previous PIN : **059-06-004-11-025**

Previous Owner : **NAVARRO, CESARIO SR. N.**

Previous Administrator : **MARRIED TO: CRISTITA NAVARRO**


Previous Area (sqm) : **30,000.00** Previous M.V., Php : **83,700.00** Previous A.V., Php : **20,930.00**

MEMORANDUM: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAYWAGAN under Ordinance No. 2017-0548(17TH SP) dated 2017-12-15. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACTS v2.5 PRINTED BY : AUREEN ANOR ABISTA ZAPBAS PRINT DATE : 2019-03-05 09:38:39

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00601 **Property Identification No. :** 059-06-004-11-026

Owner: NAVARRO, MARILOU E. **TIN:** _____

Address: CAPITAN BAYONG, IMPASUG-ONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : AT-34298 **Survey No. :** PSD-10-052169(AR)

CCT : _____ **Lot No. :** 92-B

Date : 2011-12-26 **Blk. No.** _____

Boundaries: North: NE: 11-025(92-A, PSD-10-052169)

East: SE: 11-007(95, PL5-273)

South: SW: 11-027(92-C, PSD-10-052169(AR))

West: NW: 11-017-RDAD

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.768900	HA	72,653.00	AGRICULTURAL	10%	7,270.00
TOTAL:		0.768900	HA	72,653.00			7,270.00

Total Market Value : **P 72,653.00** Total Assessed Value : **P 7,270.00**

Total Assessed Value **SEVEN THOUSAND TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN A. BASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017419

Previous PIN : 059-06-004-11-026

Previous Owner : NAVARRO, MARILOU E.

Previous Administrator : _____


Previous Area (sqm) : 7,659.00 Previous M.V. Php : 21,369.00 Previous A.V. Php : 5,340.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAMIGAN under Ordinance No. 2017-0546(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACK-v2.0 PRINTED BY : AUREEN ANOR ABISTA ZAMBAO PRINT DATE : 2024-03-01 09:32:30

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00603** Property Identification No. : **059-06-004-11-027**

Owner: **RAYOS, ELIZABETH N.** TIN: _____

Address: **CAPTAN BAYONG, IMPASUG-ONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: REMY RAYOS** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AT-34299** Survey No. : **PSD-10-052169(AR)**

CCT : _____ Lot No. : **93-C**

Date : **2011-12-26** BK. No. _____

Boundaries: North: **NE: 11-026(92-B, PSD-10-052169)(AR)**

East: **SE: 11-007(95, PLS-273)**

South: **SW: 11-028(92-D, PSD-10-052169)(AR)**

West: **NW: 11-017-ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.765900	HA	72,653.00	AGRICULTURAL	10%	7,270.00
TOTAL:		0.765900	HA	72,653.00			7,270.00

Total Market Value : **P 72,653.00** Total Assessed Value : **P 7,270.00**

Total Assessed Value **SEVEN THOUSAND TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCelyn J. ADASAG, REA**

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017430**

Previous PIN : **059-06-004-11-027**

Previous Owner : **RAYOS, ELIZABETH N.**


Previous Administrator : **MARRIED TO: REMY RAYOS**

Previous Area (sqm) : **7,659.00** Previous M.V. Php : **21,369.00** Previous A.V. Php : **5,340.00**

MEMORANDA: GENERAL REVISION OF 2010

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAAN under Ordinance No. 2017-0548(LITH 5P) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACTS v2.5 PRINTED BY : JUREEN ANNE ABETA ZAMBAZ PRINT DATE : 2019-03-05 09:34:38



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00604** Property Identification No. : **059-06-004-11-028**

Owner: **NAVARRO, CESARIO JR. E.** TIN: _____

Address: **CAPITAN BAYONG, IMPASUG-ONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: GINA P. NAVARRO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/Township) (Municipality & Province/City)

OCT/TC/TLOA No. : **AT-34300** Survey No. : **PSD-10-052169(AR)**

CCT : _____ Lot No. : **92-D**

Date : **2011-12-26** Blk. No. : _____

Boundaries: North: **NE: 11-027 (92-C, PSD-10-052169(AR))**

East: **SE: 11-007 (95, PLS-273)**

South: **SW: 11-029 (92-E, PSD-10-052169(AR))**

West: **NW: 11-017-ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.768900	HA	72,653.00	AGRICULTURAL	10%	7,270.00
TOTAL:		0.768900	HA	72,653.00			7,270.00

Total Market Value : **P 72,653.00** Total Assessed Value : **P 7,270.00**

Total Assessed Value **SEVEN THOUSAND TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOSEPH N. BINGAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017421**

Previous PDN : **059-06-004-11-028**

Previous Owner : **NAVARRO, CESARIO JR. E.**


Previous Administrator : **MARRIED TO: GINA P. NAVARRO**

Previous Area (sqm) : **7,659.00** Previous M.V. Php : **22,977.00** Previous A.V. Php : **5,740.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWISAN under Ordinance No. 2017-094R(LITH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.9 PRINTED BY : ALJESIN APOR ABISTA ZAMBAS PRINT DATE : 2019-03-01 10:36:34



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00605** Property Identification No. : **059-06-004-11-029**

Owner: **NAVARRO, ODON E.** TIN: _____

Address: **CAPTAN BAYONG, IMPASUG-ONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: MERRY CRIS NAVARRO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CTC/LOA No. : **AT-34301** Survey No. : **PSD-10-052169(AR)**

OCT : _____ Lot No. : **92-E**

Date : **2011-12-26** Bk. No. : _____

Boundaries: North: **NE: 11-028 (92-D, PSD-10-052169(AR))**

East: **SE: 11-007 (95, PLS-273)**

South: **SW: 11-017-ROAD**

West: **NW: 11-017-ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.765900	HA	72,653.00	AGRICULTURAL	10%	7,270.00
TOTAL:		0.765900	HA	72,653.00			7,270.00

Total Market Value : **P 72,653.00** Total Assessed Value : **P 7,270.00**

Total Assessed Value **SEVEN THOUSAND TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BERNAS, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017422**

Previous PIN : **059-06-004-11-029**

Previous Owner : **NAVARRO, ODON E.**

Previous Administrator : **MARRIED TO: MERRY CRIS NAVARRO**


Previous Area (sqm) : **7,659.00** Previous M.V. Php : **21,369.00** Previous A.V. Php : **5,340.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLAUWIGAN under Ordinance No. 2017-054R(LTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACK v2.5 PRINTED BY : ALJEDIN AMORABISTA ZAMBAS PRINT DATE : 2019-03-01 09:38:35

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00596** Property Identification No. : **059-06-004-11-020**

Owner: **CARO, JOSEFINA E.** TIN: _____

Address: **CAMP PHILLIPS, AGUSAN CANYON MANOLO FORTICH, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: ROGELIO A. CARO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **T-69281** Survey No. : **PSD-10-034757**

CCT : _____ Lot No. : **93-A**

Date : **2002-10-25** Blk. No. : _____

Boundaries: North: **NE: 11-021 (93-B, PSD-10-034757)**

East: **SE: 11-006 (94, PLS-273)**

South: **SW: 11-025 (92-A, PSD-10-152169 (AK)**

West: **NW: BARANGAY ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2.984800	HA	377,518.00	AGRICULTURAL	10%	37,750.00
TOTAL:		2.984800	HA	377,518.00			37,750.00

Total Market Value : **P 377,518.00** Total Assessed Value : **P 37,750.00**

Total Assessed Value **THIRTY SEVEN THOUSAND SEVEN HUNDRED FIFTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. RIVASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-003430**

Previous PIN : **059-06-004-11-020**

Previous Owner : **CARO, JOSEFINA E.**

Previous Administrator : **MARRIED TO: ROGELIO A. CARO**


Previous Area (sqm) : **29,848.00** Previous M.V. Php : **85,067.00** Previous A.V. Php : **21,170.00**

MEMORANDA: GENERAL REVISION OF 2018

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMULAJAWIGAN under Ordinance No. 2017-054N(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETAC3 v2.5 PRINTED BY : AURSEN MAOR ABESTA ZAMBAS PRINT DATE : 2019-06-08 10:52:30

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00597** Property Identification No. : **059-06-004-11-021**

Owner: **CARO, JOSEFINA E.** TIN: _____

Address: **CAMP PHILLIPS, AGUSAN CANYON MANOLO FORTICH, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: ROGELIO A. CARO** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**

(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CTC/CLOA No. : **P-69282** Survey No. : **PSD-10-034757**

OCT : _____ Lot No. : **93-B**

Date : _____ Bk. No. _____

Boundaries: North: **NE: BARANGAY ROAD**

East: **SE: 11-006 (94,PL5-273)**

South: **SW: 11-020 (93-A,PSD-10-034757)**

West: **NW: BARANGAY ROAD**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	2,984500	HA	377,480.00	AGRICULTURAL	10%	37,750.00
TOTAL:		2,984500	HA	377,480.00			37,750.00

Total Market Value : **P 377,480.00** Total Assessed Value : **P 37,750.00**

Total Assessed Value **THIRTY SEVEN THOUSAND SEVEN HUNDRED FIFTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA R. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-003431**

Previous PDN : **059-06-004-11-021**

Previous Owner : **CARO, JOSEFINA E.**

Previous Administrator : **MARRIED TO: ROGELIO A. CARO**


Previous Area (sqm) : **29,845.00** Previous M.V. Php : **85,058.00** Previous A.V. Php : **21,260.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : ALBERT AMOR AMISTA ZAMBAZ PRINT DATE : 2019-03-01 09:21:23

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00876** Property Identification No. : **059-06-004-11-007**

Owner: **TAMPO, VICENTA** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLDA No. : _____ Survey No. : **PLS-273**

CCT : _____ Lot No. : **95**

Date : _____ Sk. No. : **(95-B & C)**

Boundaries: North: **NE: 11-006 (94, PLS-273)**

East: **SE: 11-018 (PUBLIC LAND)**

South: **SW: 11-017 (BARANGAY ROAD)**

West: **NW: 11-025, 026, 027, 028 & 029 (92-A, B, C, D, & E, ALL OF PSD-10-052169 (AR))**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	1.528000	HA	341,577.00	AGRICULTURAL	10%	24,180.00
AGRICULTURAL	PE1	3.473000	HA	1,872,797.00	AGRICULTURAL	10%	187,380.00
TOTAL		5.000000	HA	2,114,374.00			211,440.00

Total Market Value : **P 2,114,374.00** Total Assessed Value : **P 211,440.00**

Total Assessed Value **TWO HUNDRED ELEVEN THOUSAND FOUR HUNDRED FORTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **JOCelyn J. Balansag, REA** By Authority of the Provincial Assessor: **JOCelyn J. Balansag, REA**
MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-012560**

Previous PSN : **059-06-004-11-007**

Previous Owner : **TAMPO, VICENTA**

Previous Administrator : **LEASED BY NELSON AND LUZMINDA BALANSAG TO DMPT**


Previous Area (sqm) : **50,000.00** Previous M.V. Php : **543,243.00** Previous A.V. Php : **140,810.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : AUREEN ANNE ARISTA DAPRAS PRINT DATE : 2019-04-18 08:50:24

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00594 **Property Identification No. :** 059-06-004-12-025

Owner: DUMA, NENA **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : _____ **Survey No. :** PLS-273

OCT : _____ **Lot No. :** 96

Date : _____ **BL No. :** _____

Boundaries: North: NE: 12-036 (357, PLS-273)

East: SE: 12-026 (96, PLS-273)

South: SW: ROAD LOT

West: NW: 12-033 (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CL3	6.000000	HA	\$89,160.00	AGRICULTURAL	10%	\$6,920.00
TOTAL:		6.000000	HA	\$89,160.00			\$6,920.00

Total Market Value : **P 89,160.00** Total Assessed Value : **P 6,920.00**

Total Assessed Value FIFTY SIX THOUSAND NINE HUNDRED TWENTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA L. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. RIVASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-003459

Previous PIN : 059-06-004-12-025

Previous Owner : DUMA, NENA

Previous Administrator : _____

Previous Area (sqm) : 60,000.00 Previous M.V. Php : 167,400.00 Previous A.V. Php : 41,850.00

MEMORANDA: GENERAL REVISION OF 2018


Annotations:

MORTGAGED FOR PHP 2,000.00 TO THE RURAL BANK OF CAGAYAN DE ORO BY SPS. NENA DUMA ON JULY 26, 1977 (SGO) R.G. ALAR.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAN under Ordinance No. 2017-054R(LTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.5 PRINTED BY : ALGERIN APOR-MESTA ZAPRAS PRINT DATE : 2019-03-02 11:56:14

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00595** Property Identification No. : **059-06-004-12-026**

Owner: **TAMPO, VIRGINIA** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Barangay/Division) (Municipality & Province/CO)

OCT/TCT/CLOA No. : _____ Survey No. : **PLS-273**
 OCT : _____ Lot No. : **98**
 Date : _____ Bk. No. : _____

Boundaries: North: **NE:12-023 (99, PLS-273)**
 East: **SE: 12-039 (PUBLIC LAND)**
 South: **SW: ROAD LOT**
 West: **NW: 12-025 (96, PLS-273)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	6.000000	HA	\$69,160.00	AGRICULTURAL	10%	\$6,920.00
TOTAL:		6.000000	HA	\$69,160.00			\$6,920.00

Total Market Value : **P 69,160.00** Total Assessed Value : **P 6,920.00**

Total Assessed Value **FIFTY SIX THOUSAND NINE HUNDRED TWENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOSEPH J. BERNASAG, REA**
 ASSESSMENT CLERK II MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-003460**
 Previous PDN : **059-06-004-12-026**
 Previous Owner : **TAMPO, VIRGINIA**
 Previous Administrator : _____
 Previous Area (sqm) : **60,000.00** Previous M.V. Php : **153,000.00** Previous A.V. Php : **38,250.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWTIGAN under Ordinance No. 2017-0548(LTTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ITRACS v3.5 PRINTED BY : AUREEN ANOR ABESTA ZAMBAS PRINT DATE : 2019-03-01 11:53:06

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00024 **Property Identification No. :** 059-06-004-13-003

Owner: TAMPO, RESTITUTO **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** PLS-273

OCT : _____ **Lot No. :** 70

Date : _____ **Blk. No. :** _____

Boundaries: North: NE:12-033 - PUBLIC LAND / ROAD
East: SE:13-021 (PUBLIC LAND)
South: SW:13-025 (69-C, CSD-10-012747-D)
West: NW:13-002 (72, PLS-273)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	3.278700	HA	317,512.00	AGRICULTURAL	10%	31,750.00
AGRICULTURAL	PT1	2.723300	HA	1,500,638.00	AGRICULTURAL	10%	150,060.00
TOTAL:		6.000000	HA	1,818,050.00			181,800.00

Total Market Value : P 1,818,050.00 **Total Assessed Value :** P 181,800.00

Total Assessed Value ONE HUNDRED EIGHTY ONE THOUSAND EIGHT HUNDRED AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA L. RIVERA, REA **By Authority of the Provincial Assessor:** JOSELYN J. BUNASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-003472

Previous PIN : 059-06-004-13-003

Previous Owner : TAMPO, RESTITUTO

Previous Administrator : _____

Previous Area (sqm) : 60,000.00 **Previous M.V. Php :** 456,124.00 **Previous A.V. Php :** 114,040.00


MEMORANDA: GENERAL REVISION OF 2018

Annotations:

MORTGAGED FOR PHP2,200.00 TO THE RURAL BANK OF DON CARLOS ON FEBRUARY 12, 1974

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGKABAYAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRATS v3.8 PRINTED BY : JOSELYN J. BUNASAG, REA PRINT DATE : 2019-07-11 00:16:37



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-004-00567 **Property Identification No. :** 059-06-004-13-012

Owner: ESTO, ARSENIO **TIN:** _____

Address: CAPTAN BAYONG, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **CAPTAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Range/Section) (Municipality & Province/City)

OCT/TCT/CLA No. : _____ **Survey No. :** CAD-899

OCT : _____ **Lot No. :** 9

Date : _____ **(Bk. No. :** _____

Boundaries: North: NE: 13-008 & 009 (10 & 11, ALL CAD-899)

East: SE: 13-018

South: SW: 13-017 (ROAD LOT)

West: NW: 13-020 & 021 (PUBLIC LAND & BALAAS CREEK)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	4,789.00	HA	454,323.00	AGRICULTURAL	10%	45,430.00
TOTAL:		4,789.00	HA	454,323.00			45,430.00

Total Market Value : **P 454,323.00** Total Assessed Value : **P 45,430.00**

Total Assessed Value FORTY FIVE THOUSAND FOUR HUNDRED THIRTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. SINAGAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-003485

Previous PIN : 059-06-004-13-012

Previous Owner : ESTO, ARSENIO

Previous Administrator : _____

Previous Area (sqm) : 47,894.00 **Previous M.V. Php :** 122,130.00 **Previous A.V. Php :** 30,530.00

MEMORANDA: GENERAL REVISION OF 2018


Annotations:

THIS PARCEL OF LAND IS OFFERED AS BOND PER CASE NO. 1109 ENTITLED PP. VS. GEORGE AUSTRIA ET.AL. IN THE MCTC, IMPASUGONG, BUKIDNON ON FEBRUARY 14, 1992.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

ELICITED BY : STRACS v2-3 PRINTED BY : AUREEN ANOR ABISTA ZAMBA PRINT DATE : 2019-03-01 01:46:46

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-004-00563** Property Identification No. : **059-06-004-13-008**

Owner: **MELENDEZ, EFREN S.** TIN: _____
 Address: **SUMPONG, MALAYBALAY CITY** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **CAPITAN BAYONG** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/TCLDA No. : **P-22867** Survey No. : **CAD-899**
 OCT : _____ Lot No. : **10**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 13-007 (12, CAD-899)**
 East: **SE: 13-009 (11, CAD-899)**
 South: **SW: 11-012 (9, CAD-899)**
 West: **NW: 13-020 (PUBLIC LAND)**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	4,999.00	HA	443,691.00	AGRICULTURAL	10%	44,370.00
TOTAL		4,999.00	HA	443,691.00			44,370.00

Total Market Value : **P 443,691.00** Total Assessed Value : **P 44,370.00**

Total Assessed Value **FORTY FOUR THOUSAND THREE HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCelyn B. BIRASAG, REA**
This declaration cancels TD No. : **H-003477** MUNICIPAL ASSESSOR
Previous PIN : **059-06-004-13-008**
Previous Owner : **MELENDEZ, EFREN S.**


Previous Administrator : _____
 Previous Area (sqm) : **49,999.00** Previous M.V. Php : **127,497.00** Previous A.V. Php : **31,870.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAYWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-13. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : ALVIN ANDY AMISTA ZAMBAZ PRINT DATE : 2019-03-01 01:39:37

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-005-00011** Property Identification No. : **059-06-005-02-005**

Owner: **CIARBA** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **CAWAYAN** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CDA No. : **AT-864** Survey No. : **PLS-273**

CCT : _____ Lot No. : **66**

Date : _____ BR. No. _____

Boundaries: North: **NE: BARANGAY CAPITAN BAYONG**

East: **SE:02-020 - PUBLIC LAND**

South: **SW:02-006(65, PLS-273)**

West: **NW: 02-004(67, PLS-273)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.489100	HA	129,106.00	AGRICULTURAL	10%	12,910.00
AGRICULTURAL	PI1	4.779900	HA	2,354,518.00	AGRICULTURAL	10%	235,450.00
TOTAL:		6.269000	HA	2,483,624.00			248,360.00

Total Market Value : **P 2,483,624.00** Total Assessed Value : **P 248,360.00**

Total Assessed Value **TWO HUNDRED FORTY EIGHT THOUSAND THREE HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **JOCELYN J. BENASAG, REA** By Authority of the Provincial Assessor:
MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-012603**

Previous PIN : **059-06-005-02-005**

Previous Owner : **CIARBA**

Previous Administrator : _____


Previous Area (sqm) : **62,650.00** Previous M.V. Php : **637,161.00** Previous A.V. Php : **159,300.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANALAWIGAN under Ordinance No. 2017-054R(LTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ITRACS v2.1 PRINTED BY : JOCELYN J. BENASAG, REA PRINT DATE : 2019-07-07 09:39:18

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-00894 **Property Identification No. :** 059-06-009-16-015

Owner: BAYAO, NARCISO **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: MAGOBO IMPALUTAO IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/TICLOA No. : _____ **Survey No. :** CAD-899

OCT : _____ **Lot No. :** 620

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 16-012 (619, CAD-899)
East: SE: 16-052 (PUBLIC LAND)
South: SW: 16-024 (621, CAD-899)
West: NW: 16-013 & 014 (2 & 3, PSD-104305-017164)

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.000000	HA	84,660.00	AGRICULTURAL	10%	8,470.00
TOTAL:		1.000000	HA	84,660.00			8,470.00

Total Market Value : **P 84,660.00** Total Assessed Value : **P 8,470.00**

Total Assessed Value **EIGHT THOUSAND FOUR HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA N. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. DINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-006856

Previous PIN : 059-06-009-16-015

Previous Owner : BAYAO, NARCISO

Previous Administrator : _____


Previous Area (sqm) : 10,000.00 Previous M.V. Php : 24,300.00 Previous A.V. Php : 6,080.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JWE L. BRIONES PRINT DATE : 2019-03-13 04:24:56

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-00906 **Property Identification No. :** 059-06-009-16-024

Owner: DINO, WARLITO **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: RAUTRAT, TEOFILO **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLOA No. : _____ **Survey No. :** CAD-899

OCT : _____ **Lot No. :** 621

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 16-015 (620,CAD-899)
East: SE: PUBLIC LAND
South: SW: 16-027 (621,CAD-899)
West: NW: 16-014 & 025 (3 & 4, ALL OF PSD-104305-017164)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	3.500000	HA	211,650.00	AGRICULTURAL	10%	21,170.00
TOTAL:		3.500000	HA	211,650.00			21,170.00

Total Market Value : **P 211,650.00** Total Assessed Value : **P 21,170.00**

Total Assessed Value: TWENTY ONE THOUSAND ONE HUNDRED SEVENTY AND 00/100

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA N. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. DINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-006865

Previous PIN : 059-06-009-16-024

Previous Owner : DINO, WARLITO

Previous Administrator : RAUTRAT, TEOFILO


Previous Area (sqm) : 25,000.00 Previous M.V., Php : 62,250.00 Previous A.V., Php : 15,560.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-054R(13TH SF) dated 2017-12-15. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETBACS v.1.5 PRINTED BY : DVE L. BRIONES PRINT DATE : 2019-09-14 01:22:23

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-00912 **Property Identification No. :** 059-06-009-16-027

Owner: PINO, ADRIANA **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Area: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ **Survey No. :** CAD-899

CCT : _____ **Lot No. :** 621

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 16-024 (621,CAD-899)

East: SE: PUBLIC LAND

South: SW: 16-037 (631,CAD-899)

West: NW: 16-026 (632,CAD-899)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.570500	HA	48,299.00	AGRICULTURAL	10%	4,830.00
TOTAL:		0.570500	HA	48,299.00			4,830.00

Total Market Value : **P 48,299.00** Total Assessed Value : **P 4,830.00**

Total Assessed Value **FOUR THOUSAND EIGHT HUNDRED THIRTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: JOCELYN J. BINASAG, REA **By Authority of the Provincial Assessor:** _____
MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-006868

Previous PIN : 059-06-009-16-027

Previous Owner : PINO, ADRIANA

Previous Administrator : _____


Previous Area (sqm) : 5,705.00 Previous M.V. Php : 13,863.00 Previous A.V. Php : 3,470.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGGAM under Ordinance No. 2017-054R(11TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : JYCE L. BRIONES PRINT DATE : 2019-03-11 01:31:11

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01501 **Property Identification No. :** 059-06-009-16-028

Owner: AYOC, MADOLYN **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: AYOC, TITO **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : P-23005 **Survey No. :** CAD-899

CCT : _____ **Lot No. :** 625

Date : _____ **BLK. No. :** _____

Boundaries: North: NE: 16-023 (792,CAD-899)

East: SE: 16-034 (791,CAD-899)

South: SW: 16-035 (626,CAD-899)

West: NW: PUBLIC LAND

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description :

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR1	0.531600	HA	75,009.00	AGRICULTURAL	10%	7,500.00
TOTAL:		0.531600	HA	75,009.00			7,500.00

Total Market Value : P 75,009.00 **Total Assessed Value :** P 7,500.00

Total Assessed Value SEVEN THOUSAND FIVE HUNDRED AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA X. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-006889

Previous PIN : 059-06-009-16-028

Previous Owner : AYOC, MADOLYN

Previous Administrator : MARRIED TO: AYOC, TITO


Previous Area (sqm) : 5,316.00 Previous M.V. Php : 22,993.00 Previous A.V. Php : 5,650.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAGAN under Ordinance No. 2017-0549(LTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACK v2.5 PRINTED BY : MARC ENRIELSON S. TINGLAW PRINT DATE : 2019-03-15 10:25:29

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-00904 **Property Identification No. :** 059-06-009-16-023

Owner: PULIDO, EUGENE H. **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: PADILLA, DELMA JUANITA **TIN:** _____

Address: MALAYBALAY CITY **Telephone No. :** _____

Location of Property: IMPALUTAO IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/Clerical) (Municipality & Province/City)

OCT/TC/CLOA No. : P-25452 **Survey No. :** CAD-899

CCT : _____ **Lot No. :** 792

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 16-022 (793,CAD-899)

East: SE:16-029 (624 ,CAD-899)

South: SW: 16-028 & 024(625 & 621, ALL OF CAD-899)

West: NW: PUBLIC LAND

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.731700	HA	61,945.00	AGRICULTURAL	10%	6,190.00
TOTAL:		0.731700	HA	61,945.00			6,190.00

Total Market Value : P 61,945.00 Total Assessed Value : P 6,190.00

Total Assessed Value SIX THOUSAND ONE HUNDRED NINETY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN S. EDASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-006864

Previous PIN : 059-06-009-16-023

Previous Owner : PULIDO, EUGENE H.

Previous Administrator : MARRIED TO: PADILLA, DELMA JUANITA


Previous Area (sqm) : 7,317.00 Previous M.V. Php : 17,780.00 Previous A.V. Php : 4,450.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMBALAYAN under Ordinance No. 2017-054R(LJTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.8 PRINTED BY : DVE L. BRIONES PRINT DATE : 2019-03-13 01:22:49

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-00916** Property Identification No. : **059-06-009-16-034**

Owner: **PULIDO, LEONEDES H.** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **MARRIED TO: DULAY JULIETA** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **P-25451** Survey No. : **CAD-899**
 OCT : _____ Lot No. : **791**
 Date : _____ Bk. No. : _____

Boundaries: North: **NE: 16-029 (624,CAD-899)**
 East: **SE: 16-031 (607,CAD-899)**
 South: **SW: 16-033 (627,CAD-899)**
 West: **NW: 16-023, 028 & 025 (792,625, ALL OF CAD-899 & 4,PSD-104305-017164)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.955600	HA	78,952.00	AGRICULTURAL	10%	7,900.00
TOTAL:		0.955600	HA	78,952.00			7,900.00

Total Market Value : **P 78,952.00** Total Assessed Value : **P 7,900.00**

Total Assessed Value **SEVEN THOUSAND NINE HUNDRED AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**


Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCelyn A. DINASAG, REA**
This declaration cancels TD No. : **H-006875** MUNICIPAL ASSESSOR
Previous PIN : **059-06-009-16-034**
Previous Owner : **PULIDO, LEONEDES H.**
Previous Administrator : **MARRIED TO: DULAY JULIETA**
Previous Area (sqm) : **9,556.00** Previous M.V. Php : **23,221.00** Previous A.V. Php : **5,810.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANLALAWIGAN under Ordinance No. 2017-0548(LITH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : EVELYN BRIGAS PRINT DATE : 2019-03-13 01:30:13

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-00028** Property Identification No. : **059-06-009-16-029**

Owner: **PULIDO, LEONEDES H.** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **P-20510** Survey No. : **CAD-899**

CCT : _____ Lot No. : **624**

Date : _____ Blk. No. : _____

Boundaries: North: **NE:16-021 (623,CAD-899)**

East: **SE:16-030 & 031 (608 & 607,CAD-899)**

South: **SW:16-034 (791,CAD-899)**

West: **NW:16-023 & 034 (792 & 791,CAD-899)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.309000	HA	26,790.00	AGRICULTURAL	10%	2,680.00
AGRICULTURAL	PT1	3.351400	HA	1,452,240.00	AGRICULTURAL	10%	145,220.00
TOTAL:		3.660400	HA	1,479,030.00			147,900.00

Total Market Value : **P 1,479,030.00** Total Assessed Value : **P 147,900.00**

Total Assessed Value: **ONE HUNDRED SIXTY SEVEN THOUSAND NINE HUNDRED AND 00/100**

Taxable: ☒ Exempt: ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA L. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-006870**

Previous PIN : **059-06-009-16-029**

Previous Owner : **PULIDO, LEONEDES H.**

Previous Administrator : _____


Previous Area (sqm) : **36,604.00** Previous M.V. Php : **448,033.00** Previous A.V. Php : **112,010.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGUNIANG PANGALANGKAN under Ordinance No. 2017-034R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACE v2.3 / PRINTED BY : JOCELYN J. BINASAG, REA / PRINT DATE : 2018-07-02 11:38:33

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-00914** Property Identification No. : **059-06-009-16-031**

Owner: **GAMA, MELVIN** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Treas: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/TICLOA No. : _____ Survey No. : **CAD-899**

CCT : _____ Lot No. : **607**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 16-030 (508,CAD-899)**

East: **SE: PUBLIC LAND**

South: **SW: 16-032 (764,CAD-899)**

West: **NW: 16-034 & 029 (791 & 624, ALL OF CAD-899)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.853700	HA	54,008.00	AGRICULTURAL	10%	5,400.00
TOTAL:		0.853700	HA	54,008.00			5,400.00

Total Market Value : **P 54,008.00** Total Assessed Value : **P 5,400.00**

Total Assessed Value **FIVE THOUSAND FOUR HUNDRED AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA L. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-006872**

Previous PIN : **059-06-009-16-031**

Previous Owner : **GAMA, MELVIN**

Previous Administrator : _____


Previous Area (sqm) : **6,537.00** Previous M.V. Php : **15,885.00** Previous A.V. Php : **3,970.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-094R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : DNE L. BODINES PRINT DATE : 2019-03-13 01:20:51

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-00913** Property Identification No. : **059-06-009-16-030**

Owner: **MARANDING, MARIANO** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : _____ Survey No. : **CAD-899**

CCT : _____ Lot No. : **608**

Date : _____ Blk. No. : _____

Boundaries: North: **NE:16-020 (582,CAD-899)**

East: **SE: PUBLIC LAND**

South: **SW:16-031 (607,CAD-899)**

West: **NW: 16-029 & 021 (624 & 623,CAD-899)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.973600	HA	163,059.00	AGRICULTURAL	10%	16,310.00
TOTAL:		1.973600	HA	163,059.00			16,310.00

Total Market Value : **P 163,059.00** Total Assessed Value : **P 16,310.00**

Total Assessed Value **SIXTEEN THOUSAND THREE HUNDRED TEN AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOSELYN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-006871**

Previous PIN : **059-06-009-16-030**

Previous Owner : **MARANDING, MARIANO**

Previous Administrator : _____


Previous Area (sqm) : **19,736.00** Previous M.V. Php : **47,958.00** Previous A.V. Php : **11,990.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAISGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS 42.6 PRINTED BY : JOHAR V. MACAPAZ PRINT DATE : 2019-06-13 11:25:05

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-05011 **Property Identification No. :** 059-06-009-18-014

Owner: CONCEPCION D. PAULINO (KASAL KAY: MASAGULA M. PAULINO) **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : P-38425 **Survey No. :** CAD-899, CASE 4

CCT : _____ **Lot No. :** 605

Date : 2003-06-23 **BR. No.** _____

Boundaries: North: NE: 18-013 (604, CAD-899)

East: SE: 18-018 (769, CAD-899)

South: SW: 18-015 (606, CAD-899)

West: NW: 18-022 (PUBLIC LAND) & SMALL MAGOBO CREEK

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.582500	HA	48,126.00	AGRICULTURAL	10%	4,810.00
TOTAL:		0.582500	HA	48,126.00			4,810.00

Total Market Value : **P 48,126.00** Total Assessed Value : **P 4,810.00**

Total Assessed Value **FOUR THOUSAND EIGHT HUNDRED TEN AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2020**

Appraised By: LEONARDA M. RIVERA, REA **Recommended By:** JOCKEN J. BENASAG, REA **Approved By:** ROGER G. GILLERMO, REA, REB, ENP
ASSESSMENT CLERK II MUNICIPAL ASSESSOR PROVINCIAL ASSESSOR

This declaration cancels TD No. : 06-009-01013

Previous PIN : 059-06-009-18-014

Previous Owner : CRUTA, CORNELIO

Previous Administrator : _____

Previous Area (sqm) : 5,825.00 Previous M.V. Php : 48,126.00 Previous A.V. Php : 4,810.00

MEMORANDA: TRANSFERRED FROM CORNELIO CRUTA TO CONCEPCION PAULINO PER AFFIDAVIT OF WAIVER SIGNED BY ALMA A. MARIMON-SPECIAL INVESTIGATOR I, DATED JANUARY 11, 2002 AT MANOLO FORTICH, BUKIDNON, ORDER: IN SUPPORT FOR APPLICATION FOR FREE PATENT SIGNED BY RONALD D. GADOT SR. -CIC, CENR OFFICER DATED OCTOBER 7, 2002 AT MANOLO, FORTICH, BUKIDNON AND TO CONFORM WITH THE KATIBAYAN NG ORIHINAL NA TITULO BLG. P-38425.

REALTY TAX PAID UP TO 2019 UNDER OR. NO. 7013221, DATED MARCH 4, 2019 AT MTO-IMPASUGONG, BUKIDNON.

TRANSFER TAX PAID IN AMOUNT OF PHP229.80 PER OR. NO. 8788642, DATED MARCH 4, 2019 AT MTO-IMPASUGONG, BUKIDNON.

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAWIGAN under Ordinance No. 2017-034R(11TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : LIDARDO S. LASAURA PRINT DATE : 2019-03-18 04:48:51



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-00031** Property Identification No. : **059-06-009-18-018**

Owner: **MARANDING, MARIANO** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **CONTRACTING PARTY: HENRY MARANDING** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/Tambo) (Municipality & Province/City)

OCT/TCT/CLOA No. : _____ Survey No. : **CAD-899**
 OCT : _____ Lot No. : **775, 769, 785, 768 & 770**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 18-012 & 011 (601 & 599, CAD-899)**
 East: **SE: PIGDAGAAN CREEK & 18-022-PUBLIC LAND**
 South: **SW: 22-007 (785, CAD-899)**
 West: **NW: 18-013, 014, 015, 016 & 017 (604, 605, 606, 767 & 766 ALL OF CAD-899) & 17-008(776 & 779 ALL OF CAD-**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	7.304200	HA	573,672.00	AGRICULTURAL	0.1	57,370.00
AGRICULTURAL	PT1	11.896900	HA	5,310,476.00	AGRICULTURAL	0.1	531,050.00
TOTAL:		19.195100	HA	5,884,148.00			588,420.00

Total Market Value : **P 5,884,148.00** Total Assessed Value : **P 588,420.00**
 Total Assessed Value **FIVE HUNDRED EIGHTY EIGHT THOUSAND FOUR HUNDRED TWENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **JOCELYN J. BINASAG, REA** By Authority of the Provincial Assessor:
 MUNICIPAL ASSESSOR MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-006937**
 Previous PIN : **059-06-009-18-018**
 Previous Owner : **MARANDING, MARIANO**
 Previous Administrator : **C/O MARANDING, BONIFACIA, ET AL.**
 Previous Area (sqm) : **191,951.00** Previous M.V. Php : **1,509,218.00** Previous A.V. Php : **377,310.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAMISAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : STRACS v2.5 PRINTED BY : MARC SHERLON S. TINGALAN PRINT DATE : 2020-09-28 05:38:24

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01024 **Property Identification No. :** 059-06-009-18-019

Owner: ORIGINES, NIDA E. **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: ORIGINES, QUIRINO **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCI/CLOA No. : P-23000 **Survey No. :** CAD-899

OCT : _____ **Lot No. :** 771

Date : _____ **Blk. No. :** _____

Boundaries: North: _____
East: SE: PIGDAGAAN CREEK
South: SW: 18-020 (772, CAD-899)
West: NW: PIGDAGAAN CREEK

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.354200	HA	29,364.00	AGRICULTURAL	0.3	2,930.00
TOTAL:		0.354200	HA	29,364.00			2,930.00

Total Market Value : P 29,364.00 Total Assessed Value : P 2,930.00

Total Assessed Value TWO THOUSAND NINE HUNDRED THIRTY AND 00/100

Taxable ☒ Exempt ☐ Effectivity of Assessment : 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : M-006938

Previous PIN : 059-06-009-18-019

Previous Owner : ORIGINES, NIDA E.

Previous Administrator : MARRIED TO: ORIGINES, QUIRINO

Previous Area (sqm) : 3,542.00 Previous M.V. Php : 8,607.00 Previous A.V. Php : 2,150.00

MEMORANDA: GENERAL REVISION OF 2018


Annotations:

MORTGAGED FOR 25,000.00 TO THE ASIAN HILLS BANK, INC. BY SPS. QUIRINO & NIDA ORIGINES ON 12/08/2004. (SGD).

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANKALAWITGAN under Ordinance No. 2017-0548(LJTH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : CTRACS v3.5 PRINTED BY : MARC EMERSON S. TINGALAN PRINT DATE : 2020-09-28 05:38:34

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01073 **Property Identification No. :** 059-06-009-21-003

Owner: QUISUMBING UNITED AGR. REF. BENEFICIARIES ASSO. **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: REPRESENTED BY: PALADIN, ARNULFO J. **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Location of Property: IMPALUTAO IMPASUG-ONG, BUKIDNON
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : AD-6548 **Survey No. :** CAD-899

OCT : _____ **Lot No. :** 4505

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 19-012 & 21-002 (4504 & 4503, ALL OF CAD-899)

East: SE: 21-008 (PUBLIC LAND)

South: SW: 21-006 (4506, CAD-899)

West: NW: 21-009 (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR2	20.863600	HA	2,411,833.00	AGRICULTURAL	10%	241,180.00
TOTAL:		20.863600	HA	2,411,833.00			241,180.00

Total Market Value : P 2,411,833.00 **Total Assessed Value :** P 241,180.00

Total Assessed Value TWO HUNDRED FORTY ONE THOUSAND ONE HUNDRED EIGHTY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN B. BIASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-007004

Previous PIN : 059-06-009-21-993

Previous Owner : QUISUMBING UNITED AGR. REF. BENEFICIARIES ASSO.

Previous Administrator : REPRESENTED BY: PALADIN, ARNULFO J.


Previous Area (sqm) : 208,636.00 **Previous M.V. Php :** 675,981.00 **Previous A.V. Php :** 169,000.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWOGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ITRACS v2.5 PRINTED BY : AURIEEN AMOR ABESTA DABAS PRINT DATE : 2019-03-13 12:22:40

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01129** Property Identification No. : **059-06-009-25-022**

Owner: **HOMDOS, TEODOCIO** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: **MARRIED TO: JOSEPHINE C. HOMDOS** TIN: _____

Address: _____ Telephone No. : _____

Location of Property: _____

(Number and Street) (Barangay/District) (Municipality & Province City)

OCT/TCT/CLOA No. : **AT-28297** Survey No. : **PSD-10-041111(AR)**

CCT : _____ Lot No. : **4521-B,**

Date : _____ Blk. No. _____

Boundaries: North: **NE: 25-040(4521-A, PSD-10-041111) (AR)**

East: **SE: 25-051(4521-P, PSD-10-041111,PART)**

South: **SW: 25-0456(4521-C, PSD-10-041111) (AR)**

West: **NW: CULAGOHON CREEK**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.320000	HA	122,578.00	AGRICULTURAL	10%	12,260.00
TOTAL:		1.320000	HA	122,578.00			12,260.00

Total Market Value : **P 122,578.00** Total Assessed Value : **P 12,260.00**

Total Assessed Value: **TWELVE THOUSAND TWO HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BINASAG, REA**

ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-015787**

Previous PIN : **059-06-009-25-022**

Previous Owner : **HOMDOS, TEODOCIO**

Previous Administrator : **MARRIED TO: JOSEPHINE C. HOMDOS**


Previous Area (sqm) : **13,206.00** Previous M.V. Ptp : **37,241.00** Previous A.V. Ptp : **9,310.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMBALAWIGAN under Ordinance No. 2017-054R(3TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.3 PRINTED BY : AUREEN ANOR ABISTA DABAS PRINT DATE : 2019-05-14 08:21:55

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01533** Property Identification No. : **059-06-009-25-023**

Owner: **LINUMBAY, EDISON** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **MARRIED TO: ESTER LINUMBAY** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AT-28300** Survey No. : **PSD-10-041111(AR)**
 OCT : _____ Lot No. : **4521-H**
 Date : _____ Bk. No. : _____

Boundaries: North: **NE: LOT 4521-G & F ALL OF PSD-10-041111(AR)**
 East: **SE: LOT 4521-I, PSD-10-041111 (AR)**
 South: **SW: LOT 4521-K & J, ALL OF PSD-10-041111(AR)**
 West: **NW: ROAD LOT 4521-P, PSD-10-041111(AR)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.435100	HA	133,206.00	AGRICULTURAL	10%	13,320.00
TOTAL:		1.435100	HA	133,206.00			13,320.00

Total Market Value : **P 133,206.00** Total Assessed Value : **P 13,320.00**

Total Assessed Value **THIRTEEN THOUSAND THREE HUNDRED TWENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BUNASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR


This declaration cancels TD No. : **H-015788**
 Previous PIN : **059-06-009-25-023**
 Previous Owner : **LINUMBAY, EDISON**
 Previous Administrator : **MARRIED TO: ESTER LINUMBAY**
 Previous Area (sqm) : **14,351.00** Previous M.V. Php : **40,470.00** Previous A.V. Php : **10,120.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACTS v2.5 PRINTED BY : DIVE L. DIONES PRINT DATE : 2019-06-25 04:34:11

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01131** Property Identification No. : **059-06-009-25-024**

Owner: **MANDA, BERNABE** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: **MARRIED TO: SAMUELA V. MANDA** TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Municipality & Province/City)

OCT/TC/CLOA No. : **AT-28301** Survey No. : **PSD-10-041111 (AR)**
 CCT : _____ Lot No. : **4521-M,**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 25-048(4521-L, PSD-10-041111(AR))**
 East: **SE: IPOON CREEK**
 South: **SW: 25-050 & 049 (4521-N & O, ALL OF PSD-10-041111(AR))**
 West: **NW: ROAD 25-041(4521-F, PSD-10-041111(AR))**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ BUILDING No. of Storeys : _____
☐ MACHINERY Brief Description : _____
☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.001500	HA	92,959.00	AGRICULTURAL	10%	9,300.00
TOTAL:		1.001500	HA	92,959.00			9,300.00

Total Market Value : **P 92,959.00** Total Assessed Value : **P 9,300.00**
 Total Assessed Value **NINE THOUSAND THREE HUNDRED AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**


Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCelyn J. PINASAG, REA**
This declaration cancels TD No. : **H-015789** MUNICIPAL ASSESSOR
Previous PDN : **059-06-009-25-024**
Previous Owner : **MANDA, BERNABE**
Previous Administrator : _____
Previous Area (sqm) : **10,015.00** Previous M.V. Php : **28,242.00** Previous A.V. Php : **7,060.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMULAHAWIGAN under Ordinance No. 2017-054R(LITH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : ALBERT APOR ABISTA ZAMBAS PRINT DATE : 2019-01-14 08:25:54

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01134 **Property Identification No. :** 059-06-009-25-025

Owner: CERALVO, AGUSTIN E. **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: MARRIED TO: DIVINA P. CERALVO **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

DCT/CT/CLDA No. : AT-28299 **Survey No. :** PSD-10-041111 (AR)

CCT : _____ **Lot No. :** 4521-E

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 25-047(4521-D, PSD-10-041111(AR))
East: SE: ROAD 25-041(4521-F, PSD-10-041111(AR))
South: SW: 25-052 (4520-A, PSD-10-041116) (AR)
West: NW: 25-017 & CULAGOHON CREEK (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.240100	HA	115,106.00	AGRICULTURAL	10%	11,510.00
TOTAL:		1.240100	HA	115,106.00			11,510.00

Total Market Value : **P 115,106.00** Total Assessed Value : **P 11,510.00**

Total Assessed Value: **ELEVEN THOUSAND FIVE HUNDRED TEN AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA R. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BUNASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-015790

Previous PIN : 059-06-009-25-025

Previous Owner : CERALVO, AGUSTIN E.

Previous Administrator : MARRIED TO: DIVINA P. CERALVO


Previous Area (sqm) : 12,401.00 Previous M.V. Php : 34,971.00 Previous A.V. Php : 8,740.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYANG under Ordinance No. 2017-054RL(1TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : EYRALES v1.5 PRINTED BY : AUREEN APOR-ABESTA-DARBAZ PRINT DATE : 2019-03-14 08:32:01

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01169 **Property Identification No. :** 059-06-009-25-040

Owner: QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

DCT/TC/CLOA No. : AO-6552-PART **Survey No. :** PSD-10-041111 (AR)

CCT : _____ **Lot No. :** 4521-A

Date : _____ **Blk. No.** _____

Boundaries: North: -
 East: SE: 25-051 (4521-P, PSD-10-041111) (AR)
 South: SW: 25-022 (4521-B, PSD-10-041111) (AR)
 West: NW: 25-017 & CULAGOHON CREEK (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.029400	HA	2,729.00	AGRICULTURAL	10%	270.00
TOTAL:		0.029400	HA	2,729.00			270.00

Total Market Value : **P 2,729.00** Total Assessed Value : **P 270.00**

Total Assessed Value **TWO HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** _____
ASSESSMENT CLERK II JOCELYN J. BARRASAG, REA
MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017170

Previous PIN : 059-06-009-25-040

Previous Owner : QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION

Previous Administrator : _____


Previous Area (sqm) : 294.00 Previous M.V. Php : 803.00 Previous A.V. Php : 200.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWAGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-15. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2019-10-06 02:30:22

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01170** Property Identification No. : **059-06-009-25-041**

Owner: **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**

CCT : _____ Lot No. : **4521-F**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 20-008 & SEC. 25-042 (4523, CAD-699 & 4521-G, PSD-10-041111) (AR)**

East: **SE: 25-042 (4521-G, PSD-10-041111) (AR)**

South: **SW: 25-023 (4521-H, PSD-10-041111) (AR)**

West: **NW: 25-051 (4521-P, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACEDURRY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.450400	HA	41,806.00	AGRICULTURAL	10%	4,180.00
TOTAL:		0.450400	HA	41,806.00			4,180.00

Total Market Value : **P 41,806.00** Total Assessed Value : **P 4,180.00**

Total Assessed Value: **FOUR THOUSAND ONE HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BENDASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017171**

Previous PIN : **059-06-009-25-041**

Previous Owner : **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION**

Previous Administrator : _____


Previous Area (sqm) : **4,504.00** Previous M.V. Php : **12,296.00** Previous A.V. Php : **3,070.00**

MEMORANDA: GENERAL REVISION OF 2018

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANALAWAGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : ALBERT AMOR ABETA DAPRAS PRINT DATE : 2018-10-08 01:55:29

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01171 **Property Identification No. :** 059-06-009-25-042

Owner: QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/Centre) (Municipality & Province/City)

OCT/TC/CLOA No. : AO-6SS2-PART **Survey No. :** PS-10-041111 (AR)

CCT : _____ **Lot No. :** 4521-G

Date : _____ **Blk. No. :** _____

Boundaries: North: NE: 20-008 (4523, CAD-899)

East: SE: 25-016 & IPOON CREEK (PUBLIC LAND)

South: SW: 25-023 & 043 (4521-H & 4521-I, ALL OF PSD-10-041111) (AR)

West: 25-041 (4521-F, PSD-10-041111) (AR)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.855400	HA	143,523.00	AGRICULTURAL	10%	14,350.00
TOTAL:		1.855400	HA	143,523.00			14,350.00

Total Market Value : **P 143,523.00** Total Assessed Value : **P 14,350.00**

Total Assessed Value **FOURTEEN THOUSAND THREE HUNDRED FIFTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. KINASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017172

Previous PIN : 059-06-009-25-042

Previous Owner : QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION

Previous Administrator : _____


Previous Area (sqm) : 16,554.00 Previous M.V. Pbp : 42,213.00 Previous A.V. Pbp : 10,550.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWOGAN under Ordinance No. 2017-05-4R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.3 PRINTED BY : AUREEN ANNE ARISTA DABAGS PRINT DATE : 2019-10-08 10:57:04

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01172** Property Identification No. : **059-06-009-25-043**

Owner: **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TDR: _____

Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**

CCT : _____ Lot No. : **4521-I**

Date : _____ Blk. No. : _____

Boundaries: North: **25-042 (4521-G, PSD-10-041111) (AR)**

East: **SE: 25-016 & IPOON CREEK (PUBLIC LAND)**

South: **SW: 25-044 (4521-K, PSD-10-041111) (AR)**

West: **25-023 (4521-H, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.230700	HA	105,834.00	AGRICULTURAL	10%	10,580.00
TOTAL:		1.230700	HA	105,834.00			10,580.00

Total Market Value : **P 105,834.00** Total Assessed Value : **P 10,580.00**

Total Assessed Value **TEN THOUSAND FIVE HUNDRED EIGHTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. OLIVERA, REA** By Authority of the Provincial Assessor: **JOCELEN J. BINASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017173**

Previous PIN : **059-06-009-25-043**

Previous Owner : **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION**

Previous Administrator : _____


Previous Area (sqm) : **12,207.00** Previous M.V. Php : **31,128.00** Previous A.V. Php : **7,780.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANSALAWOGAN under Ordinance No. 2017-05-05 (LITH 50) dated 2017-12-15. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACI v3.3 PRINTED BY : ALRIEN ANOR ABISTA ZAMBAS PRINT DATE : 2019-10-08 01:59:13

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01174 **Property Identification No. :** 059-06-009-25-044

Owner: QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : AO-6552-PART **Survey No. :** PSD-10-041111 (AR)

OCT : _____ **Lot No. :** 4521-K

Date : _____ **Bk. No.** _____

Boundaries: North: NE: 25-023 & 043 (4521-H & 4521-I, PSD-10-041111) (AR)

East: SE: 25-016 & IPOON CREEK (PUBLIC LAND)

South: SW: 25-048 (4521-L, PSD-10-041111) (AR)

West: NW: 25-045 (4521-J, PSD-10-041111) (AR)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	2.065400	HA	179,070.00	AGRICULTURAL	10%	17,910.00
TOTAL:		2.065400	HA	179,070.00			17,910.00

Total Market Value : **P 179,070.00** Total Assessed Value : **P 17,910.00**

Total Assessed Value SEVENTEEN THOUSAND NINE HUNDRED TEN AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. BENASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017174

Previous PIN : 059-06-009-25-044

Previous Owner : QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION

Previous Administrator : _____


Previous Area (sqm) : 20,654.00 Previous M.V. Php : 56,385.00 Previous A.V. Php : 14,100.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAINIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-09. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2019-10-08 02:39:00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01176** Property Identification No. : **059-06-009-25-045**

Owner: **QUISUMBING UNITED AGRARIAN REFORM** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**
 CCT : _____ Lot No. : **4521-3**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 25-023 (4521-H, PSD-10-041111) (AR)**
 East: **SE: 25-044 (4521-K, PSD-10-041111) (AR)**
 South: **SW: 25-048 (4521-L, PSD-10-041111) (AR)**
 West: **NW: 25-051-ROAD (4521-P, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____
 Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.184200	HA	109,917.00	AGRICULTURAL	10%	10,990.00
TOTAL:		1.184200	HA	109,917.00			10,990.00

Total Market Value : **P 109,917.00** Total Assessed Value : **P 10,990.00**

Total Assessed Value **TEN THOUSAND NINE HUNDRED NINETY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. OLIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCELYN J. BERNARD, REA**
ASSESSMENT CLERK II **MUNICIPAL ASSESSOR**


This declaration cancels TD No. : **H-017175**
 Previous PIN : **059-06-009-25-045**
 Previous Owner : **QUISUMBING UNITED AGRARIAN REFORM**
 Previous Administrator : _____
 Previous Area (sqm) : **11,842.00** Previous M.V. Php : **32,329.00** Previous A.V. Php : **8,080.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWIGAN under Ordinance No. 2017-0540(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : ALBERT APOR ARESTA ZAMRAS PRINT DATE : 2019-10-08 02:02:32

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01185 **Property Identification No. :** 059-06-009-25-046

Owner: QUISUMBING UNITED AGRARIAN REFORM **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/CT/CLQA No. : AO-6552-PART **Survey No. :** PSD-10-041111 (AR)

OCT : _____ **Lot No. :** 4521-C

Date : _____ **Bk. No. :** _____

Boundaries: North: NE: 25-022 (4521-B, PSD-10-041111) (AR)

East: SE: 25-051 (4521-P, PSD-10-041111) (AR)

South: SW: 25-047 (4521-D, PSD-10-041111) (AR)

West: NW: 25-017 & CULAGOHON CREEK (PUBLIC LAND)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.108500	HA	103,891.00	AGRICULTURAL	10%	10,389.00
TOTAL:		1.108500	HA	103,891.00			10,389.00

Total Market Value : P 102,891.00 **Total Assessed Value :** P 10,290.00

Total Assessed Value TEN THOUSAND TWO HUNDRED NINETY AND 00/100

Taxable ☒ **Exempt** ☐ **Effectivity of Assessment :** 2019

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCSON J. REBASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017176

Previous TIN : 059-06-009-25-046

Previous Owner : QUISUMBING UNITED AGRARIAN REFORM

Previous Administrator : _____


Previous Area (sqm) : 11,085.00 Previous M.V. Php : 30,262.00 Previous A.V. Php : 7,570.00

MEMORANDA: GENERAL REVISION OF 2018

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMULAHAWIGAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.3 PRINTED BY : AUREEN AMOR ABETA ZAMBAO PRINT DATE : 2019-09-08 02:05:07

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01187** Property Identification No. : **059-06-009-25-047**

Owner: **PABONITA, FELIX** TIN: _____
 Address: **IMPALUTAO, IMPASUG-ONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AT-28298** Survey No. : **PSD-10-041111 (AR)**
 CCT : _____ Lot No. : **4521-D**
 Date : _____ Blk. No. : _____

Boundaries: North: **NE: 25-046 (4521-C, PSD-10-041111) (AR)**
 East: **SE: 25-051 (4521-P, PSD-10-041111) (AR)**
 South: **SW: 25-025 (4521-E, PSD-10-041111) (AR)**
 West: **NW: 25-017 & CULAGONON CREEK (PUBLIC LAND)**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ BUILDING No. of Storeys : _____
☐ MACHINERY Brief Description : _____
☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	2.809000	HA	260,731.00	AGRICULTURAL	10%	26,070.00
TOTAL:		2.809000	HA	260,731.00			26,070.00

Total Market Value : **P 260,731.00** Total Assessed Value : **P 26,070.00**

Total Assessed Value **TWENTY SIX THOUSAND SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA**
ASSESSMENT CLERK II
 This declaration cancels TD No. : **H-017177**
 Previous PIN : **059-06-009-25-047**
 Previous Owner : **PABONITA, FELIX**
 Previous Administrator : _____
 Previous Area (sqm) : **28,090.00** Previous M.V. Php : **76,686.00** Previous A.V. Php : **19,170.00**


By Authority of the Provincial Assessor:
JOCELYN J. BENASAG, REA
MUNICIPAL ASSESSOR

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAYATIGAN under Ordinance No. 2017-0548(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.0 PRINTED BY : AUREEN ANOR ARESTA-DANBAS PRINT DATE : 2019-03-14 11:00:38

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01188** Property Identification No. : **059-06-009-25-048**

Owner: **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**

OCT : _____ Lot No. : **4521-L**

Date : _____ Blk. No. : _____

Boundaries: North: **NE: 25-044 & 045 (4521-K & J, PSD-10-041111) (AR)**

East: **25-016 & IPOON CREEK (PUBLIC LAND)**

South: **SW: 25-024 (4521-M, PSD-10-041111) (AR)**

West: **25-051 (4521-P, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ BUILDING No. of Storeys : _____
Brief Description : _____

☐ MACHINERY Brief Description : _____

☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	1.346300	HA	115,682.00	AGRICULTURAL	10%	11,570.00
TOTAL:		1.346300	HA	115,682.00			11,570.00

Total Market Value : **P 115,682.00** Total Assessed Value : **P 11,570.00**

Total Assessed Value **ELEVEN THOUSAND FIVE HUNDRED SEVENTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA**
ASSESSMENT CLERK II

By Authority of the Provincial Assessor: **JOCELYN J. BERNAS, REA**
MUNICIPAL ASSESSOR

This declaration cancels TD No. : **H-017178**

Previous PIN : **059-06-009-25-048**

Previous Owner : **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION**

Previous Administrator : _____


Previous Area (sqm) : **12,463.00** Previous M.V. Php : **34,024.00** Previous A.V. Php : **8,510.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALAWITAN under Ordinance No. 2017-054R(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETNACS v2.5 PRINTED BY : AUREEN APER ARISTA ZAPRAS PRINT DATE : 2019-10-08 02:07:08

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01192** Property Identification No. : **059-06-009-25-049**

Owner: **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION** TIN: _____
 Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____
 Administrator/Beneficial User: _____ TIN: _____
 Address: _____ Telephone No. : _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/Section) (Municipality & Province/City)

OCT/TC/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**
 CCT : _____ Lot No. : **4521-O**
 Date : _____ Bld. No. : _____

Boundaries: North: **25-024 (4521-N, PSD-10-041111) (AR)**
 East: **SE: 25-016 & IPOON CREEK (PUBLIC LAND)**
 South: **SW: 25-054 (4520-N, PSD-10-041116) (AR)**
 West: **NW: 25-050 (4521-N, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :
☒ LAND ☐ MACHINERY Brief Description : _____
☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.733200	HA	63,568.00	AGRICULTURAL	10%	6,360.00
TOTAL:		0.733200	HA	63,568.00			6,360.00

Total Market Value : **P 63,568.00** Total Assessed Value : **P 6,360.00**

Total Assessed Value **SDX THOUSAND THREE HUNDRED SIXTY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**


Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor:
ASSESSMENT CLERK II **JOCELYN J. BUNAG, REA**
This declaration cancels TD No. : **H-017179**
Previous PIN : **059-06-009-25-049**
Previous Owner : **QUISUMBING UNITED REFORM BENEFICIARIES ASSOCIATION**
Previous Administrator : _____
Previous Area (sqm) : **7,332.00** Previous M.V. Php : **18,697.00** Previous A.V. Php : **4,670.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGKAN under Ordinance No. 2017-05-RR(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : AUREEN AMOR ABESTA ZAPBAS PRINT DATE : 2019-10-08 02:00:32

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : **06-009-01193** Property Identification No. : **059-06-009-25-050**

Owner: **QUISUMBING UNITED AGRARIAN REFORM** TIN: _____

Address: **IMPALUTAO, IMPASUGONG, BUKIDNON** Telephone No. : _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. : _____

Location of Property: **IMPALUTAO** **IMPASUGONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TCT/CLOA No. : **AO-6552-PART** Survey No. : **PSD-10-041111 (AR)**

CCT : _____ Lot No. : **4521-M**

Date : _____ Bk. No. : _____

Boundaries: North: **NE: 25-024 (4521-M, PSD-10-041111) (AR)**

East: **SE: 25-049 (4521-O, PSD-10-041111) (AR)**

South: **SW: 25-053 (4520-G, PSD-10-041116) (AR)**

West: **NW: 25-051 (4521-P, PSD-10-041111) (AR)**

KIND OF PROPERTY ASSESSED :

☒ LAND ☐ MACHINERY Brief Description : _____

☐ BUILDING No. of Storeys : _____ ☐ OTHERS Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.990600	HA	91,947.00	AGRICULTURAL	10%	9,190.00
TOTAL:		0.990600	HA	91,947.00			9,190.00

Total Market Value : **P 91,947.00** Total Assessed Value : **P 9,190.00**

Total Assessed Value **NINE THOUSAND ONE HUNDRED NINETY AND 00/100**

Taxable ☒ Exempt ☐ Effectivity of Assessment : **2019**

Appraised By: **LEONARDA A. RIVERA, REA** By Authority of the Provincial Assessor: **JOCELYN J. BENASAG, REA**
ASSESSMENT CLERK II MUNICIPAL ASSESSOR II

This declaration cancels TD No. : **H-017180**

Previous PIN : **059-06-009-25-050**

Previous Owner : **QUISUMBING UNITED AGRARIAN REFORM**

Previous Administrator : _____


Previous Area (sqm) : **9,906.00** Previous M.V. Php : **27,043.00** Previous A.V. Php : **6,760.00**

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PAMALAWIGAN under Ordinance No. 2017-054R(LITH-SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACS v2.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2019-10-08 01:39:07

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Republic of the Philippines
MUNICIPALITY OF IMPASUGONG
PROVINCE OF BUKIDNON

TAX DECLARATION OF REAL PROPERTY

TD No. : 06-009-01194 **Property Identification No. :** 059-06-009-25-051

Owner: QUISUMBING UNITED AGRARIAN REFORM **TIN:** _____

Address: IMPALUTAO, IMPASUGONG, BUKIDNON **Telephone No. :** _____

Administrator/Beneficial User: _____ **TIN:** _____

Address: _____ **Telephone No. :** _____

Location of Property: _____ **IMPALUTAO** **IMPASUG-ONG, BUKIDNON**
(Number and Street) (Barangay/District) (Municipality & Province/City)

OCT/TC/CLOA No. : AO-6552-PART **Survey No. :** PSD-10-041111 (AR)

OCT : _____ **Lot No. :** 4521-P

Date : _____ **Blk. No. :** ROAD LOT

Boundaries: North: NE: 20-008 (4523, CAD-899)

East: SE: 25-041,023,045,048,024 & 050 (4521-F,4521-H,4521-J,4521-L,4521-M & 4521-N, ALL OF PSD-10-041111)

South: SW: 25-064 (4520-O, PSD-10-041116 AR)

West: NW: 25-040,022,046,047 & 025 (4521-A,4521-B,4521-C,4521-D & 4521-E, ALL OF PSD-10-041111) (AR)

KIND OF PROPERTY ASSESSED :

☒ **LAND** ☐ **MACHINERY** Brief Description : _____

☐ **BUILDING** No. of Storeys : _____ ☐ **OTHERS** Brief Description : _____

Classification	Sub-Class	Area	Area Type	Market Value	Actual Use	Assessment Level	Assessed Value
AGRICULTURAL	CR3	0.512500	HA	52,275.00	AGRICULTURAL	10%	5,230.00
TOTAL:		0.512500	HA	52,275.00			5,230.00

Total Market Value : **P 52,275.00** Total Assessed Value : **P 5,230.00**

Total Assessed Value **FIVE THOUSAND TWO HUNDRED THIRTY AND 00/100**

Taxable ☐ Exempt ☒ Effectivity of Assessment : **2019**

Appraised By: LEONARDA A. RIVERA, REA **By Authority of the Provincial Assessor:** JOCELYN J. EDNASAG, REA
ASSESSMENT CLERK II MUNICIPAL ASSESSOR

This declaration cancels TD No. : H-017181

Previous PSN : 059-06-009-25-051

Previous Owner : QUISUMBING UNITED AGRARIAN REFORM

Previous Administrator : _____

Previous Area (sqm) : 5,125.00 Previous M.V. Php : 13,991.00 Previous A.V. Php : 3,500.00

MEMORANDA: GENERAL REVISION OF 2018

Note: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an ordinance by the SANGGUNIANG PANGALANGGAN under Ordinance No. 2017-05-AR(13TH SP) dated 2017-12-19. It does not and cannot by itself alone confer any ownership or legal title to the property.

GENERATED BY : ETRACE v2.5 PRINTED BY : LEONARDA A. RIVERA, REA PRINT DATE : 2019-10-09 02:36:29

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-011395** Property Identification No. **215-01-0024-019-043**

Owner: BERIAL, MELECIO MARRIED TO: ANGELA SARIO BERIAL TTN: _____

Address: KALASUNGAY, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-230 Lot No. 043 Blk No.: 019
Dated: _____ Survey No. HH-313157

Boundaries

North: NE: 19-042, P. BERIAL South: SW: 19-011, E. MONTENEGRO
East: SE: 19-010, E. MONTENEGRO West: NW: 19-042-035, P. BERIAL

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.7770	Php 131,390.70	A/AGRICULTURAL	9 %	Php 11,830.00
Total		Php 131,390.70			Php 11,830.00

Total Assessed Value
Eleven Thousand Eight Hundred Thirty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 02/12/2015
City Assessor Date

FS/By: FGG/CHE S. City Assessor

This declaration cancels TD No. E-005937 Owner: BERIAL, MELECIO MARRIED TO: ANGELA SARIO BERIAL Previous A.V. Php: 4,950.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 620 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OVC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-011231** Property Identification No. **215-01-0024-021-083**

Owner: GUZMAN, CHAD LOUIE ROY H. (SINGLE) TIN: _____

Address: BRGY. SUMPONG, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-126754 Lot No. 083 Blk No. 021

Dated: _____ Survey No. 322-B PSD-10-031493

Boundaries

North: NE: BY LOT 322-C & A, ALL OF PSD-10-031493 South: SW: BY LOT 304, BOTH PLS-880

East: SE: BY LOT 323 West: _____

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.1422	Php 193,140.02	AGRICULTURAL	9 %	Php 17,380.00
Total		Php 193,140.02			Php 17,380.00

Total Assessed Value

Seventeen Thousand Three Hundred Eighty (Amount in Words)

Taxable ☒ Exempt ☐

Effectivity of Assessment/Reassessment: 1st 2015

Qtr. Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 01/14/2015

FS/By: EETIJAM City Assessor Date

This declaration cancels TD No. E-060963 Owner GUZMAN, CHAD LOUIE ROY H. (SINGLE) Previous A.V. Php 16,300.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-Old

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012292** Property Identification No. **215-01-0024-028-027**

Owner: SAWAYAN, FELIPA A. (WIDOW) ET AL. SEE MEMO TIN: _____

Address: KALASUNGAY, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-31104 Lot No. 027 Blk No.: 028

Dated: _____ Survey No. 7 PSD-10-010990

Boundaries

North: NW 25-022-023-024-025-026 C. SAWAYAN, E South: SE 25-004-008- G. CHING, L. ESQUILLO

East: SAWAYAN West: _____

SW: 25-002- A. RECINA

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	7.0000	Php 1,077,300.00	AGRICULTURAL	0 %	Php 96,960.00
Total		Php 1,077,300.00			Php 96,960.00

Total Assessed Value
Ninety-Six Thousand Nine Hundred Sixty

(Amount in Words)

Taxable ☒ Exempt ☐

Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 03/17/2015

PS/By: chez/JAM City Assessor Date

This declaration cancels TD No. E-013208 Owner: SAWAYAN, FELIPA A. (WIDOW) ET AL. SEE MEMO Previous A.V. Php: 40,820.00

MEMORANDA: OWNERS: SAWAYAN, FELIPA A. (WIDOW), LILIA S. LINOYAN, HELENITA S. BALAS, ALEX SAWAYAN, EMETILLO SAWAYAN, AND MERLITA S. SILAYAN.; **NOTE:** REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 800 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012659** Property Identification No. **215-01-0024-019-054**

Owner: GAYON, ROGER I. MARRIED TO: VERONICA T. GAYON TIN: _____

Address: KALASUNGAY MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. AT-20765 Lot No. 054 Blk No.: 019

Dated: _____ Survey No. 3568-C, PSD-10-041461 (AR)

Boundaries

North: BY LOT 3567, CAD-864 South: BY LOT 3669, CAD-864

East: BY LOT 3568-B, PSD-10-041461 West: BY LOT 3568-D, PSD-10-041461 (AR)

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190.000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.0000	Php 507,300.00	AGRICULTURAL	3 %	Php 45,660.00
Total		Php 507,300.00			Php 45,660.00

Total Assessed Value
Forty-Five Thousand Six Hundred Sixty

(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: LUCIA S. ALEGRE, REA 05/05/2015
City Assessor Date

FS/By: ROXY JMB
City Assessor

This declaration cancels TD No. E-047746 Owner GAYON, ROGER I. MARRIED TO: VERONICA T. GAYON Previous A.V. Php: 19,220.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012660** Property Identification No. **215-01-0024-019-055**

Owner: DAGUPLO, GILBERT L. (SINGLE) TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. AT-20766 Lot No. 055 Blk No.: 019

Dated: _____ Survey No. 3568-D, PSD-10-041461 (AR)

Boundaries

North: BY LOT 3618, CAD-864 South: BY LOT 3689, CAD-864

East: BY LOT 3568-C, PSD-10-041461 (AR) West: BY LOT 3568-E, PSD-10-041461 (AR)

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.0000	Php 507,300.00	AGRICULTURAL	9 %	Php 45,660.00
Total		Php 507,300.00			Php 45,660.00

Total Assessed Value

Forty-Five Thousand Six Hundred Sixty (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 05/05/2015

PS/By: ROXYUMB City Assessor Date

This declaration cancels TD No. E-047747 Owner DAGUPLO, GILBERT L. (SINGLE) Previous A.V. Php: 19,220.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Parklands under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012661** Property Identification No. **215-01-0024-019-056**

Owner: **MARTINEZ, ENRIQUE J. MARRIED TO: LUCENA C. MARTINEZ** TIN: _____

Address: **KALASUNGAY, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **AT-20767** Lot No. **056** Blk No.: **019**
Dated: _____ Survey No. **3568-E, PSD-10-041461 (AR)**

Boundaries

North: **BY LOT 3618, CAD-864** South: **BY LOT 3669, CAD-864**
East: **BY LOT 3568, PSD-10-041461 (AR)** West: **BY LOT 3664, CAD-864**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190,000/ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.0591	Php 517,253.81	AGRICULTURAL	9 %	Php 46,560.00
Total		Php 517,253.81			Php 46,560.00

Total Assessed Value
Forty-Six Thousand Five Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: **1st** **2015**
Qtr. Yr.

APPROVED BY:  **ALICIA S. ALEGRES, REA** **05/05/2015**
City Assessor Date

FS/By: **ROXY/JMB** City Assessor


This declaration cancels TD No. **E-047748** Owner **MARTINEZ, ENRIQUE J. MARRIED TO: LUCENA C. MARTINEZ** Previous A.V. Php: **19,600.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

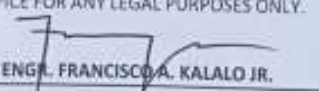
CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**


MAYLYN T. GANTLAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.


ENG. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012997** Property Identification No. **215-01-0024-025-017**

Owner: BAT-AD, PRESADIA B. TIN: _____

Address: ABUHAN, MANAGOK, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. 017 Bk No. 025
Dated: _____ Survey No. _____

Boundaries

North: 25-005-PRESADIA BAT-AD South: 25-018-INOCENIO GUINOBLAY
East: SECTION 19 West: 25-016-FORTUNATO MORENO

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.; PINEAPPLE LAND-650,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	11.9177	Php 1,969,595.81	CORN LAND	9 %	Php 177,300.00
LAND	1.2300	695,505.00	PINEAPPLE LAND	0 %	62,500.00
Total		Php 2,665,100.81			Php 239,800.00

Total Assessed Value:
Two Hundred Thirty-Nine Thousand Nine Hundred (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: Alicia S. Alegres, REA 05/27/2015
City Assessor Date

PS/By: chezACC City Assessor

This declaration cancels TD No. E-058382 Owner BAT-AD, PRESADIA B. Previous A.V. Php: 100,330.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 825 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MATLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENG. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013382** Property Identification No. **215-01-0024-025-045**

Owner: SINCERO, JUDITH R. TIN: _____

Address: L-11, BLK 2, GREENFIELDS SUBD., CASISANG, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY** **CITY OF MALAYBALAY**

(Number and Street) *(Barangay / District)* *(City)*

OCT/TCT/CLOA No. AFFP NO. 101312-5110 Lot No. 045 Blk No. 025

Dated: _____ Survey No. 3626-D, CSD-10-017988-D

Boundaries

North: _____ South: SW: 25-044 - F. MELTRELEZ

East: SE: 25-017 - P. BAT-AO West: NW: 25-LOT 3626-E, CSD-10-017988-D

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.1701	Php 512,778.65	AGRICULTURAL	B %	Php 46,150.00
Total		Php 512,778.65			Php 46,150.00

Total Assessed Value

Forty-Six Thousand One Hundred Fifty *(Amount in Words)*

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015

Qtr. Yr.

APPROVED BY: Alicia S. Alegres, Rea 09/23/2015

City Assessor Date

PS/By: ROXY

This declaration cancels TD No. E-066343 Owner: SINCERO, JUDITH R. Previous A.V. Php: 19,430.00

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 20 14, it does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013389** Property Identification No. **215-01-0024-019-010**

Owner: **MONTENEGRO, EDUARDO DE** TIN: _____

Address: **821, E. QUINTOS ST. SAMPALOC MANILA** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-13662** Lot No. **010** Blk No.: **019**
Dated: _____ Survey No. **H-203161 345 PLS-800**

Boundaries

North: **NE: 19-001 E. DE MONTENEGRO** South: **SE: 19-0148, 017 N. MA, C. MA**

East: **SW: KALASUNGAY CREEK, 19-011 E. DE MONTENEGRO** West: **NW: ROAD 19-011 E. DE MONTENEGRO**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____


Brief Description: **SUGAR LAND-490,000ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	22.4368	Php 9,784,252.38	AGRICULTURAL	9 %	Php 880,580.00
Total		Php 9,784,252.38			Php 880,580.00

Total Assessed Value
Eight Hundred Eighty Thousand Five Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: **1st** **2015**
Qtr. Yr.

APPROVED BY:  **ALICIA S. ALEGRES, REA** **05/29/2015**
City Assessor Date

SPS/By:  **cheziACC**


This declaration cancels TD No. **E-062077** Owner: **MONTENEGRO, EDUARDO DE** Previous A.V. Php: **359,420.00**

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang **Panlungsod** under Ordinance No. **820** dated **July 22**, 20 **14**. It does not and cannot by itself alone confer any ownership or legal title to the property.


CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**


MAYLYN T. SANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.


ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013391** Property Identification No. **215-01-0024-019-035**

Owner: BERIAL, TEOTIMO MARRIED TO PRISCILLA BERIAL TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-230 Lot No. 035 Blk No.: 019

Dated: _____ Survey No. LOTH-213137

Boundaries

North: NE: 19-042 P. BERIAL South: SE: ROAD 19-043 M. BERIAL

East: SW: 19-012 V. MONTENEGRO West: NW: 19-036 J. GALUPO

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: PINEAPPLE LAND-850,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.9021	Php 1,678,864.85	AGRICULTURAL	9 %	Php 151,100.00
Total		Php 1,678,864.85			Php 151,100.00

Total Assessed Value

One Hundred Fifty-One Thousand One Hundred

(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: ALICIA S. ALEGRES, REA 05/29/2015

PS/By: chez/ACC City Assessor Date

This declaration cancels TD No. E-062079 Owner: BERIAL, TEOTIMO MARRIED TO PRISCILLA BERIAL Previous A.V. Php: 61,990.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013392** Property Identification No. **215-01-0024-019-037**

Owner: BRIZO, LEONIDA MARRIED TO ENTIQUIO BRIZO TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-230 Lot No. 037 Blk No. 019
Dated: _____ Survey No. LOT F, H-21217

Boundaries

North: 19-040 N. ALAIZA South: SE: 19-036 J. GALUPO
East: SW: 19-049 L. BRIZO West: NW: 19-038 E. SALVO

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: PINEAPPLE LAND-650,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.9022	Php 1,578,922.70	AGRICULTURAL	9 %	Php 151,100.00
Total		Php 1,578,922.70			Php 151,100.00

Total Assessed Value
One Hundred Fifty-One Thousand One Hundred
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: ALICIA B. ALEGRES, REA 05/29/2015
City Assessor Date

PS/By: chez/ACC

This declaration cancels TD No. E-062081 Owner BRIZO, LEONIDA MARRIED TO ENTIQUIO BRIZO Previous A.V. Php: 61,990.00

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Parungod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-Off

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013393** Property Identification No. **215-01-0024-019-038**

Owner: SALVO, ERLINDA MARRIED TO PABLITO SALVO TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-230 PART Lot No. 038 Blk No.: 019

Dated: _____ Survey No. 3-H-213137

Boundaries

North: NE: 19-039 C. SERIAL South: SE: 19-037 L. BRIZO

East: SW: 25-049 L. BRIZO West: NW: 25-006 P. BAT-A0

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ Specify: _____

Brief Description: SUGAR LAND-490,000/ha.; CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.9022	Php 978,705.30	AGRICULTURAL	9 %	Php 88,080.00
Total		Php 978,705.30			Php 88,080.00

Total Assessed Value

Eighty-Eight Thousand Eighty (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015

Qtr. Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 05/29/2015

City Assessor Date

FS/By: chezi/ACC

This declaration cancels TD No. E-062082 Owner SALVO, ERLINDA MARRIED TO PABLITO SALVO Previous A.V. Php 36,120.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. SANTALAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-013398** Property Identification No. **215-01-0024-025-044**

Owner: MELTRELEZ, FELIZARDO KASAL KAY LEONORA MELTRELEZ TIN: _____

Address: BANTUANON, LANTAPAN BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY CITY OF MALAYBALAY**

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-73800 Lot No. 044 Blk No. 025

Dated: _____ Survey No. 3526-C CSD-10-017988-D

Boundaries

North: NE: 3626 E & D CSD-10-017988-D South: SW: LOT 3626-B CSD-10-017988-D

East: SE: 25-017 BAT-AD P. West: NW: 25-004 CHING G.

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.1750	Php 524,827.50	AGRICULTURAL	9 %	Php 47,230.00
Total		Php 524,827.50			Php 47,230.00

Total Assessed Value

Forty-Seven Thousand Two Hundred Thirty (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: LUCIA S. ALEGRES, REA 06/01/2015

PS/By: ALD/ROXY City Assessor Date

This declaration cancels TD No. E-065056 Owner MELTRELEZ, FELIZARDO KASAL KAY LEONORA MELTRELEZ Previous A.V. Php: 19,890.00

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Parangusod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-038915** Property Identification No. **215-01-0024-019-049**

Owner: BRIZO, LEONIDA B. MARRIED TO EUTQUIO B. BRIZO TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-31500 Lot No. 049 Blk No. 019
Dated: _____ Survey No. 3658-B, CSD-10-012834-D

Boundaries

North: NE BY LOT 3621 South: SE BY LOT 3658-A
East: _____ West: W BY LOT 3657

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
☐ **BUILDING** Brief Description: _____
No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: PINEAPPLE LAND-650,000ha.; CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.7748	Php 1,605,221.80	AGRICULTURAL/PINEAPP	9 %	Php 144,470.00
LAND	0.2255	38,132.05	AGRICULTURAL/CORNLA	9 %	3,430.00
Total		Php 1,643,353.85			Php 147,900.00

Total Assessed Value
One Hundred Forty-Seven Thousand Nine Hundred
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: _____
FS/By: FGG/MLR ALICIA S. ALEGRES, REA 11/07/2014
City Assessor Date

This declaration cancels TD No. F-038915 Owner BRIZO, LEONIDA B. MARRIED TO EUTQUIO B. BRIZO Previous A.V. Php: 80,720.00

MEMORANDA: NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160: ANNOTATION MORTGAGED FOR 25,000 TO THE AHB BY SPS DANILLO & MYRNA BRIZO ON 2-9-06 ROD ENTRY W/ SPS/SGD. ACRE

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 620 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN J. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-047179** Property Identification No. **215-01-0024-024-095**

Owner: LITAO, KISMERITO K. MARRIED TO AMIE B. LITAO TIN: _____

Address: PUROK 1, KALASUNGAY, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 5 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. AT-27889 Lot No. 085 Blk No.: 024
Dated: _____ Survey No. 3625-G, PSD-10-039144 (AR)

Boundaries

North: NE: LOT 3605-D, PSD-10-039144 (AR) South: SW: LOT 4505, CAD-864
East: SE: LOT 3605-F & H, PSD-10-039144 (AR) West: NW: LOT 3605-A, PSD-10-39144 (AR)

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: PINEAPPLE LAND-650,000/ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.0219	Php 1,708,894.45	AGRICULTURAL	9 %	Php 153,800.00
Total		Php 1,708,894.45			Php 153,800.00

Total Assessed Value
One Hundred Fifty-Three Thousand Eight Hundred
(Assessed in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2017
Qtr. Yr.

APPROVED BY: Alicia S. Alegres, REA 02/10/2016
City Assessor Date

PS/By: /GUNG City Assessor

This declaration cancels TD No. F-046862 Owner DEVELOPMENT BANK OF THE PHILIPPINES P.A. = 17,1040 HAS. PART 1/2
Previous A.V. Php: 254,460.00

MEMORANDA NOTE: AN AREA OF 3.0219 HAS. IS TRANSFERRED FROM THE DEVELOPMENT BANK OF THE PHILIPPINES TO THE HEREIN DECLARANT PER CERTIFICATION ISSUED AND SIGNED BY ENGR. MARINO D. DASILAO, CITY AGRARIAN REFORM PROGRAM OFFICER, DTD: 01/11/16 @ MALAYBALAY CITY AND PER TCT NO. AT-27669. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Pantungod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN F. GANTALAO
City Assessor OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. BALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-047180** Property Identification No. **215-01-0024-024-096**

Owner: DEVELOPMENT BANK OF THE PHILIPPINES TIN: _____

Address: BONIFACIO DRIVE, MLYBLY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: WACAT KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. REM. PART Lot No. 096 Blk No. 024
Dated: _____ Survey No. 250-PLS-800

Boundaries

North: NE: SECTION 21 South: SW: 24-009-007- D. ANDALIGO A. MELISTON
East: SE: SECTION 25 West: NW: SECTION 22

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	14.0821	Php 2,327,771.13	AGRICULTURAL	9 %	Php 209,500.00
Total		Php 2,327,771.13			Php 209,500.00

Total Assessed Value

Two Hundred Nine Thousand Five Hundred
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: Alicia S. Alegres, REA 02/10/2019
City Assessor Date

FS/By: AGUNG City Assessor

This declaration cancels TD No. F-046862 Owner DEVELOPMENT BANK OF THE PHILIPPINES P.A. = 17.1040 HAS. REM. PART
2/2 Previous A.V. Php: 254,460.00

MEMORANDA: NOTE: THIS IS THE REMAINING PORTION AFTER AN AREA OF 3.0219 HAS. IS TRANSFERRED TO KISMERITO K. LITAO (M).

This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market value prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Pantunglod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

REALTY TAX PAID IN FULL UP TO 2016 UNDER OR NO. 6674317M DTD: 02/10/16 @ CTO MALAYBALAY.

PROPERTY NO. 117

OWNER: [illegible]

ADDRESS: [illegible]

ASSESSMENT YEAR: 2016

TAX AMOUNT: [illegible]

PAYMENT DATE: 02/10/16

REMARKS: [illegible]

SIGNATURE: [illegible]

DATE: [illegible]

OFFICIAL SEAL: [illegible]

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-047180** Property Identification No. **215-01-0024-024-096**

Owner: **DEVELOPMENT BANK OF THE PHILIPPINES** TIN: _____

Address: **BONIFACIO DRIVE, MLYBLY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **WACAT** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **REM PART** Lot No. **096** Blk No.: **024**
Dated: _____ Survey No. **250-PLS-800**

Boundaries

North: **NE: SECTION 21** South: **SW: 24-009-007- D. ANDALIGO / L. MELISTON**
East: **SE: SECTION 25** West: **NW: SECTION 22**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190,000ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	14.0821 Php	2,327,771.13	AGRICULTURAL	5 %	Php 200,500.00
Total		Php 2,327,771.13			Php 200,500.00

Total Assessed Value
Two Hundred Nine Thousand Five Hundred _____
(Amount in Words)

Taxable: ☒ Exempt: ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: _____
ALICIA SI ALEGRES, REA 02/10/2016
City Assessor Date

PS/Bty: /GUNG _____
City Assessor Date

This declaration cancels TD No. **F-046862** Owner **DEVELOPMENT BANK OF THE PHILIPPINES, P.A. = 17.1040 HAS. REM PART**
222 Previous A.V. Php/ 254,482.00

MEMORANDA: NOTE: THIS IS THE REMAINING PORTION AFTER AN AREA OF 3.0219 HAS. IS TRANSFERRED TO KISMERITO K. LITAO (M).

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**
MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028588** Property Identification No. **215-01-0021-003-001**

Owner: **DESOYO, MARBELITO MARRIED TO: AUREA MARTINEZ** TIN: _____

Address: **DALWANGAN, MALAYBALAY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. **001** Bk No.: **003**
Dated: _____ Survey No. **7-A, PLS-800**

Boundaries

North: **NE: 003-003, LOT 7-B, CSD-10-012737-D** South: **SW: SEC. 004**
East: **SE: 003-011, LOT 7-K, CSD-10-012737-D** West: **NW: PANGALAMANGON CREEK**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190,000/ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.5785	Php 418,427.75	AGRICULTURAL	0 %	Php 37,480.00
Total		Php 418,427.75			Php 37,480.00

Total Assessed Value
Thirty-Seven Thousand Four Hundred Eighty
(Amount in Words)


Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 10/23/2014
City Assessor Date

FS/By: ALDMLR

This declaration cancels TD No. **E-005278** Owner **DESOYO, MARBELITO MARRIED TO: AUREA MARTINEZ** PREV. AREA= 2.5785
HAS. Previous A.V. Php: **15,780.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

 This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prescribed for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. SANTALAO
City Assessor-Q/C

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. SALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Dalwangan

LAYER	SECTION	LAND PIN	TAX DEC. NO.	DECLARANT	TITLE NO
Dalwangan	03	001	F-028588	DESOTO, MARBELITO MARRIED TO: AUREA MARTINEZ	
Dalwangan	04	021	F-028615	SOLOMON, MEDARDO SR. KASAL KAY NOLYNDA DALMENTO	P-53206
Dalwangan	04	040	F-057367	BAGIOHAN, ADRIANO D	T-81388
Dalwangan	04	037	F-028624	MINISTRY OF EDUCATION CULTURAL AND SPORTS (NOW) DEPARTMENT OF EDUCATION CULTURE AND SPORTS	
Dalwangan	04	038		S. F	
Dalwangan	04	001	F-028604	LEGASPI, LETECIA M. MARRIED TO: DIOSDADO B. LEGASPI	P-29545
Dalwangan	04	049	F-057911	SUAREZ, EDUARDO C. JR. MARRIED TO ANNA LIZA B. WABAN	T-91628
Dalwangan	04	025	F-028620	MONTEMAYOR, AMADO ZOSIMO R. JR. ET.AL. (SEE MEMO)	T-36879
Dalwangan	04	022	F-028616	MAGSANDY, CARLO MAGNO C. ET.AL. (SEE MEMO)	T-57940
Dalwangan	04	051	F-055944	PIQUE, RUTCHIE V. (WIDOW) ET. AL. (SEE MEMO)	133-2018002343
Dalwangan	04	050	F-051891	PIQUE, RUTCHIE V. MARRIED TO: EXPEDITO H. PIQUE	T-66349
Dalwangan	05	023	F-028660	MORENO, ELIONARDA MARRIED TO MANUEL ANDALISTON	P-8936
Dalwangan	05	047	F-028687	JUMALON, GENITO MARRIED TO: CLOTILDE JUMALON	T-29908
Dalwangan	05	046	F-060046	LIU, NERIO C	133-2020002435
Dalwangan	05	048	F-028688	JUMALON, GENITO MARRIED TO CLOTILDE BARROS	T-29371
Dalwangan	05	077	F-028717	JUMALON, GENITO MARRIED TO CLOTILDE BARROS	T-32970
Dalwangan	05	046	F-029297	LESTON, JUANITO	
Dalwangan	16	001	F-045216	COMMONWEALTH OF THE PHILIPPINES	OCT-56

17

Page 1 of 1

To: R. C. N.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-011034** Property Identification No. **215-01-0024-019-036**

Owner: GALUPO, JUDITH (WIDOW) TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-230 Lot No. 036 Blk No. 019

Dated: _____ Survey No. G.H-213137

Boundaries

North: NE: 19-041 P. BERAL South: SE: P 19-035 T. BERAL

East: SW: 19-42, 012, L. BRIZO V. MONTENEGRO West: NW: 19-037, 040 L. BRIZO, N. ALAIZA

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ Specify: _____

Brief Description: SUGAR LAND-490.000ha; CORN LAND-190.000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.9022 Hpa	Php 672,620.22	AGRICULTURAL	0 %	Php 65,540.00
Total		Php 672,620.22			Php 65,540.00

Total Assessed Value
Sixty Thousand Five Hundred Forty

(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015

Qtr. Yr.

APPROVED BY: Alicia S. Alegres, REA 12/18/2014

City Assessor Date

FS/By: ROX/ACC

This declaration cancels TD No. E-062080 Owner GALUPO, JUDITH (W) Previous A.V. Php 25,040.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-010777** Property Identification No. **215-01-0024-019-052**

Owner: UNABIA, MA. CELESTE C. (SINGLE) TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administration/Beneficial User: _____ TTN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY** **CITY OF MALAYBALAY**

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. AT-20763 Lot No. 052 Blk No.: D19

Dated: _____ Survey No. 3568-A, PSD-10-041461 (AR)

Boundaries

North: BY LOT 3573, CAD-864 South: BY LOT 3669, CAD-864

East: BY LOT 3671, CAD-864 West: BY LOT 3568-B, PSD-10-041461 (AR)

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.0000	Php 507,300.00	AGRICULTURAL	0 %	Php 45,660.00
Total		Php 507,300.00			Php 45,660.00

Total Assessed Value

Forty-Five Thousand Six Hundred Sixty (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015

Qtr. Yr.

APPROVED BY: Alicia S. Alegres, Rea 12/11/2014

PS/By: FGGUMB City Assessor Date

This declaration cancels TD No. E-047744 Owner UNABIA, MA. CELESTE C. (SINGLE) Previous A.V. Php: 19,220.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Parungod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-Old

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

Republic of Philippines
 City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

TD No. **F-052929** Property Identification No. **215-01-0024-019-060**

Owner: VIDAL ROBIN AYN T. (MINOR) REPRESENTED BY RONALD RAYMUND C. VIDAL TIN: 459-688-554

Address: ZONE-1, BONIFACIO DRIVE, BRGY. 001, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PURCK 03 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No.: 133-2018000606 Lot No. 060 Blk No.: 019
 Dated: _____ Survey No.: 3558-B-2 PSD-10-056860

Boundaries:

North: NE: 019-006 LOT 3567, 018-003 LOT 3573 019-001 South: SW: 019-054 LOT 3568-C
 East: LOT 3568-B-1 West: NW: 019-054 LOT 3568-C, PSD-10-041461 (AR)
SE: 019-019 LOT 3669, CAD-864

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: CORN LAND-190 000/ha. ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
 Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.5000 Hpa	Php 422,750.00	AGRICULTURAL	9 %	Php 38,050.00
Total		Php 422,750.00			Php 38,050.00

Total Assessed Value
Thirty-Eight Thousand Fifty *(Amount in Words)*

Taxable: ☒ Exempt: ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2019 Yr.


APPROVED BY: BENITO O. LUGTU 04/17/2018
 City Assessor Date

FS/By: LCMMDOU

This declaration cancels TD No. **F-011074** Owner CESLIS, RENATO B. MARRIED TO: FE CESLIS - PREV AREA 3.0000 HAS.
 (PT-1/2) Previous A.V. Php. 45,860.00

MEMORANDA NOTE: AN AREA OF 2.5000 HAS. IS TRANSFERRED FROM RENATO B. CESLIS TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF SALE OF A PORTION OF REGISTERED LAND, EXECUTED BEFORE FLAVIANO T. GAPOL JR., NOTARY PUBLIC PER DOC NO. 327, PAGE NO. 66, BOOK NO. LIII, SERIES OF 2014 AND PER TCT NO. 133-2018000606. REALTY TAX PAID IN FULL UP TO 2018 UNDER OR #6758922 DATED 12/28/2017. TRANSFER TAX PAID UNDER OR #7397023 IN THE AMOUNT OF P200.00 DATED 4/17/2018 @ CTC MALAYBALAY CITY. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. 870 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

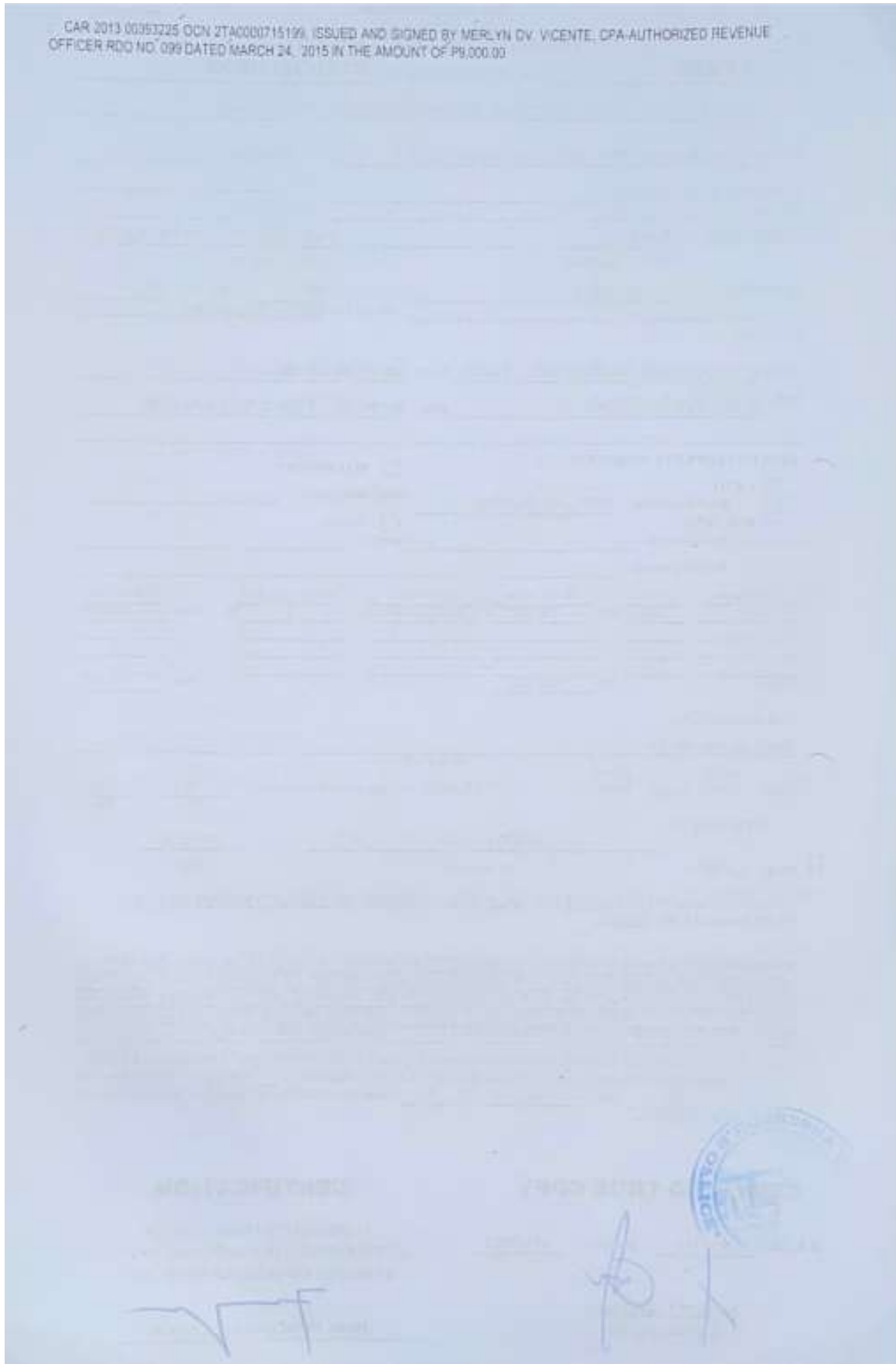
MAYLYN T. GANTALAO
City Assessor-Old

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-060439** Property Identification No. **215-01-0024-019-061**

Owner: **UNABIA, MA. CELESTE C. (SINGLE)** TIN: **135-110-823**

Address: **ZONE 5, BARANGAY CASISANG, MALAYBALAY CITY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 03** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **133-2018000605** Lot No. **061** Blk No.: **019**
Dated: _____ Survey No. **LOT 3568-B-1, PSD-10-056860**

Boundaries

North: **019-060, LOT LOT 3568-B-2, PSD-10-056860** South: **019-019, LOT 3660, CAD-884**
East: **019-052, LOT 3568-A, PSD-10-041461 (AR)** West: **019-060, LOT LOT 3568-B-2, PSD-10-056860**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: **CORN LAND-190.000ha** Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.5000	Php 84,550.00	AGRICULTURAL	9 %	Php 7,610.00
Total		Php 84,550.00			Php 7,610.00

Total Assessed Value
Seven Thousand Six Hundred Ten
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2022 Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** 03/12/2021
FS/By: **LQM/MDVU** City Assessor Date

This declaration cancels TD No. **F-052930** Owner: **CESLIS, RENATO B. MARRIED TO: FE CESLIS PREV. AREA - 0.5000 HA. Previous A.V. Php 7,610.00**

MEMORANDA: NOTE: TRANSFERRED FROM RENATO B. CELLIS (M) TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF SALE OF A PORTION OF REGISTERED LAND, EXECUTED BEFORE FLAVIANO T. GAPOL, JR., NOTARY PUBLIC PER DOC NO. 328; PAGE NO. 66; BOOK NO. LIII; SERIES OF 2014 AND PER TCT NO. 133-2018000605. REALTY TAX PAID IN FULL UP TO 2021 UNDER OR # 7209502 DATED 03/11/2021. TRANSFER TAX PAID UNDER OR # 1524940 DATED 03/11/2021 IN THE AMOUNT OF P80.00 @ CTO-MALAYBALAY CITY.*** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

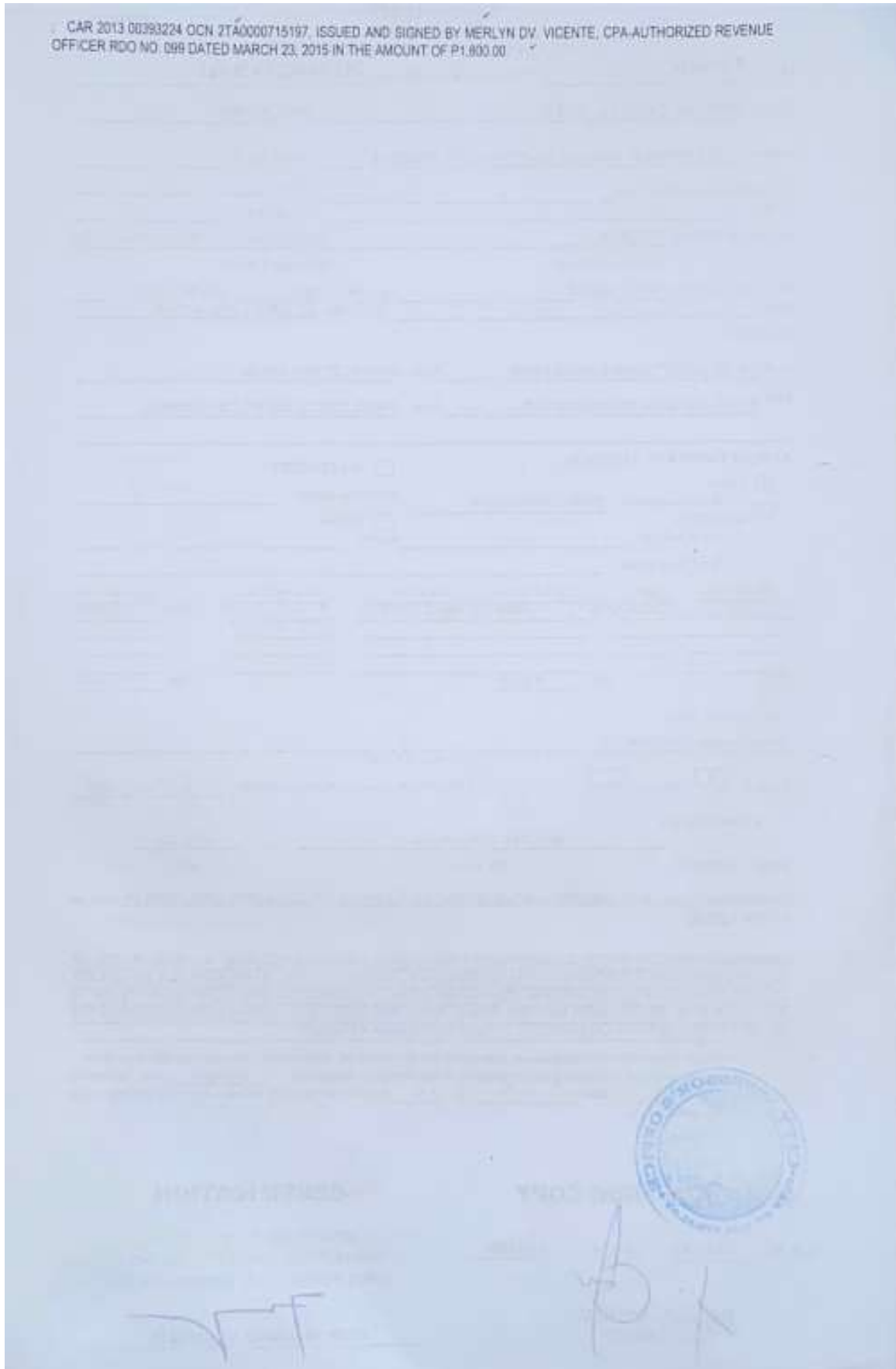
MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. BALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

Republic of Philippines
 City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

TD No. **F-058762** Property Identification No. **215-01-0024-025-046**

Owner: CHING, EMERENCIANA A. (WIDOW) TIN: 401-192-766-000

Address: #25, STA. CRUZ ST., PUROK 04, BRGY. SUMPONG, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: KAWILHAN, PUROK 04 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCCT/TCT/CLOA No. 133-2019004719 Lot No. 046 Blk No. 025
 Dated: _____ Survey No. LOT 4, PSD-10-070693

Boundaries:

North: NE 025-020 LOT 322, PLS-800 South: SW LOT 4236, CAD-864
 East: SE 025-047 LOT 3, PSD-10-070693 West: NW 025-027 LOT 4187 E.F, GH, PSD-10-052544

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: CORN LAND-190.003ha. ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
 Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	13.0031 Hectares	Php 2,149,412.43	AGRICULTURAL	5 %	Php 107,450.00
Total		Php 2,149,412.43			Php 107,450.00

Total Assessed Value:
One Hundred Ninety-Three Thousand Four Hundred Fifty (Amount in Words)


Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021

APPROVED BY: MAYLYN T. GANTALAO - OIC 06/26/2020
 FS/By: LCM/RHV City Assessor Date

This declaration cancels TD No. F-025553 Owner CHING, GUILLERMO G. MARRIED TO: EMERENCIANA P. ARCEJO PREV. AREA - 20.8001 HAS. (PT. 1/2) Previous A.V. Php 309,640.00

MEMORANDA NOTE: AN AREA OF 13.0031 HAS. IS TRANSFERRED FROM GUILLERMO G. CHING (MARRIED) TO THE HEREIN DECLARANT BY VIRTUE OF EXTRA-JUDICIAL SETTLEMENT OF THE INTESTATE ESTATE OF GUILLERMO G. CHING WITH WAIVER OF RIGHTS, EXECUTED BEFORE FIEL DAVIAN A. DECENA, NOTARY PUBLIC PER DOC NO. 59; PAGE NO. 12, BOOK NO. XXIX, SERIES OF 2013 AND PER TCT NO. 133-2019004719. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-058763** Property Identification No. **215-01-0024-025-047**

Owner: CHING, GUILLERMO G. MARRIED TO: EMERENCIANA P. ARCELO TIN: 434-150-004-000

Address: # 25 STA CRUZ ST., PUROK-4, SUMPONG, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: KAWELIHAN, PUROK-04 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-3501 REM PART Lot No. 047 Blk No. 025
Dated: _____ Survey No. H-224504

Boundaries

North: NE: 021-083 & 004 LOT 322-B & LOT 3626-E South: SW: 025-046 LOT 4, PSD-10-070693

East: SE: 025-006 & 044 LOT 3626-C & LOT 3626-B West: NW: 021-020 LOT 322, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: CORN LAND-190,000/ha ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Stories: _____ ☐ **Others:** _____
Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	7.7970	Php 1,288,844.10	AGRICULTURAL	0 %	Php 116,000.00
Total		Php 1,288,844.10			Php 116,000.00

Total Assessed Value
One Hundred Sixteen Thousand (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021


APPROVED BY: MAYLYN T. GANTALAD - OIC 06/26/2020

FS/By: LCMRHV City Assessor Date

This declaration cancels TD No. F-025353 Owner CHING, GUILLERMO G. MARRIED TO: EMERENCIANA P. ARCELO PREV. AREA 208.001 HAS. (REM. PT. 2/2) Previous A.V. Php: 309,440.00

MEMORANDA: NOTE: THIS IS THE REMAINING PORTION AFTER AN AREA OF 13.0031 HAS. IS TRANSFERRED TO EMERENCIANA A. CHING (WIDOW). REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7126985 DATED 06/26/2020 @ CTO-MALAYBALAY CITY.

Notes: _____



CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAD
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-059489** Property Identification No. **215-01-0024-018-036**

Owner: **SULOGAN, NORMA S. MARRIED TO COSME SULOGAN** TIN: _____

Address: **KALASUNGAY, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PURCK 02** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **AO-10570** Lot No. **036** Blk No.: **018**
Dated: _____ Survey No. **LOT 40345, CAD-864, CSD-10-013437 (AR)**

Boundaries

North: **NE: 018-037, LOT 40346, CAD-864** South: **SW: 018-035, LOT 40344, CAD-864**
East: **SE: 018-039, LOT 3670-G, CSD-10-013437** West: **NW: 019-021,020, LOT 3046, PLS-800 & LOT 350-A, CSD-10-013141-D**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: **PINEAPPLE LAND-650.000/ha: (** Brief Description: _____
☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____
Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.0258	Php 590,425.30	PINEAPPLE LAND	5 %	Php 53,410.00
LAND	1.7000	288,991.90	CORN LAND	5 %	26,010.00
Total		879,417.20			Php 79,420.00

Total Assessed Value
Seventy-Nine Thousand Four Hundred Twenty (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021 Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** 10/14/2020
FS/By: CMM/RHV City Assessor Date

This declaration cancels TD No. **F-012320** Owner **SULOGAN, NORMA S. MARRIED TO COSME SULOGAN PREV. AREA - 2.7348**
HAS. Previous A.V. Php: **41,620.00**

MEMORANDA: NOTE: THIS ASSESSMENT IS TO RECLASSIFY A PORTION OF 1.0258 HAS. FROM CORN LAND TO PINEAPPLE LAND BASED ON LISTING SUBMITTED BY DEL MONTE PHIL. INC., SIGNED BY JOEL M. ZACAL, MANAGER DATED AUGUST 26, 2020, REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7066614J DATED 11/29/2019 @ CTO-MALAYBALAY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**
MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.
ENGR. FRANCISCO A. MALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

Republic of Philippines
 City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

TD No. **F-059490** Property Identification No. **215-01-0024-018-035**

Owner: SULOGAN, CASIMER S. MARRIED TO ROSELYN S. SULOGAN TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 02 KALASUNGAY CITY OF MALAYBALAY
 (Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-122832 Lot No. 035 Blk No. 018
 Dated: _____ Survey No. LOT 40344, CAD-864

Boundaries:

North: NE: 018-036, LOT 40345, CAD-864 South: SW: 018-034, LOT 40343, CAD-864
 East: SE: 018-039, LOT 3870-G, CSD-10-013437 West: NW: 018-022.021, LOT 3045 & 3046, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: PINEAPPLE LAND-650.000ha. C
☐ **BUILDING** No. of Storeys: _____
 Brief Description: _____

☐ **MACHINERY** Brief Description: _____
☐ **Others:** Specify: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.8118	Php 489,626.30	PINEAPPLE LAND	9 %	Php 42,270.00
LAND	1.9229	325,162.39	CORN LAND	9 %	29,270.00
Total		Php 794,788.69			Php 71,540.00

Total Assessed Value
Seventy-One Thousand Five Hundred Forty
 (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021
 Yr.


APPROVED BY: MAYLYN T. GANTALAO - OIC 10/14/2020
 City Assessor Date

FS/By: CMM/RHV

This declaration cancels TD No. F-012207 Owner: SULOGAN, CASIMER S. MARRIED TO ROSELYN S. SULOGAN PREV. AREA - 2.7347 HAS, Previous A.V. Php: 41,620.00

MEMORANDA: NOTE: THIS ASSESSMENT IS TO RECLASSIFY A PORTION OF 0.8118 HA. FROM CORN LAND TO PINEAPPLE LAND BASED ON LISTING SUBMITTED BY DEL MONTE PHIL. INC., SIGNED BY JOEL M. ZACAL, MANAGER DATED AUGUST 26, 2020. REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7068028W DATED 12/10/2019 @ CTO-MALAYBALAY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-059491** Property Identification No. **215-01-0024-018-037**

Owner: SULOGAN, LYD S. (SINGLE) TIN: _____

Address: KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 02 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-116595 Lot No. 037 Blk No. 018
Dated: _____ Survey No. LOT 40346, CAD-864

Boundaries

North: NE: 018-025, LOT 40347, CAD-864 South: SW: 018-036, LOT 40345, CAD-864
East: SE: 018-038, LOT 3670-G, CSD-10-013437 West: NW: 018-020, LOT 350-A, CSD-10-013141-D

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: PINEAPPLE LAND-650.000/ha. (Brief Description: _____
☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____
Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.1011	Php 836,986.35	PINEAPPLE LAND	9 %	Php 57,330.00
LAND	1.6336	278,241.78	CORN LAND	9 %	24,860.00
Total		Php 913,228.11			Php 82,190.00

Total Assessed Value
Eighty-Two Thousand One Hundred Ninety
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021

APPROVED BY: MAYLYN T. GANTALAO - OIC 10/14/2020
City Assessor Date

PS/By: CMMRHV

This declaration cancels TD No. F-012984 Owner SULOGAN, LYD S. (SINGLE) PREV. AREA - 2.7347 HAS. Previous A.V. Php: 41,620.00

MEMORANDA: NOTE: THIS ASSESSMENT IS TO RECLASSIFY A PORTION OF 1.1011 HAS. FROM CORN LAND TO PINEAPPLE LAND BASED ON LISTING SUBMITTED BY DEL MONTE PHIL. INC., SIGNED BY JOEL M. ZACAL, MANAGER DATED AUGUST 26, 2020. REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7068036W DATED 12/10/2019 @ CTO-MALAYBALAY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY,
ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-059980** Property Identification No. **215-01-0024-018-034**

Owner: SULOGAN, NASH SARIO (MARRIED) TIN: 284-398-319-000

Address: PURCK-02, BRGY. KALASUNGAY, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PURCK-02 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. 133-2020003629 Lot No. 034 Blk No. 018
Dated: _____ Survey No. LOT 40343, CAD-864

Boundaries

North: 018-022 LOT 3045, PLS-800 South: 018-035 LOT 3670-A, CSD-10-013437 & ROAD
East: 018-035 LOT 40344, CAD-864 West: 018-019 LOT 3869, CAD-864

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: SUGAR LAND-490.000ha. ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.7347 -Php	1,102,602.67	AGRICULTURAL	9 %	Php 107,330.00
Total		Php 1,102,602.67			Php 107,330.00

Total Assessed Value
One Hundred Seven Thousand Three Hundred Thirty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2021
Qtr. Yr.

APPROVED BY: MAYLYN T. GANTALAO - OIC 12/17/2020
City Assessor Date

FS/By: CMLCIACC City Assessor Date

This declaration cancels TD No. F-012394 Owner: SINGAYAO, ENIANA (W) PREV. AREA - 2.7347 HAS. Previous A.V. Php. 107,330.00

MEMORANDA: NOTE: TRANSFERRED FROM ENIANA SINGAYAO (W) TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF ABSOLUTE SALE, EXECUTED BEFORE ISIDRO L. CARACOL, NOTARY PUBLIC PER DOC NO. 345, PAGE NO. 69; BOOK NO. XXVIII, SERIES OF 2020 AND PER TCT NO. 133-2020003629. REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 71277263 DATED 06/30/2020. TRANSFER TAX PAID UNDER OR # 0916293 DATED 10/07/2020 IN THE AMOUNT OF P8,944.50 @ CTO-MALAYBALAY CITY. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 620 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-060581** Property Identification No. **215-01-0024-025-002**

Owner: **GARCIA, MA. TERESITA V. ET. AL. (SEE MEMO)** TIN: _____

Address: **RECINA COMPOUND, CORNER MORENO & SAN ISIDRO STS. BRGY. 006, MALAYBALAY CITY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 04** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **AT-7464** Lot No. **002** Blk No. **025**
Dated: _____ Survey No. **PLAN H-31265**

Boundaries

North: **025-001 TO 021-009, LOT 3630, CAD-864 TO LOT 3, PSD-10-010357** South: **025-030, 031, LOT 3628 A & 3628-B, CSD-10-015794-D**
East: **021-038 TO 027, LOT 1, PCS-10-004014 TO 4187-C, PSD-10-052544** West: **025-001, LOT 3630, CAD-864**

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: **CORN LAND-190,000ha.** ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	16.3651 Hpa	2,705,151.00	AGRICULTURAL	5 %	Php 243,460.00
Total		Php 2,705,151.00			Php 243,460.00

Total Assessed Value
Two Hundred Forty-Three Thousand Four Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** 03/31/2021
City Assessor Date

FS/By: **ALD/MDVU** City Assessor Date

This declaration cancels TD No. **D-023487** Owner **RECINA, AURORA NAVARRETE MARRIED TO ROMEO M. RECINA PREV. AREA: 16.3651 HAS. Previous A.V. Php 0,540.00**

MEMORANDA: CO-OWNERS: MA. TERESITA V. GARCIA/ARIEL L. GARCIA/ LUCILLE V. BONGOCANI/ROSMENDO BONGOCANI/ MA. CRISTETA V. LLANEZA/RODERICK G. LLANEZA/ MELCHOR R. HINLO (SINGLE)/ MARCO R. HINLO (SINGLE)/ VIVIAN LUZ V. MEDRANO/JOVENCIO MEDRANO/ NENA R. GAVIN/PEDRO GAVIN/ GREGORY C. RECINA (SINGLE) AND CYNTHIA G. OPLENARIA/EDILBERTO OPLENARIA; NOTE: TRANSFERRED FROM AURORA NAVARRETE RECINA (M) TO THE HEREIN DECLARANT PER CERTIFICATION, ISSUED AND SIGNED BY CECIL B. UCANG, MGA CITY AGRARIAN REFORM PROGRAM OFFICER DATED MARCH 23, 2021 AND PER TCT NO. AT-7464. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values proposed for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

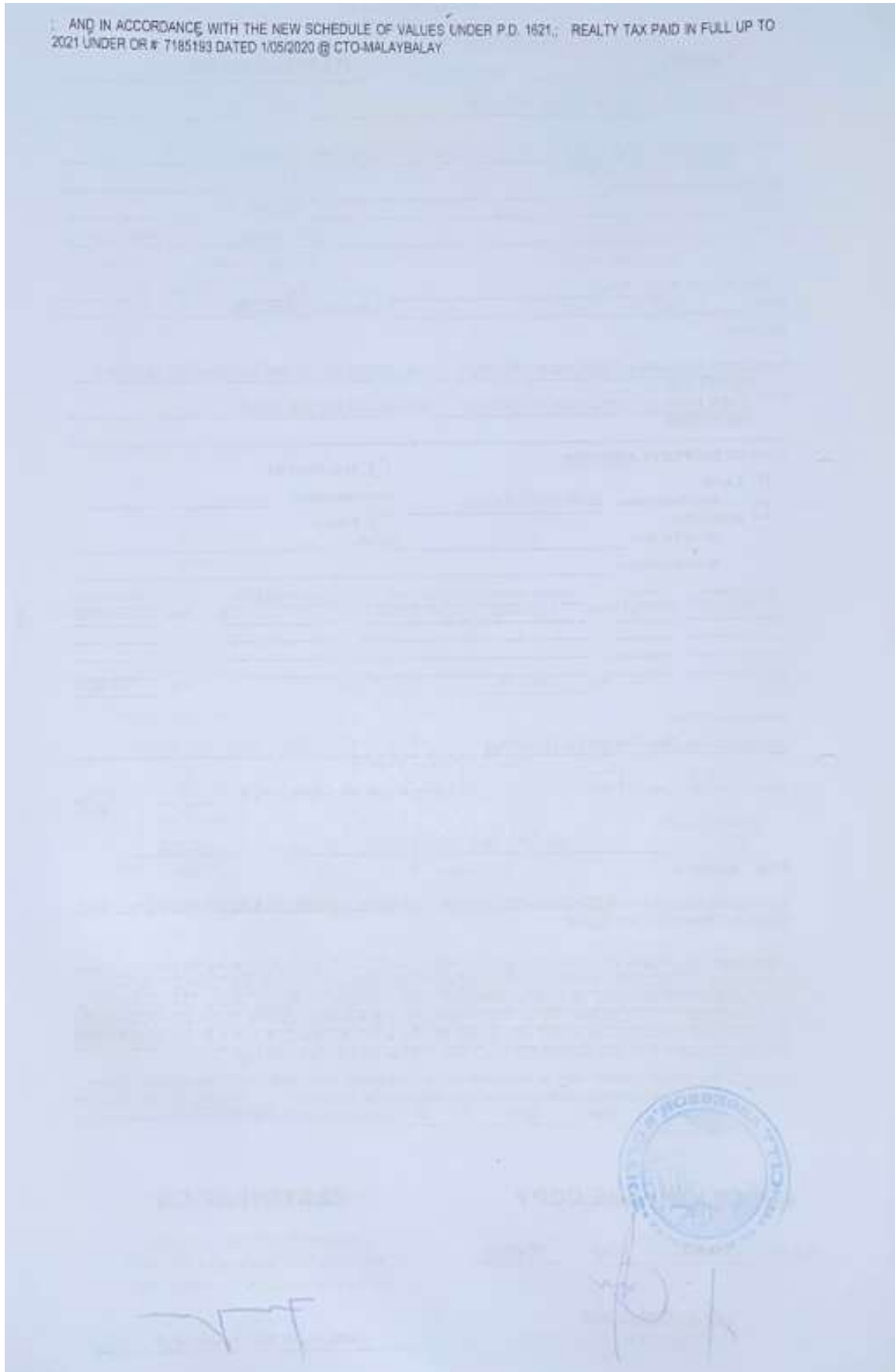
MAYLYN T. GANTALAO
City Assessor - OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-060582** Property Identification No. **215-01-0024-025-001**

Owner: VILLAROMAN, CORAZON R. (WIDOW) ET. AL. (SEE MEMO) TIN: _____

Address: RECINA COMPOUND, CORNER MORENO & SAN ISIDRO STS. BRGY. 006, MALAYBALAY CITY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 05 KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. AT-7781 Lot No. 001 Bk No. 025
Dated: _____ Survey No. LOT 249, PLS-800

Boundaries

North: NE: 021-007, LOT 1 PSD-10-010357 South: SW: SAGAY CREEK, 024-009 TO 091, LOT 4505, CAD-864 TO 3605-E, PSD-10-039144 (AR)

East: SE: 025-002 TO 011, LOT 3629, CAD-864 TO 3647, CAD-864 West: NW: 021-006, LOT 3606, CAD-864

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: CORN LAND-190,000ha. Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	22.0346 Hpa	3,642,319.38	AGRICULTURAL	9 %	Php 327,810.00
Total:		Php 3,642,319.38			Php 327,810.00

Total Assessed Value
Three Hundred Twenty-Seven Thousand Eight Hundred Ten
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: MAYLYN T. GANTALAO - OIC 04/05/2021
City Assessor Date

FS/By: ALDMDVU City Assessor

This declaration cancels TD No. D-009869 Owner: AURORA RECINA PREV. AREA - 22.0366 HAS. Previous A.V. Php 3,140.00

MEMORANDA: CO-OWNERS: CORAZON R. VILLAROMAN (WIDOW); LIZANDRO C. LAURIO (SINGLE); RONALD MARCUS N. RECINA (SINGLE); OPHELIA R. ACIERTO/EUSTQUIA R. ACIERTO; ANNA MARIE R. ACIERTO (SINGLE); EDGAR R. ACIERTO (SINGLE); OSCAR M. RECINA/LEONOR M. RECINA AND RAYMOND RUFO N. RECINA (SINGLE). NOTE: TRANSFERRED FROM AURORA RECINA TO THE HEREIN DECLARANT PER CERTIFICATION, ISSUED AND SIGNED BY CIRIL B. UCANG, MGA CITY AGRARIAN REFORM PROGRAM OFFICER DATED MARCH 23, 2021 AND PER TCT NO. AT-7781. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KAYALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-010819** Property Identification No. **215-01-0024-022-029**

Owner: **DALWANGAN DEV. CORPORATION** TIN: _____

Address: **464 POBLACION** Telephone No. _____

Administrator/Beneficial User: **EMIEL R. BAEYENS** TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-16115** Lot No. **029** Blk No.: **022**
Dated: _____ Survey No. **(H-35792)**

Boundaries

North: **NE; SECT. 021** South: **SW; SECT. 024**
East: **SE; SECT. 024** West: **NW: 022-028-024, LOT 40613-A, CSD-10-017931-D & LOT 3585-D, CSD-10-014852-D**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: **COFFEE LAND-230,000/ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	10.3908	Php 2,270,388.80	AGRICULTURAL	9 %	Php 204,340.00
Total		Php 2,270,388.80			Php 204,340.00

Total Assessed Value
Two Hundred Four Thousand Three Hundred Forty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: **ALICIA S. ALEGRES, REA** 12/11/2014
City Assessor Date

FS/By: **ALDIJAM**

This declaration cancels TD No. **E-006029** Owner **DALWANGAN DEV. CORPORATION** Previous A.V. Php. **36,990.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. SANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-010822** Property Identification No. **215-01-0024-022-002**

Owner: **ALBARACIN, SUSAN** TIN: _____

Address: **7 ALBAY ST., NORTH GREENHILL CUBAO Q.C. MANILA, PHILIPPINES** Telephone No. _____

Administrator/Beneficial User: **C/O DALWANGAN DEV. CORPORATION** TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PATPAT NOW** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-15038** Lot No. **002** Blk No. **022**
Dated: _____ Survey No. **257, PLS-800**

Boundaries:

North: **NE SEC. 22-003-S. ALBARACIN** South: **SW SEC. 22-001-F. GUMINDAN**
East: **SE SEC. 22-020-S. ALBARACIN** West: **NW SAWAGA RIVER**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: **COFFEE LAND-230,000ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	13.9757	Php 2,667,961.13	AGRICULTURAL	9 %	Php 240,120.00
LAND		1,438,556.00	PLANTS/AGRICULTURAL	9 %	129,470.00
Total		Php 4,106,517.13			Php 369,590.00

Total Assessed Value
Three Hundred Sixty-Nine Thousand Five Hundred Ninety
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: **1st** **2015**
Qtr. Yr.

APPROVED BY: **ALICIA S. ALEGRES, REA** **12/09/2014**
City Assessor Date

FS/By: **FGG/ACC**

This declaration cancels TD No. **E-016059** Owner **ALBARACIN, SUSAN** Previous A.V. **Php: 128,600.00**

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-OJC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Property Identification No. 215-01-0024-022-021

216

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-010820** Property Identification No. **215-01-0024-022-020**

Owner: ALBARACIN, SUSAN G. TIN: _____

Address: KALASUNGAY, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. 020 Blk No.: 022
Dated: _____ Survey No. _____

Boundaries

North: NE 22-017-018-019-SAWAGA FRAMING CORP. South: SW 22-021-T. LIBERTAD
East: SE 22-034-P. GAMOROT West: NW 22-002-A. BULOSAN

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	10.1546	Php 1,717,142.86	AGRICULTURAL	5 %	Php 154,540.00
Total		Php 1,717,142.86			Php 154,540.00

Total Assessed Value
One Hundred Fifty-Four Thousand Five Hundred Forty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 12/09/2014
City Assessor Date

FS/By: FGGIACC

This declaration cancels TD No. E-030711 Owner: ALBARACIN, SUSAN G. Previous A.V. Php: 65,070.00

MEMORANDA/NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. SANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012157** Property Identification No. **215-01-0024-022-043**

Owner: SEROJALES, RONILO P. TIN: _____

Address: POB, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-68338 Lot No. 043 Blk No. 022

Dated: _____ Survey No. 245-C, BSD-10-000331 (OLT)

Boundaries

North: NE LOT 245-G ROAD South: SW LOT 245-D

East: SE LOT 252, PLS-800 West: NW LOT 253, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

☐ **BUILDING** Brief Description: _____

No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Brief Description: CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.9894	Php 518,596.28	AGRICULTURAL	9 %	Php 48,670.00
Total		Php 518,596.28			Php 48,670.00

Total Assessed Value
Forty-Six Thousand Six Hundred Seventy

(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: LUCIA S. ALEGRES, REA 03/10/2015

FS/By: FGGIVEZ City Assessor Date

This declaration cancels TD No. E-023580 Owner: SEROJALES, RONILO P. PREV. AREA-2.9894 HAS. Previous A.V. Php 19,650.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notice: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. SALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-012884** Property Identification No. **215-01-0024-022-042**

Owner: PLASOS, FEDERICO F. MARRIED TO LINDA G. ESTAVILLA TIN: _____

Address: HEIGHTS, CITY OF MALAYBALAY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. ET-2183 Lot No. 042 Blk No.: 022
Dated: _____ Survey No. 245-D, BSD-10-000331 (OLT)

Boundaries:

North: BY LOT 245-G, BSD-10-000331 (OLT) South: SW: BY LOT 245-B
East: SE: BY LOT 248, PLS-800 West: NE: BY LOT 245-C, BSD-10-000331 (OLT)

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.1409	Php 543,061.61	AGRICULTURAL	9 %	Php 48,880.00
Total		Php 543,061.61			Php 48,880.00

Total Assessed Value
Forty-Eight Thousand Eight Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: ALIDA S. ALEGRES, REA 05/21/2015
FS/By: chez/CHE S. City Assessor Date

This declaration cancels TD No. E-053915 Owner PLASOS, FEDERICO F. MARRIED TO LINDA G. ESTAVILLA Previous A.V. Php 20,580.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-CIG

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-047180** Property Identification No. **215-01-0024-024-096**

Owner: DEVELOPMENT BANK OF THE PHILIPPINES TIN: _____

Address: BONIFACIO DRIVE, MLYBLY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: WACAT KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. REM. PART Lot No. 096 Blk No.: 024
Dated: _____ Survey No. 250-PLS-800

Boundaries

North: NE, SECTION 21 South: SW, 24-009-007- D. ANDALIGO / L. MELISTON
East: SE, SECTION 25 West: NW, SECTION 22

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	14.021 Hap	2,327,771.13	AGRICULTURAL	8	Php 209,500.00
Total		Php 2,327,771.13			Php 209,500.00

Total Assessed Value
Two Hundred Nine Thousand Five Hundred
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015
APPROVED BY: Alicia S. Alegres, REA 02/10/2016
FS/By: JGUNG City Assessor Date

This declaration cancels TD No. F-046862 Owner DEVELOPMENT BANK OF THE PHILIPPINES, P.A. = 17,1040 HAS, REM. PART
22 Previous A.V. Php: 254,460.00

MEMORANDA: NOTE: THIS IS THE REMAINING PORTION AFTER AN AREA OF 3.0219 HAS. IS TRANSFERRED TO KISMERITO K. LITAO (M).

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1815741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. MALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-059596** Property Identification No. **215-01-0024-024-088**

Owner: **RAMOS, EDMUNDO V. MARRIED TO: ELSITA OBSIOMA** TIN: _____

Address: **SUMPONG, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 05** **KALASUNGAY** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-101395** Lot No. **088** Blk No.: **024**
Dated: _____ Survey No. **LOT 8, BSD-10-000455 (OLT)**

Boundaries

North: **NE: 022-029 & 024-088, LOT 3604/251 & 3605-A, CAD-864/PLS-800 & PSD-10-039144(AR)** South: **SW: 024-027, LOT 7, PSD-10-000455**
East: **SE: 024-009, LOT 4505, CAD-864** West: **NW: 024, LOT 4220, CAD-864**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: **PINEAPPLE LAND-650,000/ha. (** Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.8700	Php 387,286.00	PINEAPPLE LAND	9 %	Php 34,880.00
LAND	0.8060	102,474.80	CORN LAND	9 %	9,220.00
Total		Php 489,760.80			Php 44,100.00

Total Assessed Value
Forty-Four Thousand One Hundred _____
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2021
Qtr. Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** 11/10/2020
City Assessor Date

FS/By: LCM/MLR

This declaration cancels TD No. **F-038662** Owner **RAMOS, EDMUNDO V. MARRIED TO: ELSITA OBSIOMA** PREV. AREA **1.2760**
HAS, Previous A.V. Php: **45,690.00**

MEMORANDA: NOTE: THIS ASSESSMENT IS TO REFLECT THE CORRECT ARABLE PLANTED WITH PINEAPPLE BASED ON LISTING SUBMITTED BY DEL MONTE PHIL. INC., SIGNED BY JOEL M. ZACAL, MANAGER DATED AUGUST 26, 2020. REALTY TAX PAID IN FULL UP TO 2020 UNDER OR #: 71195/2J DATED 1/23/2020 @ CTO-MALAYBALAY CITY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal interest in the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-011727** Property Identification No. **215-01-0024-024-025**

Owner: RAMOS, EDMUNDO V. MARRIED TO: ELSITA N. OBSIOMA TIN: _____

Address: SUMPONG, MALAYBALAY BUK. Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ KALASUNGAY CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. ET-6819 Lot No. 025 Blk No.: 024
Dated: _____ Survey No. 4169, CAD-864

Boundaries

North: NE: LOT 4170 CAD 864 South: SE: LOT 4219 CAD 864
East: SW: LOT 4185 CAD 864 West: NW: LOT 4164 CAD 864

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-150,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.1548 Hpa	26,175.66	AGRICULTURAL	0 %	Php 2,360.00
Total	Hpa	26,175.66			Php 2,360.00

Total Assessed Value
Two Thousand Three Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: LUCIA S. ALEGRES, REA 03/03/2015
FS/By: MIKEL/VEZ City Assessor Date

This declaration cancels TD No. E-019621 Owner RAMOS, EDMUNDO MARRIED TO: ELSITA N. OBSIOMA PREV. AREA-1548 HA.
Previous A.V. Php: 990.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Parilungod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 16742 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Attachment 4

TD No. **F-045216** Property Identification No. **215-01-0021-016-001**

Owner: **COMMONWEALTH OF THE PHILIPPINES** TIN: _____

Address: **MALAYBALAY CITY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay/ District) (City)

OCT/TCT/CLOA No. **OCT-58** Lot No. **001** Blk No.: **016**

Dated: _____ Survey No. _____

Boundaries

North: **NE: LOT 8 & PROVINCIAL ROAD** South: **SW: SAWAGA RIVER**

East: **SE: ROAD LOT 7, 2 & 4; PALAMANGON CREEK** West: **NW: IPOON CREEK**

☒ LAND

BUILDING

No. of Storeys:

Brief Description: PASTURE (GRAZELAND)-40,000/ha

☐ MACHINERY

Brief Description:

☐ Others:

Specify:

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	424.7549	Php 15,970,784.24	SPECIAL/RP & LOCAL GO	1 %	Php 1,437,370.00
Total		Php 15,970,784.24			Php 1,437,370.00

Total Assessed Value

One Million Four Hundred Thirty-Seven Thousand Three Hundred Seventy

Amount in Words

Taxable ☐ Exempt ☒

Effectivity of Assessment/Reassessment:

1st	2018
Qtr.	Yr.

APPROVED BY:

ALICE'S ALEGRES, REA

06/03/2015

FS/By: ROXY/JAM

CIN ALBERTO

Date _____

This declaration cancels TD No. **E-066778** Cntr: **COMMONWEALTH OF THE PHILIPPINES** Previous A.V. Php: 1,277,860.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notice: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 629 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALAO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-029297** Property Identification No. **215-01-0021-005-046 A1**

Owner: LESTON, JUANITO TIN: _____

Address: DALWANGAN, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. 046 Blk No.: 005
Dated: _____ Survey No. _____

Boundaries

North: STOCK FARM South: PANGALAMANGON CREEK
East: PANGALAMANGON CREEK West: DOMINGO CAYETANO

KIND OF PROPERTY ASSESSED:

☒ LAND ☐ MACHINERY
☐ BUILDING Brief Description: _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.0000	Php 323,000.00	AGRICULTURAL	9 %	Php 29,070.00
Total		Php 323,000.00			Php 29,070.00

Total Assessed Value
Twenty-Nine Thousand Seventy
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: ALICIA S. ALEGRES, REA 02/24/2015
City Assessor Date

PS/By: ROXYIIVEZ

This declaration cancels TD No. E-013205 Owner LESTON, JUANITO PREV. AREA-2.0000 HAS. Previous A.V. Php: 12,240.00

MEMORANDA: NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160; ANNOTATION: THIS PARCEL OF LAND IS OFFERED AS BOND PER CRIM CASE NO.: 945 ENTITLED PP VS. L. MAMUJAK FOR FA 947 IN THE MTC MLYBLY.

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028717** Property Identification No. **215-01-0021-005-077**

Owner: JUMALON, GENITO MARRIED TO CLOTILDE BARROS TIN: _____

Address: DALWANGAN, MALAYBALAY CITY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-32970 Lot No. 077 Blk No. 005
Dated: _____ Survey No. 45-C PSD-10-012573

Boundaries

North: NE: PANGALAMANGON CREEK South: SW: 005-048, LOT 45-B, PSD-10-012573
East: SE: 005-076, LOT 32, GSSM-10-0004 West: NW: 005-044, LOT 48, GSSM-10-0004

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.8683	Php 140,230.45	AGRICULTURAL	9 %	Php 12,620.00
Total		Php 140,230.45			Php 12,620.00

Total Assessed Value
Twelve Thousand Six Hundred Twenty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: _____
ALICIA S. ALEGRES, REA 11/03/2014
City Assessor Date

FS/By: ALDIAM City Assessor

This declaration cancels TD No. E-065519 Owner: JUMALON, GENITO MARRIED TO CLOTILDE BARROS P.A. = 0.8683 HA. Previous A.V. Php: 5,310.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notar: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market value prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal use to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028688** Property Identification No. **215-01-0021-005-048**

Owner: **JUMALON, GENITO MARRIED TO CLOTILDE BARROS** TIN: _____

Address: **DALWANGAN, MALAYBALAY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-29371** Lot No. **048** Blk No. **005**
Dated: _____ Survey No. **45-B, PSD-012573**

Boundaries

North: **NE: 005-044, LOT 48, GSSM-10-0004** South: **SW: 005-060, LOT 34-B, PSD-10-027545**
East: **SE: 005-077, LOT 45-C, PSD-10-012573** West: **NW: 005-047, LOT 45-A, PSD-10-012573**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190,000ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1,0000	Php 161,500.00	AGRICULTURAL	9 %	Php 14,540.00
Total		Php 161,500.00			Php 14,540.00

Total Assessed Value
Fourteen Thousand Five Hundred Forty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY:  **ALICIA S. ALEGRES: REA** 11/03/2014
City Assessor Date

PS/By: **ALDIJAM**

This declaration cancels TD No. **E-015641** Owner **JUMALON, GENITO MARRIED TO CLOTILDE BARROS P.A. = 1,0000 HA.** Previous A.V. **Php 6,120.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Parkigod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-060046** Property Identification No. **215-01-0021-005-046**

Owner: LIU, NERIO C. MARRIED TO JERALDINE P. LIU TIN: 170-937-307-000

Address: LOT 5 & 6, BLK. 3, NHA PHASE 2, BRGY. CASISANG, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK-3B DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. 133-2020002435 Lot No. 046 Blk No.: 005
Dated: _____ Survey No. LOT 43, GSSM-10-0004

Boundaries

North: NE: 005-045, LOT 44, GSSM-10-0004 South: SW: 005-052, LOT 34, GSSM-10-0004
East: SE: 005-047, LOT 45-B, PSD-012573 West: NW: ROAD LOT

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: AGRO-INDUSTRIAL LAND-560.00 ☐ **MACHINERY** Brief Description: _____
☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	4.6223	Php 2,313,461.15	AGRICULTURAL	0 %	Php 208,210.00
Total		Php 2,313,461.15			Php 208,210.00

Total Assessed Value
Two Hundred Eight Thousand Two Hundred Ten
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2022 Yr.
APPROVED BY: MAYLYN T. GANTALAO - OIC 01/06/2021 Date
PS/By: EET/MLR City Assessor

This declaration cancels TD No. F-020683 Owner: SALANG, JUAN JR. E. (M) PREV. AREA - 4.4900 HAS. Previous A.V. Php: 202,250.00

MEMORANDA: NOTE: TRANSFERRED FROM JUAN E. SALANG, JR. TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF ABSOLUTE SALE, EXECUTED BEFORE BILLY E. EMPHASIS, NOTARY PUBLIC PER DOC NO. 317, PAGE NO. 65, BOOK NO. 1, SERIES OF 2018 AND PER TCT NO. 133-2020002435. *** Please see at the back of the page ***

Notes: • This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

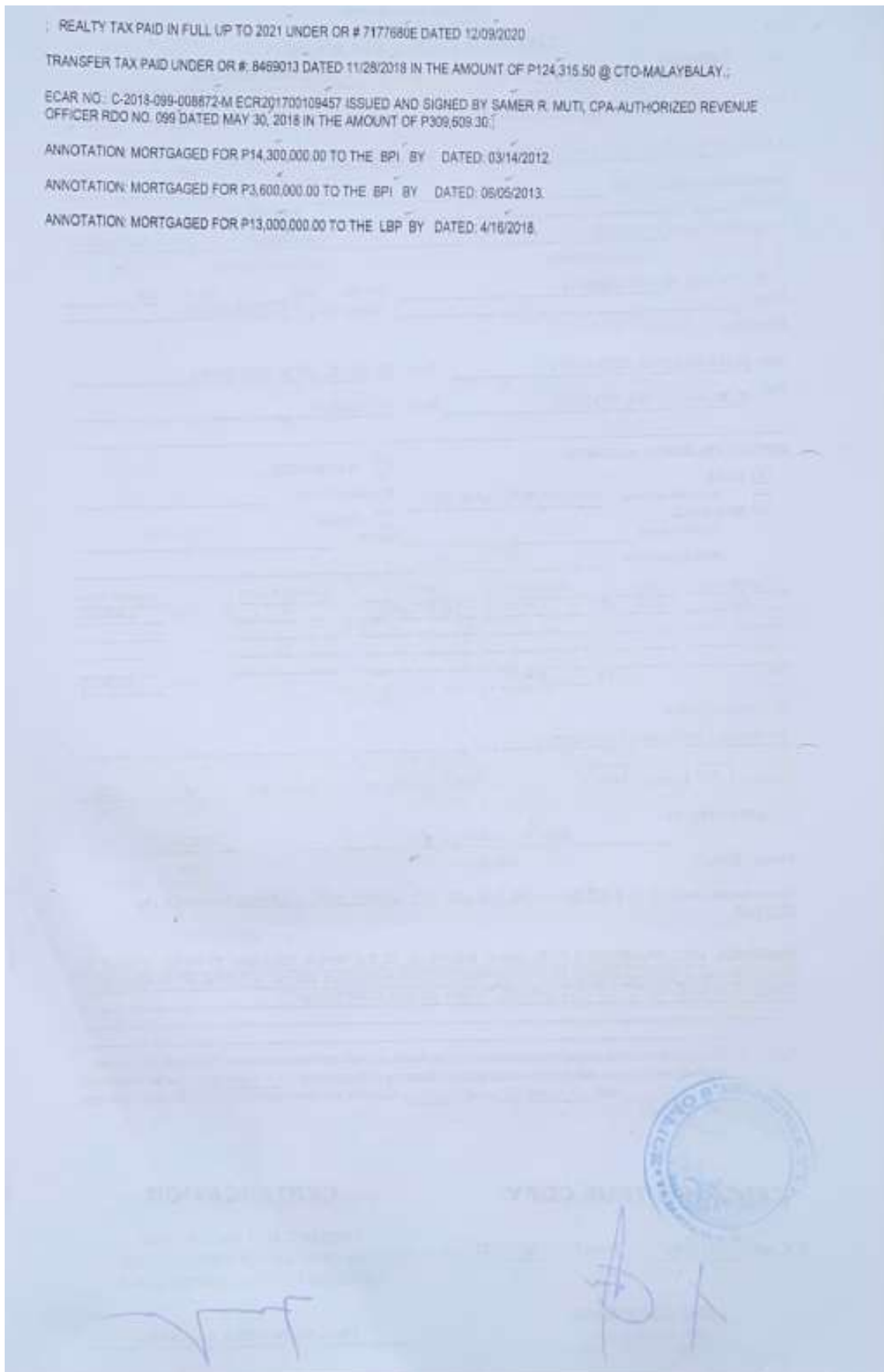
CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor - OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.
ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028687** Property Identification No. **215-01-0021-005-047**

Owner: JUMALON, GENITO MARRIED TO: CLOTILDE JUMALON TIN: _____

Address: DALWANGAN, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-29908 Lot No. 047 Blk No. 005
Dated: _____ Survey No. 45-A PSD-10-012573

Boundaries

North: NE: 005-044, LOT 48, GSSM-10-0004 South: SW: 005-050, LOT 34-B, PSD-10-027545
East: SE: 005-048, LOT 45-B, PSD-012573 West: NW: 005-046, LOT 43, GSSM-10-0004

KIND OF PROPERTY ASSESSED:

☒ LAND ☐ MACHINERY
Brief Description: _____

☐ BUILDING ☐ Others: _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.9917	Php 321,658.55	AGRICULTURAL	9 %	Php 28,950.00
Total		Php 321,658.55			Php 28,950.00

Total Assessed Value
Twenty-Eight Thousand Nine Hundred Fifty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 11/03/2014
City Assessor Date

FS/By: ALDJAM City Assessor

This declaration cancels TD No. E-911444 Owner JUMALON, GENITO MARRIED TO: CLOTILDE JUMALON P.A. = 1.9917 HA.
Previous A.V. Php: 12,150.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-Off

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028660** Property Identification No. **215-01-0021-005-023**

Owner: **MORENTO, ELIONARDA MARRIED TO MANUEL ANDALISTON** TIN: _____

Address: **DALWANGAN, MALAYBALAY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **P-8936** Lot No. **023** Blk No.: **005**
Dated: _____ Survey No. **42, GSSM-10-0004**

Boundaries

North: **NE: 005-026, 025, 024, LOT 55-C, 55-B & 55-A, PSD-10-042143** South: **SW: 005-022, LOT 41, GSSM-10-0004**
East: **SE- ROAD LOT** West: **NW: 005-003, LOT 10, IR-329**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190.000ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	4.2400 Hpa	Php 733,096.00	AGRICULTURAL	9 %	Php 65,980.00
Total		Php 733,096.00			Php 65,980.00

Total Assessed Value
Sixty-Five Thousand Nine Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: **ALICIA S. ALEGRES, REA** 11/03/2014
City Assessor Date

FS/By: **ALD/JAM**

This declaration cancels TD No. **E-005449** Owner **MORENTO, ELEONARDA P.A. = 4.2400 HAS, Previous A.V. Php: 27,780.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-O/C

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028660** Property Identification No. **215-01-0021-005-023**

Owner: **MORENTO, ELIONARDA MARRIED TO MANUEL ANDALISTON** TIN: _____

Address: **DALWANGAN, MALAYBALAY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **P-8936** Lot No. **023** Blk No.: **005**
Dated: _____ Survey No. **42, GSSM-10-0004**

Boundaries

North: NE: 005-026, 025, 024, LOT 55-C, 55-B & 55-A South: SW: 005-022, LOT 41, GSSM-10-0004
East: PSD-10-042143 West: NW: 005-003, LOT 10, IR-329
SE: ROAD LOT

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190,000/ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	4.2400	Php. 733,096.00	AGRICULTURAL	9 %	Php. 85,980.00
Total		Php. 733,096.00			Php. 85,980.00

Total Assessed Value
Sixty-Five Thousand Nine Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.


APPROVED BY: **ALICIA S. ALEGRES, REA** 11/03/2014
City Assessor Date

FS/By: **ALD/JAM**

This declaration cancels TD No. **E-005449** Owner **MORENTO, ELEONARDA P.A. = 4.2400 HAS.** Previous A.V. Php: 27,780.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-051891** Property Identification No. **215-01-0021-004-050**

Owner: PIQUE, RUTCHIE V. MARRIED TO; EXPEDITO H. PIQUE TIN: 147-673-411-

Address: PUROK 3, DALWANGAN, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 3 DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-66349 Lot No. 050 Blk No. 004
Dated: _____ Survey No. 3772-C, PSD-10-032901

Boundaries

North: NE: 004-002, LOT 74, PLS-800 South: _____

East: SE: SMALL MIOBALATOK CREEK West: NW: 004-050, LOT 3772-B, PSD-10-032901

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: R6-850sq.m. Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	528.00	Php 343,200.00	RESIDENTIAL	3 %	Php 10,300.00
Total		Php 343,200.00			Php 10,300.00

Total Assessed Value
Ten Thousand Three Hundred _____
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2019
Qtr. Yr.

APPROVED BY: BENITO D. LUGTU 01/12/2018
FS/By: ALDRHV City Assessor Date

This declaration cancels TD No. F-028619 Owner PIQUE, RUTCHIE V. MARRIED TO; EXPEDITO H. PIQUE PREV. AREA 1.1611
HAS (PT. 1/2) Previous A.V. Php: 15,880.00

MEMORANDA NOTE: THIS ASSESSMENT IS TO SEGREGATE AN AREA OF 528 SQM PER TRANSFER CERTIFICATE OF TITLE NO. T-66349; REALTY TAX PAID IN FULL UP TO 2018 UNDER OR #6877798 DATED 1/11/2018 @ CTO MALAYBALAY CITY & TO RECLASSIFY THE LAND FROM AGRICULTURAL TO RESIDENTIAL PER PRE DOMINANT USE CONSIDERING THAT IT IS WITHIN THE RES'L ZONE AND IT'S ADJACENT LOTS ARE UTILIZED AS RESIDENTIAL AS PER ACTUAL INSPECTION & VERIFICATION CONDUCTED IN THE FIELD.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of soil market value prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-055944** Property Identification No. **215-01-0021-004-051** TC: **TR**

Owner: PIQUE, RUTCHIE V. (WIDOW) ET. AL (SEE MEMO) TIN: 147-873-411-000

Address: PUROK-3, BRGY. DALWANGAN, CITY OF MALAYBALAY Telephone No. _____

Administrative/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 3A DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. 133-2018002343 Lot No. 051 Blk No. 004
Dated: _____ Survey No. 3772-B, PSD-10-032901

Boundaries

North: NE: 004-050, LOT 3772-C, PSD-10-032901 South: SW: 004-019, LOT 3772-A, PSD-10-032901
East: SE: 004-007, LOT 76 PLS-800 West: NW: 004-002, LOT 74, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: CORN LAND-190.000/ha Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.1083	Php 178,990.45	AGRICULTURAL	9 %	Php 16,110.00
Total		Php 178,990.45			Php 16,110.00

Total Assessed Value:
Sixteen Thousand One Hundred Ten
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2020 Yr.

APPROVED BY: BENITO O. LUGTU 05/20/2019
City Assessor Date

FS/By: EET/RHV

This declaration cancels TD No. F-051892 Owner: PIQUE, RUTCHIE V. MARRIED TO EXPEDITO H. PIQUE PREV. AREA - 1.1083
HAS Previous A.V. Php 16,110.00

MEMORANDA: CO-OWNERS: KARL V. PIQUE (SINGLE) (TIN 309-199-698-000); KENNY V. PIQUE (SINGLE) (TIN 719-079-803-000); KATHY V. PIQUE-GILLERA (MARRIED) (TIN 256-174-313-000); KARMELLE V. PIQUE-ESTERON (MARRIED) (TIN 455-787-006-000); NOTE: TRANSFERRED FROM RUTCHIE V. PIQUE (M) TO THE HEREIN DECLARANT BY VIRTUE OF EXTRAJUDICIAL SETTLEMENT OF THE ESTATE OF THE EXPEDITO H. PIQUE, EXECUTED BEFORE RENDON R. SANGALANG, NOTARY PUBLIC PER DOC NO. 245, PAGE NO. 49, BOOK NO. XLIII, SERIES OF 2018 AND PER TCT NO. 133-2018002343. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY
O.R. NO. 1815741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor-DC

CERTIFICATION
I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.
ENGR. FRANCISCO A. BALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

REALTY TAX PAID IN FULL UP TO 2019 UNDER OR # 7006225G DATED 05/17/19. TRANSFER TAX PAID UNDER OR # 7361123 DATED 03/12/18 IN THE AMOUNT OF P9,224.17 @ CTO-MALAYBALAY.

ECAR NO: C-2018-099-008498 ECR201700104688, ISSUED AND SIGNED BY SAMER R. MUTI, CPA-AUTHORIZED REVENUE OFFICER RDO NO. 069 DATED APRIL 30, 2018 IN THE AMOUNT OF P30,000.00.

PROPERTY OF: _____

ADDRESS: _____

CITY/TOWN/VILLAGE: _____

PROVINCE: _____

SECTION: _____

TAXPAYER'S NAME: _____

DATE OF ACQUISITION: _____

AMOUNT PAID: _____

REMARKS: _____

APPROVED BY: _____

DATE: _____

OFFICIAL SEAL: _____

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028616** Property Identification No. **215-01-0021-004-022 T1**

Owner: MAGHANOY, CARLO MAGNO C. ET AL. (SEE MEMO) TIN: _____

Address: DALWANGAN, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-57940 Lot No. 022 Blk No.: 004
Dated: _____ Survey No. PLAN-H-31253, LOT NO. 74, PLS-800

Boundaries

North: NE: 004-01NE: SEC. 003, 004-02B, LOT 447, PLS-800 South: SW: ROAD
East: SE: MIGBALATOK CREEK, 004-024, LOT 3772, PLS-800 West: NW: SIL-IPON CREEK

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Stories: _____ Specify: _____

Brief Description: CITRUS LAND-280,000ha: COFFEE LAND-230,000ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	20,2572	Php 4,597,782.60	AGRICULTURAL	5 %	Php 413,800.00
LAND		574,804.00	PLANTS(AGRICULTURAL)	9 %	51,730.00
Total		Php 5,172,586.60			Php 465,530.00

Total Assessed Value
Four Hundred Sixty-Five Thousand Five Hundred Thirty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 03/05/2015
City Assessor Date

PS/By: ALDIAM

This declaration covers TD No. E-019389 Owner: CARLO MAGNO C. MAGHANOY, CONSTANCIO C. MAGHANOY, JR., CHRISTOPHER C. MAGHANOY AND CYNTHIA C. MAGHANOY Previous A.V. Php: 102,380.00

MEMORANDA: NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160; OWNERS: CARLO MAGNO C. MAGHANOY, CONSTANCIO C. MAGHANOY, JR., CHRISTOPHER C. MAGHANOY AND CYNTHIA C. MAGHANOY

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 20 14. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. BALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028620** Property Identification No. **215-01-0021-004-025**

Owner: MONTEMAYOR, AMADO ZOSIMO R. JR. ET AL. (SEE MEMO) TIN: _____

Address: MUSUAN, MARAMAG, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-36879 Lot No. 025 Blk No.: 004
Dated: _____ Survey No. PSU-145291

Boundaries

North: NE: 004-026, LOT 76, PLS-800 South: SW: SECTION 009
East: SE: BIG MIGBALATOK CREEK West: NW: SMALL MIGBALATOK CREEK & 004-024, LOT 3772, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	5.1549	Php 832,516.35	AGRICULTURAL	0 %	Php 74,930.00
Total		Php 832,516.35			Php 74,930.00

Total Assessed Value
Seventy-Four Thousand Nine Hundred Thirty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: ALICIA S. ALEGRES, REA 12/11/2014
City Assessor Date

FS/By: ALMIVEZ

This declaration cancels TD No. E-012297 Owner: MONTEMAYOR, AMADO ET AL. PREV. AREA- 5.1549 HAS. Previous A.V. Php: 31,550.00

MEMORANDA: NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160; OWNER: AMADO ZOSIMO R. MONTEMAYOR, JR. MARRIED TO: MA. LEBENA BALANAY; LORNA BETHEL RAE R. MONTEMAYOR (SINGLE); ZOILAN R. MONTEMAYOR (SINGLE); AND CESAR DAVID R. MONTEMAYOR (SINGLE).

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market value prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-057911** Property Identification No. **215-01-0021-004-049**

Owner: **SUAREZ, EDUARDO C. JR., MARRIED TO ANNA LIZA B. WABAN** TIN: **933-279-016**

Address: **PUROK-01, BRGY. DALWANGAN, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK-01** **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-81628** Lot No. **049** Blk No.: **004**
Dated: _____ Survey No. **LOT 83, PLS-800, CASE 1**

Boundaries

North: **NE: GAMOT CREEK & GAMA FARM** South: **SW: 004-045, 048 & 047, LOT 82-C, F & E, PSD-10-059033**
East: **NE: NATIONAL HIGHWAY** West: **NW: GAMOT CREEK**

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: **ORCHARD LAND-150.000ha.** ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.0945	Php 154,324.50	AGRICULTURAL	0 %	Php 153,850.00
LAND		753,604.00	PLANTS/AGRICULTURAL	0 %	87,820.00
LAND	600.00	1,620,000.00	COMMERCIAL	4 %	64,800.00
Total		Php 2,527,928.50			Php 146,510.00

Total Assessed Value
One Hundred Forty-Six Thousand Five Hundred Ten (Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021 Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** 02/06/2020
City Assessor Date

FS/By: **CMLC/MDVU** City Assessor Date

This declaration cancels TD No. **F-028636** Owner: **SUAREZ, EDUARDO C. JR., MARRIED TO ANNA LIZA B. WABAN** PREV. AREA - 600 SQMS. & 1.0945 HAS. Previous A.V. Php: 95,990.00

MEMORANDA THIS ASSESSMENT IS TO RECLASSIFY A PORTION OF RESIDENTIAL TO COMMERCIAL LOT PER ACTUAL USE & AS PER ACTUAL INSPECTION & VERIFICATION CONDUCTED IN THE FIELD. CTY/MDVU; REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7117109K DATED 01/06/2020 @ CTO MALAYBALAY.

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market value prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor - OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028620** Property Identification No. **215-01-0021-004-025**

Owner: MONTEMAYOR, AMADO ZOSIMO R. JR. ET AL. (SEE MEMO) TIN: _____

Address: MUSUAN, MARAMAG, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-36879 Lot No. 025 Blk No. 004
Dated: _____ Survey No. PSU-145291

Boundaries

North: NE: 004-026, LOT 78, PLS-800 South: SW: SECTION 009
East: SE: BIG MIGBALATOK CREEK West: NW: SMALL MIGBALATOK CREEK & 004-024, LOT 3772, PLS-800

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	5.1549	Php 832,516.35	AGRICULTURAL	9 %	Php 74,930.00
Total		Php 832,516.35			Php 74,930.00

Total Assessed Value
Seventy-Four Thousand Nine Hundred Thirty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015

APPROVED BY: ALICIA S. ALEGRES, REA 12/11/2014
City Assessor Date

FS/By: ALDIVEZ

This declaration cancels TD No. E-012297 Owner MONTEMAYOR, AMADO ET AL. PREV. AREA: 5.1549 HAS. Previous A.V. Php 31,550.00

MEMORANDA: NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160. OWNER: AMADO ZOSIMO R. MONTEMAYOR, JR. MARRIED TO: MA. LEBENA BALANAY; LORNA BETHEL RAE R. MONTEMAYOR (SINGLE); ZORLAN R. MONTEMAYOR (SINGLE); AND CESAR DAVID R. MONTEMAYOR (SINGLE).

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. SANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-057911** Property Identification No. **215-01-0021-004-049**

Owner: **SUAREZ, EDUARDO C. JR., MARRIED TO ANNA LIZA B. WABAN** TIN: **933-279-015**

Address: **PUROK-01, BRGY. DALWANGAN, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK-01** **DALWANGAN** **CITY OF MALAYBALAY**

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-91628** Lot No. **049** Blk No.: **004**

Dated: _____ Survey No. **LOT 83, PLS-800, CASE 1**

Boundaries

North: **NE: GAMOT CREEK & GAMA FARM** South: **SW: 004-045, 046 & 047, LOT 82-C, F & E. PSD-10-059033**

East: **NE: NATIONAL HIGHWAY** West: **NW: GAMOT CREEK**

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: **ORCHARD LAND-150.000ha.** ☐ **MACHINERY** Brief Description: _____

☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____

Specify: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.0045	Php 154,324.50	AGRICULTURAL	9 %	Php 13,890.00
LAND		753,504.00	PLANTS(AGRICULTURAL)	9 %	67,820.00
LAND	600.00	1,620,000.00	COMMERCIAL	4 %	64,800.00
Total		Php 2,527,828.50			Php 146,510.00

Total Assessed Value
One Hundred Forty-Six Thousand Five Hundred Ten

(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: **1st** **2021**

Qtr. Yr.

APPROVED BY: **MAYLYN T. GANTALAO - OIC** **02/06/2020**

PS/By: **CMC/MDVU** **City Assessor** **Date**

This declaration cancels TD No. **F-028636** Owner **SUAREZ, EDUARDO C. JR., MARRIED TO ANNA LIZA B. WABAN** PREV. AREA - **600 SQMS. & 1.0945 HAS.** Previous A.V. **Php. 95,990.00**

MEMORANDA: THIS ASSESSMENT IS TO RECLASSIFY A PORTION OF RESIDENTIAL TO COMMERCIAL LOT PER ACTUAL USE & AS PER ACTUAL INSPECTION & VERIFICATION CONDUCTED IN THE FIELD. CTY/MDVU: REALTY TAX PAID IN FULL UP TO 2020 UNDER OR #: 7117109K DATED 01/06/2020 @ CTO-MALAYBALAY.

Notes: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values, updated for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028604** Property Identification No. **215-01-0021-004-001**

Owner: LEGASPI, LETECIA M. MARRIED TO: DIOSDADO B. LEGASPI TIN: _____

Address: CITY OF MALAYBALAY Telephone No. _____

Administration/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-29545 Lot No. 001 Blk No.: 004
Dated: _____ Survey No. 38-D-CSD-10-010989-D

Boundaries

North: NE; SEC. 003 South: SW; 004-002, 3859, PLS-800
East: SE; SIL-IPON CREEK West: NW; PANGALAMANGON CREEK

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
☐ **BUILDING** Brief Description: _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/ha

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.2240	Php 520,676.00	AGRICULTURAL	9 %	Php 46,860.00
Total		Php 520,676.00			Php 46,860.00

Total Assessed Value
Forty-Six Thousand Eight Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: ALICIA S. ALEGRES, REA 11/03/2014
City Assessor Date

FS/By: (gail) _____

This declaration cancels TD No. E-025279 Owner LEGASPI, LETECIA M. MARRIED TO: DIOSDADO B. LEGASPI P.A. = 3.2240 HAS.
Previous A.V. Php: 17,870.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values established for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028624** Property Identification No. **215-01-0021-004-037**

Owner: **MINISTRY OF EDUCATION CULTURAL AND SPORTS (NOW)
DEPARTMENT OF EDUCATION CULTURE AND SPORTS** TIN: _____

Address: **DALWANGAN, MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ **DALWANGAN** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. **037** Blk No.: **004**
Dated: _____ Survey No. **77, PLS-800**

Boundaries

North: **NE: 004-038,033, LOT 947 & 78, PLS-800** South: **SW: ROAD**
East: **SE: ROAD** West: **NW: BIG MIGBALATOK CREEK**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: **R6-650/sq.m.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	141,442.00	Php 91,937,300.00	SPECIAL/SCIENTIFIC/EDU.	2 %	Php 1,838,750.00
Total		Php 91,937,300.00			Php 1,838,750.00

Total Assessed Value
One Million Eight Hundred Thirty-Eight Thousand Seven Hundred Fifty
(Amount in Words)

Taxable ☐ Exempt ☒ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: 
ALICIA S. ALEGRES, REA 05/21/2015
City Assessor Date

FS/By: **ALDIAM**

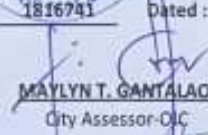
This declaration cancels TD No. **E-041006** Owner **MINISTRY OF EDUCATION CULTURAL AND SPORTS P.A. = 14,1442 HAS**
Previous A.V. Php: **4,953,030.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER RA 7160.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

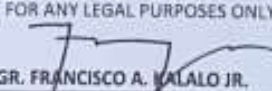
CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**


MAYLYN T. GANTALAO
City Assessor-CLC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.


ENGR. FRANCISCO A. MALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment #

TD No. **F-057367** Property Identification No. **215-01-0021-004-040**

Owner: BAGICHAN, ADRIANO D. MARRIED TO VICENTA DAHONLAY TIN: _____

Address: LUNSAVAN ST., PUROK 04, BRGY. SUMPONG, MALAYBALAY CITY, BUKONON Telephone No. _____

Administrator/Beneficial User: _____ TTN: _____

Address: _____ Telephone No. _____

Location of Property: PUROK 01 DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. T-31383 Lot No. 040 Blk No. 004
Dated: _____ Survey No. LOT 80 PLS-800, CASE 1

Boundaries

North: NE: 004-039, LOT 187, PLS-800 South: SW: 004-041, LOT 81, PLS-800
East: SE: GAMOT CREEK West: NW: ROAD

KIND OF PROPERTY ASSESSED:

☒ **LAND** Brief Description: CORN LAND-190,000/ha. ☐ **MACHINERY** Brief Description: _____
☐ **BUILDING** No. of Storeys: _____ ☐ **Others:** _____
Brief Description: _____ Specify: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.7580 / Php	303,968.20	AGRICULTURAL	9 %	Php 27,360.00
Total		Php 303,968.20			Php 27,360.00

Total Assessed Value
Twenty-Seven Thousand Three Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2020 Yr.

APPROVED BY: MAYLYN T. GANTALAO - OIC 11/21/2019
FS/By: LCM/RHV City Assessor Date

This declaration cancels TD No. F-028627 Owner: RUIZ, DIONESIO PREV. AREA - 1.7580 HAS. Previous A.V. /Php: 25,550.00

MEMORANDA: NOTE: TRANSFERRED FROM DIONESIO RUIZ TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF SALE, EXECUTED BEFORE AMADOR C. MELENDEZ, NOTARY PUBLIC PER DOC NO. 127, PAGE NO. 26, BOOK NO. XVII, SERIES OF 1991 AND PER TCT NO. T-31383; REALTY TAX PAID IN FULL UP TO 2019 UNDER OR # 7085558J DATED 11/21/19; TRANSFER TAX PAID UNDER OR # 0131187 DATED 11/21/19 IN THE AMOUNT OF P297.45 @ CTO-MALAYBALAY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. 620 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 2816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. BALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-028615** Property Identification No. **215-01-0021-004-021**

Owner: SOLOMON, MEDARDO SR. KASAL KAY NOLYNDA DALMENTO TIN: _____

Address: DALWANGAN, MALAYBALAY CITY Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ DALWANGAN CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. P-53208 Lot No. 021 Blk No. 004
Dated: _____ Survey No. 47 CCS-10-000790 IDENT. TO LOT 4740
Boundaries PLS-800

North: N & NW: BY SMALL MIGBALATO South: S: 004-020,013, LOT 48 & 46, CS-10-000790
East: E: ROAD West: W: 004-013, LOT 46, CCS-10-000790

KIND OF PROPERTY ASSESSED:

☒ LAND ☐ MACHINERY
Brief Description: _____
☐ BUILDING ☐ Others: _____
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000/sq.m.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	0.7313	Php 128,441.77	AGRICULTURAL	9 %	Php 11,380.00
Total		Php 128,441.77			Php 11,380.00


Total Assessed Value
Eleven Thousand Three Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.
APPROVED BY: ALICIA ALEGRES, REA 05/04/2015
FS/By: ALDUAM City Assessor Date

This declaration cancels TD No. E-052599 Owner SOLOMON, MEDARDO SR. KASAL KAY NOLYNDA DALMENTO P.A. = 0.7313 HA.
Previous A.V. Php 4,790.00

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7180

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-036109** Property Identification No. **215-01-0036-011-028**

Owner: **RAMOS, DANILO C.** TIN: _____

Address: **MALAYBALAY CITY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ PATPAT CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **T-106474** Lot No. **028** Blk No.: **011**
Dated: _____ Survey No. **1238-APSD-10-051919**

Boundaries

North: **NE: LOT 1238-B, PSD-10-051919** South: **SW: LOT 186, BOTH PLS-800**
East: **SE: LOT 219** West: **NW: LOT PALING RIVER**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **AGRO-INDUSTRIAL LAND-550,000/ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	11.1901	Php 8,193,971.75	AGRO-INDUSTRIAL LAND	0 %	Php 457,460.00
Total		Php 8,193,971.75			Php 457,460.00

Total Assessed Value
Four Hundred Sixty-Seven Thousand Four Hundred Sixty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015 Yr.


APPROVED BY: _____
ALICIA S. ALEGRES, REA 12/11/2014
City Assessor Date

FS/By: **ALD/UAM**

This declaration cancels TD No. **E-048938** Owner **RAMOS, DANILO C.** Previous A.V. Php: **67,990.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Parklandsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. No. **1836791** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of the Philippines
City of Malaybalay

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-059263** Property Identification No. **215-01-0036-007-055**

Owner: GUERRERO, EMILIO MAXIMO R. MARRIED TO PRIMITIVA V. GUERRERO. TIN: 103-311-113/282-736-711/936-233-613
MARI KAREN V. GUERRERO AND KATRINA V. GUERRERO

Address: 282 OSMEÑA ST., BARANGAY 24, CAGAYAN DE ORO CITY Telephone No. _____
Administrator/Beneficial User: _____ TIN: _____
Address: _____ Telephone No. _____

Location of Property: PUROK-05 PATPAT CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/ICT/CLOA No. T-128871 Lot No. 055 Blk No. 007
Dated: _____ Survey No. LOT 139-L PSD-10-066332

Boundaries

North: NE: 007-054 TO 044, LOT 139-K TO 139-A PSD-10-066332 South: SW TAGABOLO CREEK 007-011 LOT 1258, CAD-864
East: SE: 007-018, LOT 1249, CAD-864 West: NW NATIONAL HIGHWAY

KIND OF PROPERTY ASSESSED:

☒ LAND ☐ MACHINERY
Brief Description: PINEAPPLE LAND-650.000Ha. Brief Description: _____
☐ BUILDING ☐ Others:
No. of Storeys: _____ Specify: _____
Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	3.2252 Hpa	Php 1,970,597.20	AGRICULTURAL	9 %	Php 177,350.00
Total		Php 1,970,597.20			Php 177,350.00

Total Assessed Value
One Hundred Seventy-Seven Thousand Three Hundred Fifty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2021 Yr.

APPROVED BY: MAYLYN T. GANTALAO - OIC 09/03/2020
City Assessor Date

FS/By: EET/RHV City Assessor Date

This declaration cancels TD No. **F-038764** Owner: GUERRERO, EMILIO MAXIMO R. MARRIED TO PRIMITIVA V. GUERRERO
PREV. AREA: 12.8425 HAS. (PART) Previous A.V. Php: 506,270.00

MEMORANDA NOTE: THIS ASSESSMENT IS TO SEGREGATE AN AREA OF 3.2252 HAS. PER TRANSFER CERTIFICATE OF TITLE NO. T-128871 REALTY TAX PAID IN FULL UP TO 2020 UNDER OR # 7070912G DATED 12/20/2019 @ CTO-MALAYBALAY

*** Please see at the back of the page ***

Noted: This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ Dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.
ENGR. FRANCISCO A. MAKALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-045141** Property Identification No. **215-01-0036-007-023**

Owner: **BASAN, CRISTINE MA (MARRIED)** TIN: _____

Address: **BARANGAY 1, POBLACION, MALAYBALAY CITY, BUKIDNON, PHILIPPINES** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 05** **PATPAT** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **133-2016001412** Lot No. **023** Blk No. **007**
Dated: _____ Survey No. **140, PLS-800**

Boundaries

North: **TAGABOLO CREEK** South: **FPA-1001312-3486**
East: **07-022 LOT 135-A, PSD-10-047961** West: **12-014 LOT 142, PSD-10-041450 (AR)**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **CORN LAND-190.000/ha, ORCHARD LAND-150.000/ha**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	12.7000	Php 2,088,186.00	AGRICULTURAL	0 %	Php 188,030.00
LAND		829,747.00	PLANTS/AGRICULTURAL	0 %	74,660.00
Total		Php 2,918,933.00			Php 262,710.00

Total Assessed Value
Two Hundred Sixty-Two Thousand Seven Hundred Ten
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: **1st** **2017**
Qtr. Yr.

APPROVED BY:  **ALICIA S. ALEGRES, REA** **07/21/2016**
City Assessor Date

PS/By: **TIAM** City Assessor


This declaration cancels TD No. **F-036019** Owner **MA, CRISTINE B. ET AL. (SEE MEMO)** P.A. = 12.7000 HA. Previous A.V. Php **188,790.00**

MEMORANDA: NOTE: 1.) TRANSFERRED FROM MARIO M. ILLUSTRISIMOM TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF ABSOLUTE SALE EXECUTED BEFORE ROLAND F. DETICIO, NOTARY PUBLIC PER DOC. NO. 217, PAGE NO. 44, BOOK NO. XLII, SERIES OF 2015. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 820 dated **July 22**, 20 **14**. It does not and cannot by itself alone confer any ownership or legal title on the property.


CERTIFIED TRUE COPY

O.R. No. **1536741** Dated: **5/5/2021**


MAYLYN T. GANTALAO
City Assessor-OIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.


ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


: 2) TRANSFERRED FROM JOVENCIO L. MA BY VIRTUE OF DEED OF DONATION, EXECUTED BEFORE ROLAND F. DETICIO F. DETICIO, NOTARY PUBLIC PER DOC. NO. 216, PAGE NO. 44, BOOK NO. XLII, SERIES OF 2015;

3) TRANSFERRED FROM CAMILA G. LLAGAS BY VIRTUE OF DEED OF DONATION, EXECUTED BEFORE EMMANUEL L. AKUT, NOTARY PUBLIC PER DOC. NO. 166, PAGE NO. 35, BOOK NO. 134, SERIES OF 2015 AND PER TCT NO. 133-2016001412;

TRANSFER TAX PAID UNDER OR NO. 0468493 DTD: 07/08/2015 IN THE AMT. OF 2,705.00. AND OR NO. 1568245 DTD: 05/13/16 IN THE AMT. OF P2,621.05

REALTY TAX PAID IN FULL UP TO 2016 UNDER OR NO. 6668292T DTD: 12/28/15 @ CTO MALAYBALAY;

CAR2014 00022438/ 00022394A 00149954 ISSUED AND SIGNED BY FLORDELIZA S. TANGGOR-CHIEF ASSESSMT. SECTION-CHIEF & VENERANDO B. HOMEZ-AUTHORIZED REVENUE OFFICER PER RDO NO. 098 DTD: 05/18/15/ 05/11/158 05/05/16



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Republic of Philippines
City of Malaybalay
TAX DECLARATION OF REAL PROPERTY

Attachment 4

TD No. **F-051755** Property Identification No. **215-01-0036-007-029**

Owner: **BASAN, HILLARY NICOLE M. (SINGLE)** TIN: _____

Address: **CLARO M. RECTO ST., HEIGHTS, BARANGAY 001, CITY OF MALAYBALAY** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PURCK 5** PATPAT ☒ CITY OF MALAYBALAY

(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **P-58963** Lot No. **028** Blk No. **007**

Dated: _____ Survey No. **F-101312-3468 (IDENT. TO LOT 41593 CAD-864)**

Boundaries

North: **NE LOT 1247, CAD-864** South: **W LOT 1256, CAD-864**

East: **SE PALING CREEK** West: **NW LOT 1380, CAD-864**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**

Brief Description: **CORN LAND-190.000ha** Brief Description: _____

☐ **BUILDING** ☐ **Others:**

No. of Storeys: _____ Specify: _____

Brief Description: _____

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	2.1462	Php 348,611.30	AGRICULTURAL	9 %	Php 31,200.00
Total		Php 348,611.30			Php 31,200.00

Total Assessed Value
Thirty-One Thousand Two Hundred _____

Taxable ☒ Exempt ☐ (Amount in Words)

Effectivity of Assessment/Reassessment: 1st Qtr. 2008 Yr.

APPROVED BY: BENITO O. LUGTU 01/05/2018
City Assessor Date

FS/By: ALDRHV

This declaration cancels TD No. **NEW** Owner: _____ Previous A.V. Php. **0.00**

MEMORANDUM NOTE: ASSESSED PER KATIBAYAN NG ORIHINAL NA TITULO B/LG. P-58963 - REALTY TAX PAID IN FULL FROM 2008 TO 2018 UNDER ORA 6877236 & ORA 6172268 DATED JANUARY 05, 2018 & MARCH 2, 2015 @ C/O. MALAYBALAY.

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Panglungsod under Ordinance No. 820 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal right in the property.

CERTIFIED TRUE COPY

O.R. NO. **1816741** Dated: **5/5/2021**

MAYLYN T. SANTALAO
City Assessor-DIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. MALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-046155** Property Identification No. **215-01-0036-007-009**

Owner: **GAMA FOODS CORPORATION** TIN: **281-593-820**

Address: **NATIONAL HIGHWAY, BALOY, CAGAYAN DE ORO CITY, PHILIPPINES** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 02** **PATPAT** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **133-2015003898** Lot No. **009** Blk No.: **007**
Date: _____ Survey No. **85, PLS-800, C-I**

Boundaries

North: **NW: BY LOT 84, PLS-800 & NW& N: BY GAMOT CREEK** South: **SW: BY NATIONAL HIGHWAY & S: BY IMPO-OG CREEK**
East: **BY LOT 1, PLS-800** West: **BY ROAD**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____


☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **AGRO-INDUSTRIAL LAND-550,000/ha. CORN LAND-190,000/ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	15.0734	Php 4,384,109.24	AGRICULTURAL	0 %	Php 394,570.00
Total		Php 4,384,109.24			Php 394,570.00

Total Assessed Value
Three Hundred Ninety-Four Thousand Five Hundred Seventy
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2017
Qtr. Yr.

APPROVED BY:  **ALICIA S. ALEGRES, REA** 01/26/2016
City Assessor Date

FS/By: **FGUAM**

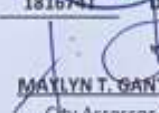
This declaration cancels TD No. **F-036086** Owner **DELINA, MELFE, P.A.** = 15.0734 HAS, Previous A.V. Php: **394,570.00**

MEMORANDA: NOTE: TRANSFERRED FROM MELFE DELINA TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF ABSOLUTE SALE EXECUTED BEFORE ROLAND F. DETICIO, NOTARY PUBLIC PER DOC. NO. 808; PAGE NO. 101; BOOK NO. XLII; SERIES OF 2015 AND PER TCT NO. 133-2015003898. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted into an Ordinance by the Sangguniang Pankungod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

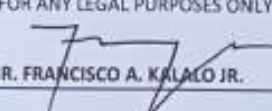
CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

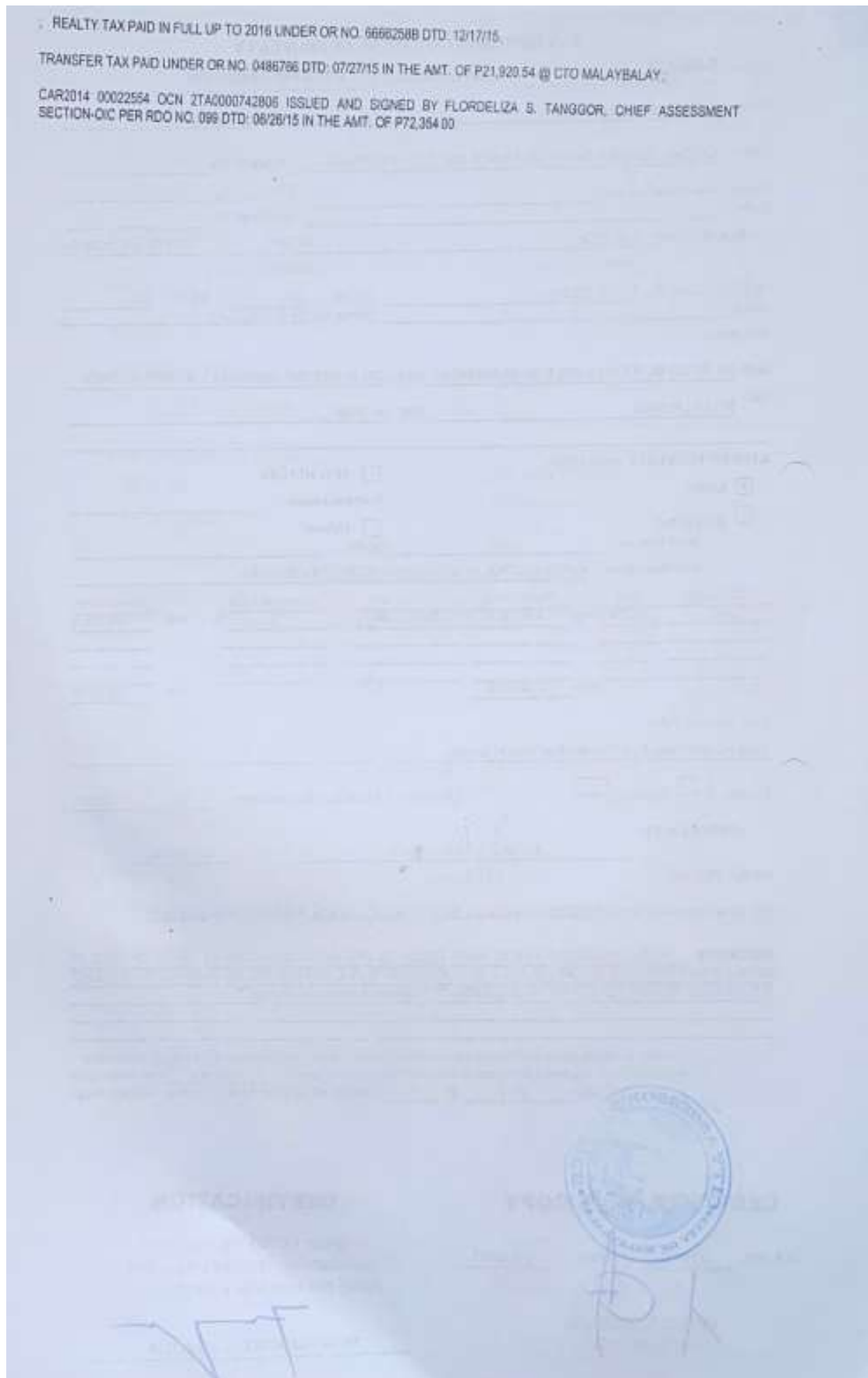

MAYLYN T. GANTIAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.


ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-038766** Property Identification No. **215-01-0036-007-010**

Owner: **DALWANGAN DEVELOPMENT CORPORATION** TTN: _____

Address: **DALWANGAN, MALAYBALAY, BUKIDNON** Telephone No. _____

Administration/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ PATPAT CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. _____ Lot No. **010** Blk No.: **007**
Dated: _____ Survey No. **89, PLS-500**

Boundaries

North: **IMPOOG CREEK** South: **NATIONAL HIGHWAY**
East: **SEC. 07-013, M. VILLAMOR** West: **-DC-**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
☐ **BUILDING** Brief Description: _____
No. of Storeys: _____ ☐ **Others:** _____
Specify: _____

Brief Description: **PINEAPPLE LAND-650,000ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	4.0000	Php 2,444,000.00	AGRICULTURAL/PINEAPP	II %	Php 219,960.00
Total		Php 2,444,000.00			Php 219,960.00

Total Assessed Value
Two Hundred Nineteen Thousand Nine Hundred Sixty
(Amount in Words)


Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st 2015
Qtr. Yr.

APPROVED BY: **Alicia S. Alegres, REA** 11/04/2014
PS/By: **FGG/MLR** City Assessor Date

This declaration cancels TD No. **E-028454** Owner **DALWANGAN DEVELOPMENT CORPORATION** Previous A.V. Php: **95,040.00**

MEMORANDA NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160.

Notar: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.



CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-DC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-036581** Property Identification No. **215-01-0036-007-011**

Owner: TABIOS, ERNESTO N. TIN: _____

Address: POBLACION, MALAYBALAY, BUKIDNON Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: _____ PATPAT CITY OF MALAYBALAY
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. F.P. NO. 7355 (X-4) 993 Lot No. 011 Blk No. 007
Dated: _____ Survey No. 141, PLS-800

Boundaries

North: N: NATIONAL HIGHWAY South: S & W: TAGABULO CREEK
East: E: LOT 138, PLS-800 West: _____

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:**
No. of Storeys: _____ Specify: _____

Brief Description: CORN LAND-190,000ha.

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	1.3125	Php 234,412.50	AGRICULTURAL	2 %	Php 21,100.00
LAND	600.00	475,000.00	RESIDENTIAL	3 %	14,280.00
Total		Php 710,412.50			Php 35,380.00

Total Assessed Value
Thirty-Five Thousand Three Hundred Eighty
(Amount in Words)

Taxable ☒ Exempt ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2015
APPROVED BY: ALICIA S. ALEGRES, REA 06/19/2015
FS/By: ALD/mikel City Assessor Date

This declaration cancels TD No. D-007691 Owner: TABIOS, ERNESTO N. Previous A.V. Php: 780,002,820.00

MEMORANDUM NOTE: REVISED IN ACCORDANCE WITH THE NEW SCHEDULE OF VALUES UNDER R.A. 7160. BACK TAXES: D-007691 (P.D. 1621) WITH AN A.V. = P3,610.00 AND E- (R.A. 7160) WITH AN A.V. = P16,880.00

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panlungsod under Ordinance No. _____ dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: 1816741 Dated: 5/5/2021
MAYLYN T. GANTALAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST
THIS CERTIFIED TRUE COPY FROM THIS
OFFICE FOR ANY LEGAL PURPOSES ONLY.
ENGR. FRANCISCO A. GALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Attachment 4

TAX DECLARATION OF REAL PROPERTY

TD No. **F-047674** Property Identification No. **215-01-0036-011-032**

Owner: **RAMOS, IRISH CHARME G. (MARRIED)** TIN: **279-803-409**

Address: **PATPAT, MALAYBALAY CITY, BUKIDNON** Telephone No. _____

Administrator/Beneficial User: _____ TIN: _____

Address: _____ Telephone No. _____

Location of Property: **PUROK 1** **PATPAT** **CITY OF MALAYBALAY**
(Number and Street) (Barangay / District) (City)

OCT/TCT/CLOA No. **133-2018000774** Lot No. **032** Blk No.: **011**
Dated: _____ Survey No. **215-A, PSD-10-068648**

Boundaries

North: **NE: 11-033 LOT 1239/219-B, PSD-10-068648** South: **SW: SAWAGA CREEK**

East: **SE: 11-031 & 030, LOT 1241-B/217 & 1241-A/217, PSD-10-015026-D/PLS-800** West: **NW: 11-025 LOT 1238-A/818, PSD-10-051919/PLS-800**

KIND OF PROPERTY ASSESSED:

☒ **LAND** ☐ **MACHINERY**
Brief Description: _____

☐ **BUILDING** ☐ **Others:** _____
No. of Storeys: _____ Specify: _____

Brief Description: **PASTURE (GRAZELAND)-40,000/ha.**

Classification	Area	Market Value	Actual Use	Assessment Level	Assessed Value
LAND	5.0000 Hpa	Php 170,000.00	AGRICULTURAL	9 %	Php 15,300.00
Total		Php 170,000.00			Php 15,300.00

Total Assessed Value:
Fifteen Thousand Three Hundred
(Amount in Words)

Taxable: ☒ Exempt: ☐ Effectivity of Assessment/Reassessment: 1st Qtr. 2017

APPROVED BY: **ALICIA S. ALEGRES, REA** 06/02/2016
City Assessor Date

FS/By: **EET/JAM**

This declaration cancels TD No. **F-036076** Owner: **RAMOS, PACIFICO JR. P.A. = 7.6301 HAS. PART 1/3** Previous A.V. Php: **46,300.00**

MEMORANDUM NOTE: AN AREA OF 5.0000 HAS. IS TRANSFERRED FROM PACIFICO RAMOS, JR. TO THE HEREIN DECLARANT BY VIRTUE OF DEED OF ABSOLUTE SALE OF A PORTION OF A PARCEL OF LAND EXECUTED BEFORE ROLAND F. DETICIO, NOTARY PUBLIC PER DOC. NO. 539; PAGE NO. 108; BOOK NO. XXIII; SERIES OF 2012 AND PER TCT NO. 133-2018000774. *** Please see at the back of the page ***

Notes: * This declaration is for real property taxation purposes only and the valuation indicated herein are based on the schedule of unit market values prepared for the purpose and duly enacted unto an Ordinance by the Sangguniang Panglungsod under Ordinance No. 280 dated July 22, 2014. It does not and cannot by itself alone confer any ownership or legal title to the property.

CERTIFIED TRUE COPY

O.R. NO.: **1816741** Dated: **5/5/2021**

MAYLYN T. GANTALAO
City Assessor-CIC

CERTIFICATION

I HEREBY CERTIFY THAT I REQUEST THIS CERTIFIED TRUE COPY FROM THIS OFFICE FOR ANY LEGAL PURPOSES ONLY.

ENGR. FRANCISCO A. KALALO JR.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

CAR2012 00157928 OCN 2TA0000532171 ISSUED AND SIGNED BY MYRNA L. BERNARDO CPA AUTHORIZED REVENUE OFFICER RDO NO. 099 DTD: 04/05/13.

REALTY TAX PAID IN FULL UP TO 2016 UNDER OR NO. 6885111T DTD: 12/10/15.

TRANSFER TAX PAID UNDER OR NO. 8896605 DTD: 11/25/13 IN THE AMT. OF P1,250.00 @ CTO MALAYBALAY.

[Faint background text and lines are visible, suggesting a standard tax receipt form.]

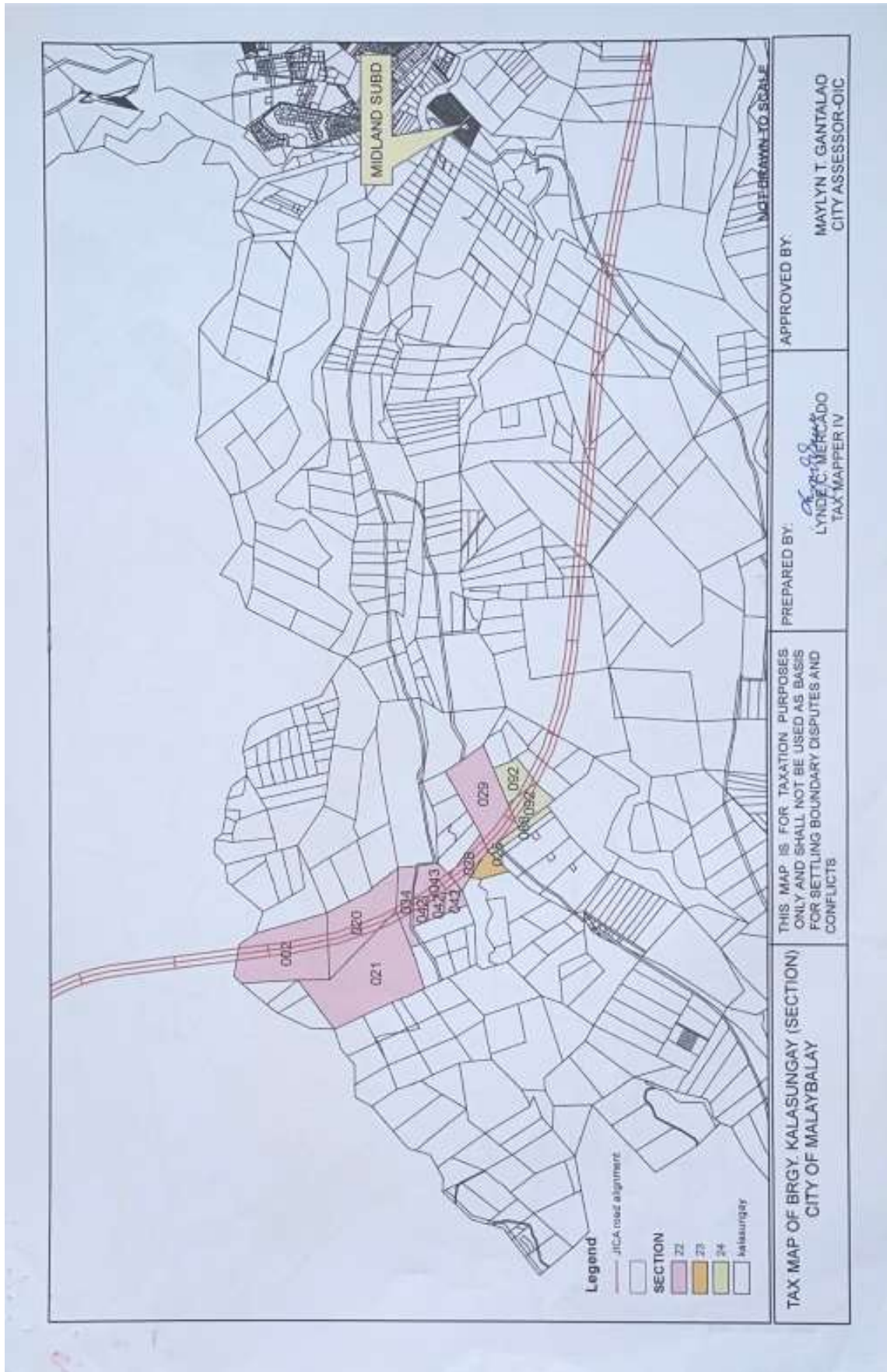
[Handwritten signature and blue circular official stamp are visible at the bottom right.]

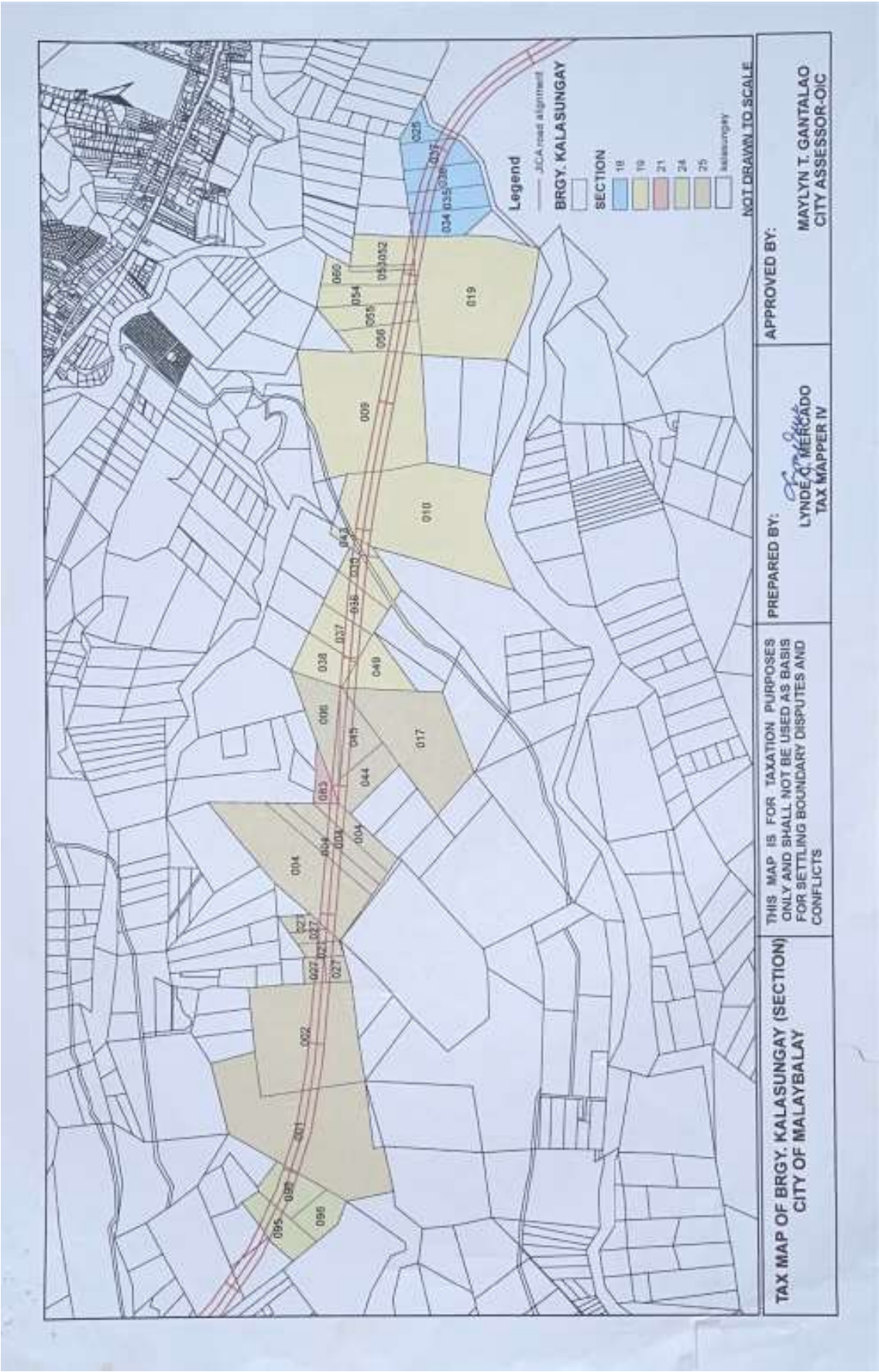
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Patpat

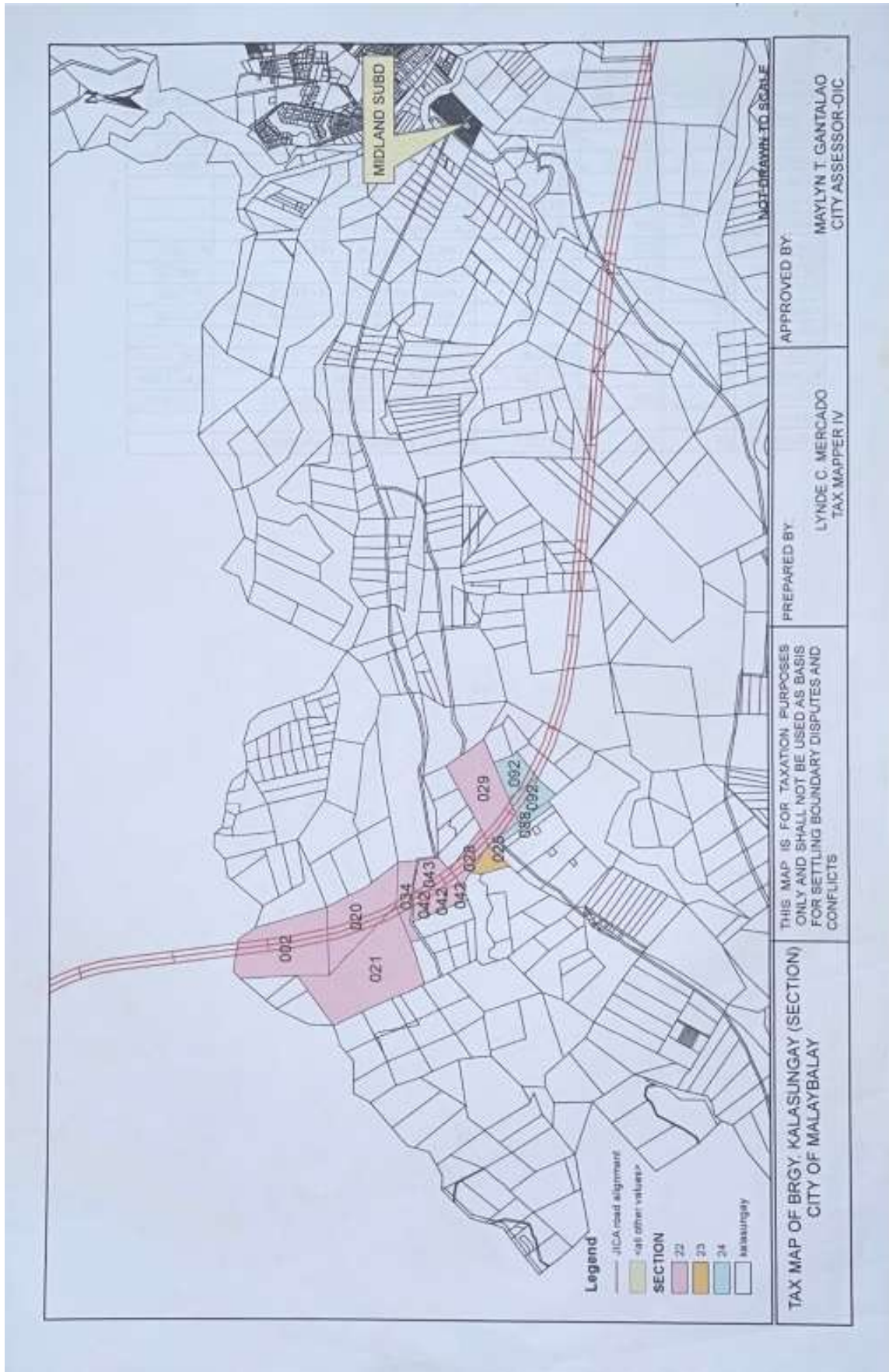
BRGY	SECTION	LAND PIN	TAX DEC NO	OWNER	TCT_NO
Patpat	07	008			
Patpat	07	011	F-036581	TABIOS, ERNESTO N.	F.P. NO. 7355 (X-4) 993
Patpat	07	010	F-038766	DALWANGAN DEVELOPMENT CORPORATION	
Patpat	07	009	F-046155	GAMA FOODS CORPORATION	133-2015003898
Patpat	07	029	F-051755	BASAN, HILLARY NICOLE M. (SINGLE)	P-58963
Patpat	07	023	F-045141	BASAN, CRISTINE MA (MARRIED)	133-2016001412
Patpat	07	012	F-059263	GUERRERO, EMILIO MAXIMO R. MARRIED TO PRIMITIVA V. GUERRERO; MARI KAREN V. GUERRERO AND KATRINA V. GUERRERO	T-128871
Patpat	11	028	F-036109	RAMOS, DANILO C.	T-106474
Patpat	11	032	F-047674	RAMOS, IRISH CHARME G. (MARRIED)	133-2016000774

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



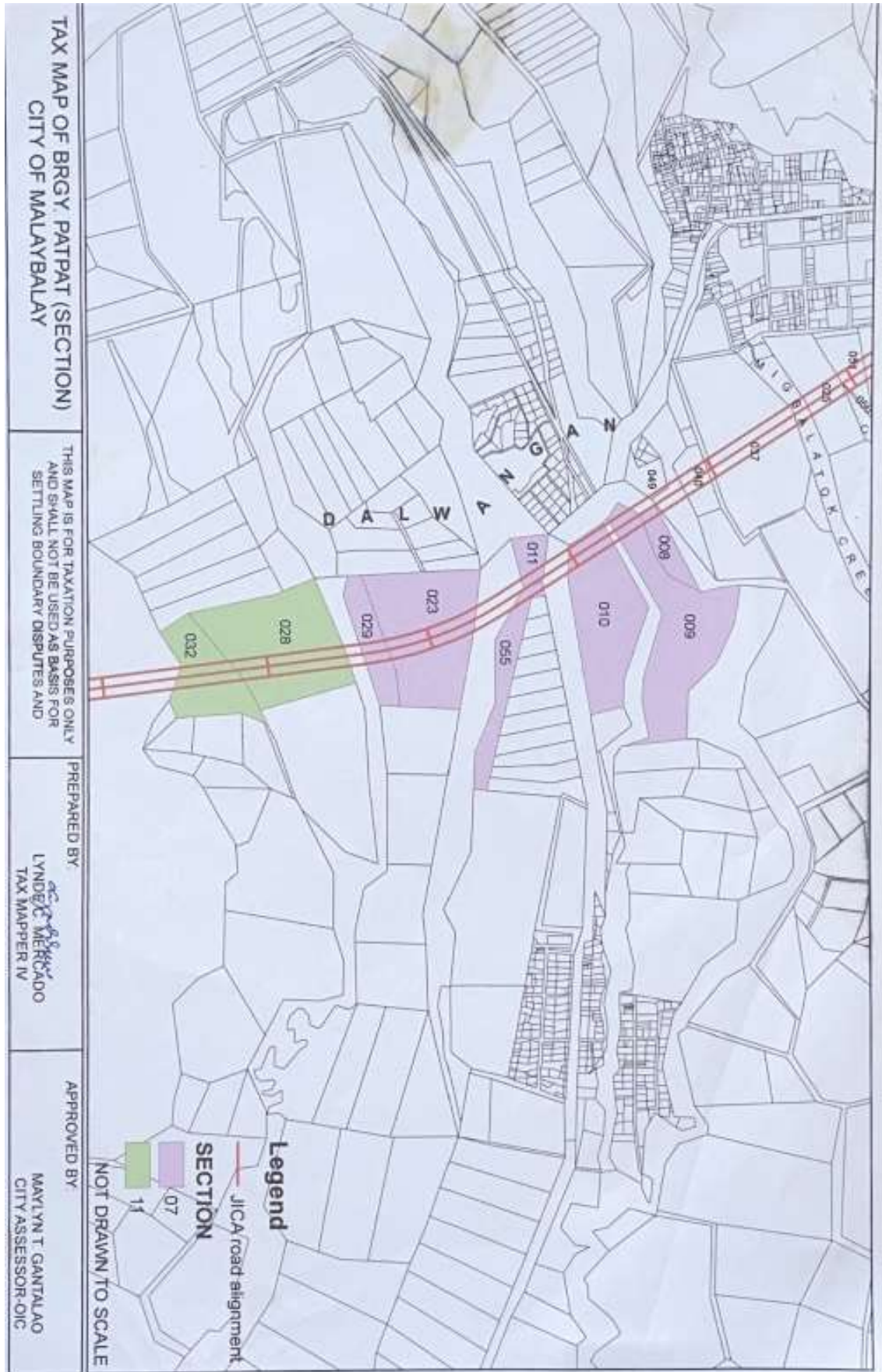
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

KALASUNGAY_SECTION 22,23 & 24 (PORTION)					
BARANGAY	SECTION	LAND_PIN	LAND_PIN	DECLARANT	TITLE_NO
Kalasungay	22	042	F-012884	PLASOS, FEDERICO F. MARRIED	ET-2183
Kalasungay	22	002	F-010822	ALBARACIN, SUSAN	T-15038
Kalasungay	22	021	F-011322	VILLARTA, DIOSDADO ET AL	T-65656
Kalasungay	22	020	F-010820	ALBARACIN, SUSAN G.	
Kalasungay	22	034	F-012040	GAMOROT, POLICARPO L.	
Kalasungay	22	029	F-010819	DALWANGAN DEV. CORPORATION	
Kalasungay	22	028	F-045192	CONCON, EVELYN V. KASAL	P-52577
Kalasungay	22	043	F-012157	SERQJALES, RONILO P.	T-68338
Kalasungay	22	042	F-012884	PLASOS, FEDERICO F. MARRIED	ET-2183
Kalasungay	22	042	F-012884	PLASOS, FEDERICO F. MARRIED	ET-2183
Kalasungay	23				
Kalasungay	24	092	F-047180	DEVELOPMENT BANK OF	REM. PART
Kalasungay	24	092	F-047180	DEVELOPMENT BANK OF	REM. PART
Kalasungay	24	088	F-059596	RAMOS, EDMUNDO V. MARRIED	T-101395
Kalasungay	24				
Kalasungay	24	025	F-011727	RAMOS, EDMUNDO V. MARRIED	

12

Psai





Appendix 2f – IPA Valuation Report

VALUATION REPORT

Just Compensation Appraisal

Properties to be affected by the right-of-way of the proposed
CENTRAL MINDANAO HIGH STANDARD HIGHWAY CONSTRUCTION PROJECT

Located in
**Cagayan de Oro City and Municipality of Tagoloan in the Province of Misamis Oriental; and
Malaybalay City and Municipalities of Manolo Fortich, Impasug-ong and Sumilao
in the Province of Bukidnon**

Prepared for the
DPWH-JICA
(Preparatory Survey for Central Mindanao High Standard Highway Construction Project)

Prepared by
Engr. Norviendo S. Ramos, Jr.
Licensed Civil Engineer
PRC Reg. No. 0070795
Licensed Real Estate Appraiser
PRC Reg. No. 0000735

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

TABLE OF CONTENTS

INSTRUCTIONS	3
PURPOSE OF APPRAISAL	3
VALUATION METHODOLOGY	4
QUALIFICATIONS	4
LIMITING CONDITIONS	5
VALUATION CONCLUSION	5
VALUATION REPORT	6
GENERAL	6
PROPERTY LOCATION AND IDENTIFICATION	7
NEIGHBORHOOD DATA	11
COMMUNITY FACILITIES AND UTILITIES	11
LAND DATA	12
HIGHEST AND BEST USE	14
VALUATION	14
ANNEX A – DETAILED COMPENSATION COST FOR THE AFFECTED LAND	51

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

15 April 2022

DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS

JAPAN INTERNATIONAL COOPERATION AGENCY

Project: Central Mindanao High Standard Highway Construction Project

Subject : **Just Compensation Appraisal of Properties**

Gentlemen:

INSTRUCTIONS

We have been engaged to estimate the market value of the land that shall be affected by the proposed ***Central Mindanao High Standard Highway Construction Project of the Department of Public Works and Highways.***

As requested, we confirm that we have conducted an appraisal as of **10 April 2022**, made enquiries and searches and have obtained such further information as we consider necessary for the purpose of providing you with the ***just compensation*** of the properties that shall be affected by the proposed project.

The appraised properties consist of ***land only***, located **within Cagayan de Oro City and Municipality of Tagoloan in the Province of Misamis Oriental; and Malaybalay City and Municipalities of Manolo Fortich, Impasug-ong and Sumilao in the Province of Bukidnon.**

This valuation was performed in accordance with the Philippine Valuation Standards (2nd Edition)-Incorporating the International Valuation Standards (IVS) 2017.

PURPOSE OF APPRAISAL

The purpose of this appraisal is to determine the just compensation of the properties based on market value.

Just Compensation, in condemnation, is defined as the amount of the loss for which a property owner has established a claim to compensation. It is the payment of the Market Value of that which was taken. In a strict sense, the term is synonymous with indemnity, that is, a payment, no more and no less than sufficient to make good the loss. (*Appraisal Terminology and Handbook, 4th Edition, American Institute of Real Estate Appraisers, Copyright 1962, Pages 104 to 105*)

Market Value is defined as the estimated amount for which a property should exchange on the date of valuation between a willing buyer and a willing seller in an arm's-length transaction after proper marketing wherein the parties had each acted knowledgeably, prudently, and without compulsion. (*International Valuation Standards 2017, IVS 104, Bases of Value, Paragraph 30.1*)

Norviendo S. Ramos, Jr., Licensed Civil Engineer (License No. 0070795) and Licensed Real Estate Appraiser (License No. 0000735) Address: Block 17 Lot 8 Narra Avenue Palmera Woodlands, Barangay Cupang, Antipolo City 1870 Contact Nos. +639088879537 and +63284636455

VALUATION METHODOLOGY

As provided in Section 5 of Republic Act No. 10752, an act facilitating the acquisition of right-of-way site or location for National Government Infrastructure Project, the implementing agency may offer to acquire, through negotiated sale, the right-of-way site or location for national government infrastructure project, under the following rules:

The implementing agency shall offer to the property owner concerned, as compensation price, the sum of:

1. The current market value of the land,
2. The replacement cost of structures and improvements therein; and
3. The current market value of crops and trees therein.

Just Compensation for Land

The Encyclopedia of Real Estate Appraising, revised and enlarged (1968), defined **“Highway Taking”** as the acquisition of private property by the government for construction of a highway or toll road, or for widening of an existing highway.

In highway takings, the whole or part of the owner’s property can be subject to a just compensation.

The amount of just compensation is the market value of the owner’s property partly taken and, if any, the damage to the remainder of this property, known as severance damage. The term **Severance Damage** is defined as the decrease in market value of the remaining property of an owner caused by the taking of the part of his property. The amount of just compensation is equivalent to the market value of the property before the taking, less the market value of the remaining area after the taking.

The market value of the land was estimated by using the *Market Approach*. The **Market Approach** provides an indication of value by comparing the asset with identical or comparable (that is similar) assets for which price information is available. (*International Valuation Standards 2017, IVS 105, Valuation Approaches and Methods, Paragraph 20.1*)

QUALIFICATIONS

Our valuations have been made on the assumption that the owner(s) sells the property on the open market in their existing state without the benefit of a deferred terms contract, leaseback, joint venture, management agreement or any similar arrangement which would affect the value of the property.

While we have taken every reasonable care both during inspecting the information provided to us and in making relevant enquiries, we have not scrutinized the original documents to verify the correctness of the information or to ascertain subsequent amendments, if any, which may not appear on the copies handed to us. We have no reason to doubt the truth and accuracy of the information. We are also advised that no material facts have been omitted from the information provided.

We have not sighted joint venture agreement(s) and have assumed that there are no terms and conditions contained therein (unless otherwise stated in the report) which would materially affect the value of the property.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LIMITING CONDITIONS

We made no investigation of and assume no responsibility for titles to or liabilities against the appraised properties.

All existing liens and encumbrances, if any, have been disregarded and the property is appraised as though free and clear under responsible ownership.

The valuer, by reason of this appraisal, is not required to give testimony or attendance in court or to any government agency with reference to the subject property unless arrangements have been previously made.

This appraisal report is invalid unless it bears the service seal of the valuer.

Erasure on appraisal date and value invalidates this valuation report.

Neither the whole nor any part of this report and valuation, nor any reference thereto, may be included in any document, circular or statement without our written approval or the form and context in which it will appear.

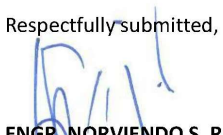
Possession of this report or a copy thereof does not carry with it the right of publication, nor may it be used for any purpose by anyone, but the client for whom it was made, without the written consent of the appraiser or of the client.

VALUATION CONCLUSION

Based on the foregoing and as supported by the accompanying narrative report, it is our opinion that the just compensation (based on market value) appraised as of **10 April 2022**, of the properties that shall be affected by the proposed **Central Mindanao High Standard Highway Construction Project of the Department of Public Works and Highways** is reasonably represented in the amount of **EIGHT HUNDRED FORTY-SEVEN MILLION NINE HUNDRED SIXTY-SIX THOUSAND NINE HUNDRED (PHP847,966,900) PESOS**.

WE CERTIFY that we have neither present nor prospective interest on the appraised properties or on the reported value.

Respectfully submitted,


ENGR. NORVIENDO S. RAMOS, JR., I.P.A.

Licensed Real Estate Appraiser

PRC Reg. No. 0000735

Licensed Civil Engineer

PRC Reg. No. 0070795

VALUATION REPORT

GENERAL

This report covers an appraisal of certain properties located within Cagayan de Oro City and Municipality of Tagoloan in the Province of Misamis Oriental; and Malaybalay City and Municipalities of Manolo Fortich, Impasug-ong and Sumilao in the Province of Bukidnon. The appraisal was made for the purpose of expressing an opinion on the **just compensation** of the properties as of **10 April 2022**.

The term **Just Compensation**, in condemnation, is the amount of the loss for which a property owner has established a claim to compensation. It is the payment of the Market Value of that which was taken. In a strict sense, the term is synonymous with indemnity that is a payment, no more and no less than sufficient to make good the loss.

Market Value is defined as the estimated amount for which a property should exchange on the date of valuation between a willing buyer and a willing seller in an arm's-length transaction after proper marketing wherein the parties had each acted knowledgeably, prudently, and without compulsion.

In each definition, it is assumed that any transaction shall be based on cash or its equivalent consideration. The price which the property would fetch if offered for sale in the open market, would undoubtedly be affected, should the sale be on terms, whether favorable or unfavorable.

It is further assumed that the titles to the properties are good, marketable and free from liens and encumbrances; and that fee simple ownership is transferable.

The rights appraised in this report are the property rights in fee simple, free and clear. **Fee Simple** refers to the “bundle of rights” or attributes which are inherent or appurtenant to ownership, without any limitation or restriction other than those imposed by law or contract. The bundle of rights includes the right to use, to possess, to the fruits, to dispose, and to vindicate or recover.

Limitations to Bundle of Rights

Legal or Governmental Limitations:

- a) Zoning – refers to land use classifications and the allowable utilization under each classification.
- b) Taxation – the power of the government or any of its political subdivisions to impose charge or burden upon persons, property or property rights for the use and support of the government.
- c) Eminent Domain – the power of the State or any of its instrumentalities to take private property for public use and payment of just compensation.
- d) Other provisions of law such as legal easement, the requirement of legitime in succession, prohibition against sale and encumbrance of property acquired by patent, rent control, laws on subdivision development, urban and agrarian reform, etc.

Contractual or Voluntary Limitations – Those imposed by the grantor of the property to the grantee, either by contract (e.g. donation), or by last will; or those imposed by the owner, himself such as voluntary easement, mortgage, lease, use restrictions in subdivision contracts, etc.

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

PROPERTY LOCATION AND IDENTIFICATION

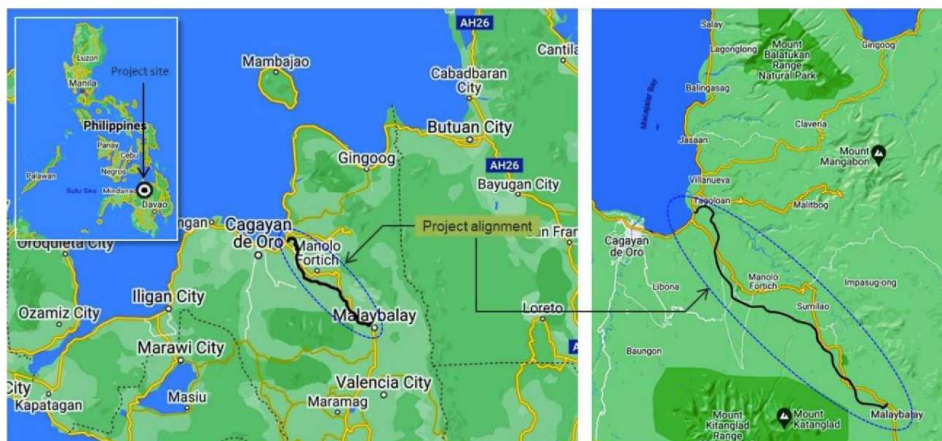
The subject property consists of *land only* that shall be affected by right-of-way of the proposed **Central Mindanao High Standard Highway Construction Project of the Department of Public Works and Highways**, located **within Cagayan de Oro City and Municipality of Tagoloan in the Province of Misamis Oriental; and Malaybalay City and Municipalities of Manolo Fortich, Impasug-ong and Sumilao in the Province of Bukidnon.**

Project Description

The proposed Central Mindanao High Standard Highway Project (Cagayan de Oro-Malaybalay Section) is part of the Phase II of the Master Plan on High Standard Highway Network Development. The objectives of the plan were to improve the transport efficiency in the region and contribute to enhancing the connectivity between the cities of Cagayan de Oro and Malaybalay as well as the economic development of the surrounding area. The proposed Project will be spearheaded by the Department of Public Works and Highways (DPWH) with the assistance of the Japan International Cooperation Agency (JICA).

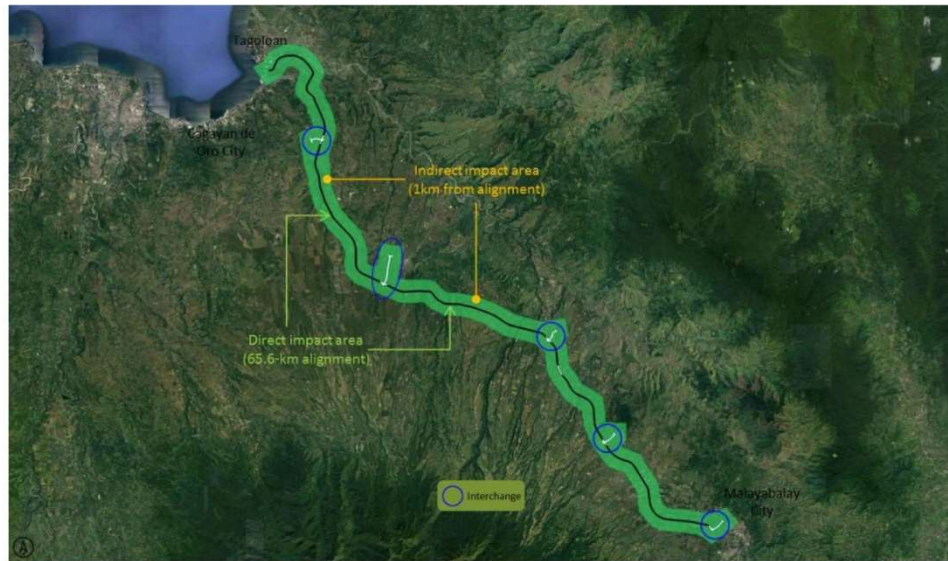
The proposed road starts at a point along the Butuan-Cagayan de Oro-Iligan Road in Barangay Casinglot, Municipality of Tagoloan, Province of Misamis Oriental. It then goes southwestwards to Malaybalay City, passing through Cagayan de Oro City, Province of Misamis Oriental and in the Municipalities of Manolo Fortich, Impasug-ong and Sumilao in the Province of Bukidnon. The total length is approximately 65.72 kilometers.

The beginning of the project along the Butuan-Cagayan de Oro-Iligan Road is located approximately 35 meters south from the road leading to Petron Tagoloan Terminal; 250 meters southeast from the Petron Tagoloan Terminal; 400 meters southwest from Del Monte Philippines Plant; 800 meters south from Nestlé Tagoloan Warehouse; 1.4 kilometers southeast from PHIVIDE (Mindanao International Container Terminal); 1.7 kilometers northeast from Sayre Highway; and about 3 kilometers south from the Tagoloan Municipal Hall. The proposed road project terminates along the dirt road in Barangay Kalasungay in Malaybalay City, Bukidnon. It has an access road that connects to Sayre Highway that starts at Kilometer 64+660. The end of the access road along Sayre Highway is located approximately 160 meters northwest from the PMA Pentecostal Church; 1.9 kilometers northwest from the Bukidnon State University; and about 2.5 kilometers northwest from Gaisano Malaybalay.

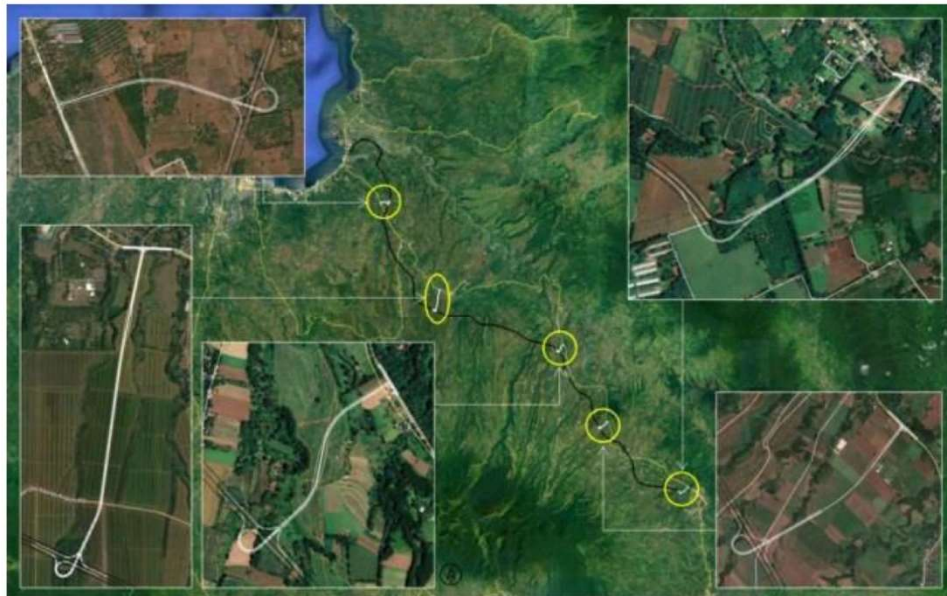


General Location of the Proposed Central Mindanao High Standard Highway Construction Project

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

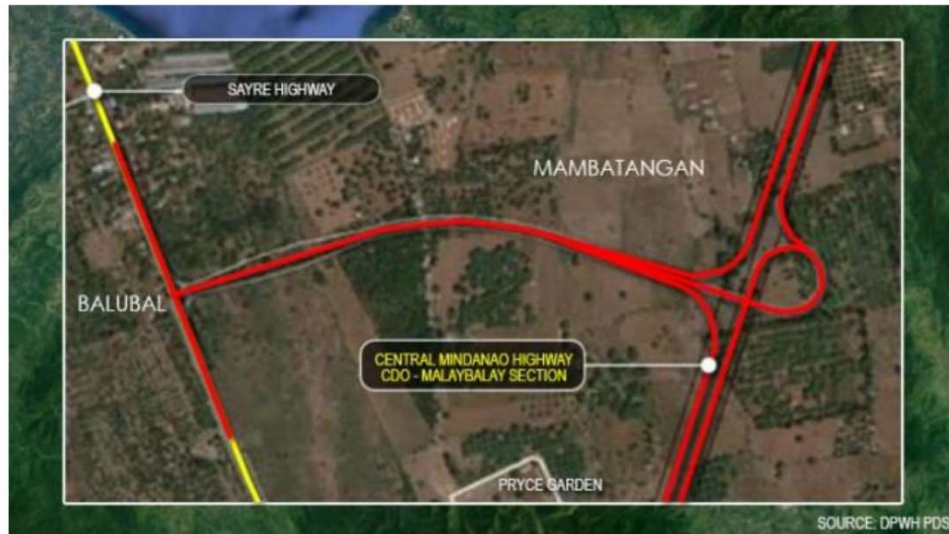


Initial Impact Area Map



Proposed Site of 5 Interchanges

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Balubal-Mambatangan Area Interchange



Diclum Area Interchange

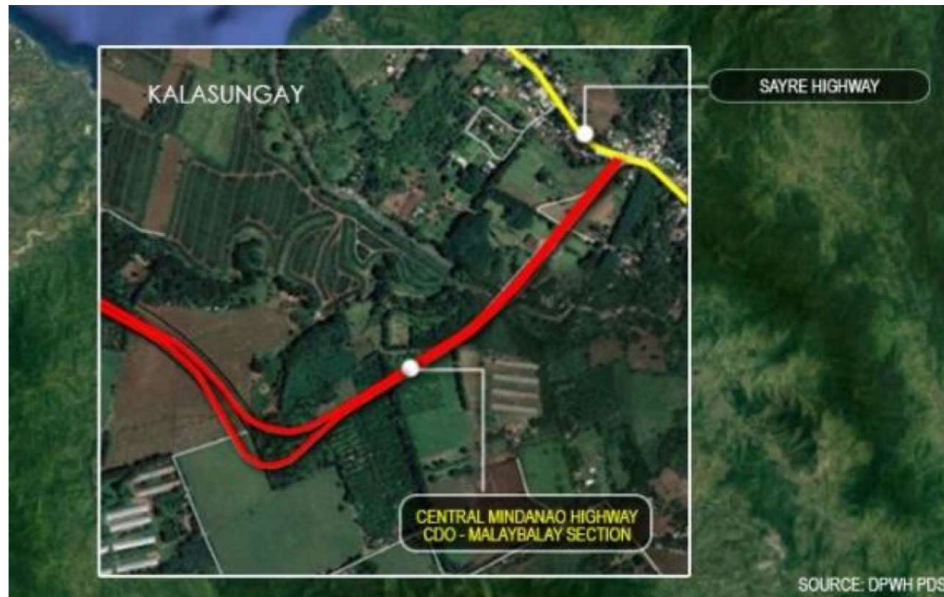
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Impalutao Area Interchange



Poblacion-Impasug-ong Area Interchange



Kalasungay Area Interchange

NEIGHBORHOOD DATA

The properties are located in an area where land development is of mixed residential and agricultural use.

The town proper of Tagoloan, Cagayan de Oro City, Manolo Fortich, Impasug-ong, Sumilao and Malaybalay City serve the immediate marketing and shopping needs of the residents in the project affected areas. These are accessible by public transport from the Butuan-Cagayan de Oro-Iligan Road and Sayre Highway. Other community centers like the post office, public markets, churches/chapels, hospitals/clinics and public and private schools are also accessible from the said thoroughfares.

COMMUNITY FACILITIES AND UTILITIES

Electric power, water supply and telecommunication facilities are available at the inhabited portions of the sites.

Public transportation connecting to various sections of the Provinces of Misamis Oriental and Bukidnon is available along the Butuan-Cagayan de Oro-Iligan Road and Sayre Highway where the proposed project either intersects or connects with. Street lights, garbage collection, foot and mobile patrols of the Philippine National Police Force, and other community facilities and utilities are maintained by the local governments.

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAND DATA

The affected agricultural land consists of about four hundred five (405) lots, with a total affected land area of 3,634,350 square meters, more or less, described as follows:

Province	City/Municipality	Barangay	Road Frontage	Classification/ Land Use	No. of Affected Lots	Affected Area (sq.m.)
Misamis Oriental	Tagoloan	Casinglot	Barangay Road	Agricultural	3	37,812
Misamis Oriental	Tagoloan	Casinglot	Interior	Agricultural	1	230
Misamis Oriental	Tagoloan	Casinglot	National Highway	Agricultural	1	139,755
Misamis Oriental	Tagoloan	Natumolan	Barangay Road	Agricultural	8	83,161
Misamis Oriental	Tagoloan	Natumolan	Interior	Agricultural	6	104,313
Misamis Oriental	Tagoloan	Natumolan	Napocor Road	Agricultural	4	4,154
Misamis Oriental	City of Cagayan De Oro	Balubal	Interior	Agricultural	48	165,263
Misamis Oriental	City of Cagayan De Oro	Puerto	Dirt Road	Agricultural	1	8,597
Misamis Oriental	City of Cagayan De Oro	Puerto	Interior	Agricultural	2	6,237
Misamis Oriental	City of Cagayan De Oro	Puerto	Sayre Highway	Agricultural	6	48,896
Bukidnon	Manolo Fortich	Alae	Dirt Road	Agricultural	9	109,336
Bukidnon	Manolo Fortich	Alae	Interior	Agricultural	3	12,820
Bukidnon	Manolo Fortich	Alae	Provincial Road	Agricultural	5	84,235
Bukidnon	Manolo Fortich	Damilag	Dirt Road	Agricultural	1	943
Bukidnon	Manolo Fortich	Diclum	Dirt Road	Agricultural	4	115,639
Bukidnon	Manolo Fortich	Diclum	Interior	Agricultural	4	20,052
Bukidnon	Manolo Fortich	Lunocan	Dirt Road	Agricultural	2	10,624
Bukidnon	Manolo Fortich	Mambatangan	Barangay Road	Agricultural	2	16,456
Bukidnon	Manolo Fortich	Mambatangan	Dirt Road	Agricultural	20	201,886
Bukidnon	Manolo Fortich	Mambatangan	Interior	Agricultural	14	172,415
Bukidnon	Manolo Fortich	San Miguel	Dirt Road	Agricultural	14	316,931
Bukidnon	Manolo Fortich	San Miguel	Interior	Agricultural	5	21,939
Bukidnon	Manolo Fortich	Sankan	Dirt Road	Agricultural	1	27,481
Bukidnon	Manolo Fortich	Sankan	Interior	Agricultural	8	74,753
Bukidnon	Manolo Fortich	Ticala	Dirt Road	Agricultural	6	29,977
Bukidnon	Manolo Fortich	Ticala	Interior	Agricultural	31	113,753
Bukidnon	Sumilao	Poblacion	Dirt Road	Agricultural	10	125,880
Bukidnon	Sumilao	Poblacion	Interior	Agricultural	4	57,137
Bukidnon	Sumilao	Poblacion	Sumilao Road	Agricultural	2	34,259
Bukidnon	Sumilao	Vista Villa	Barangay Road	Agricultural	4	35,227
Bukidnon	Sumilao	Vista Villa	Dirt Road	Agricultural	20	231,996
Bukidnon	Sumilao	Vista Villa	Interior	Agricultural	4	51,585
Bukidnon	Impasug-Ong	Capitan Bayong	Dirt Road	Agricultural	14	89,791
Bukidnon	Impasug-Ong	Capitan Bayong	Interior	Agricultural	7	29,830
Bukidnon	Impasug-Ong	Cawayan	Interior	Agricultural	2	52,005
Bukidnon	Impasug-Ong	Impalutao	Dirt Road	Agricultural	16	21,321
Bukidnon	Impasug-Ong	Impalutao	Interior	Agricultural	13	140,220
Bukidnon	Impasug-Ong	Poblacion	Dirt Road	Agricultural	7	40,412
Bukidnon	Impasug-Ong	Poblacion	Intavas Road	Agricultural	11	49,897
Bukidnon	Impasug-Ong	Poblacion	Interior	Agricultural	12	66,080
Bukidnon	Impasug-Ong	Poblacion (San Juan)	Interior	Agricultural	2	17,325
Bukidnon	City of Malaybalay	Dalawangan	Dirt Road	Agricultural	10	86,621
Bukidnon	City of Malaybalay	Dalawangan	Interior	Agricultural	5	20,017
Bukidnon	City of Malaybalay	Dalawangan	Sayre Highway	Agricultural	2	60,337
Bukidnon	City of Malaybalay	Kalasungay	Dirt Road	Agricultural	18	157,582
Bukidnon	City of Malaybalay	Kalasungay	Interior	Agricultural	18	176,948
Bukidnon	City of Malaybalay	Kalasungay	Provincial Road	Agricultural	5	72,652
Bukidnon	City of Malaybalay	Patpat	Interior	Agricultural	10	90,070
Total					405	3,634,350

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Other Affected Areas (Canyon, Creek, River and Roads)

Province	City/Municipality	Barangay	Classification/ Land Use & Affected Area (sq.m.)			
			Canyon	Creek	River	Road
Misamis Oriental	Tagoloan	Casinglot	-	-	-	1,280
Misamis Oriental	City of Cagayan De Oro	Puerto	-	-	-	1,226
Misamis Oriental	Manolo Fortich	Diclum	-	-	-	723
Misamis Oriental	Manolo Fortich	San Miguel	-	1,596	-	-
Misamis Oriental	Manolo Fortich	San Miguel	-	-	-	899
Misamis Oriental	Manolo Fortich	Sankan	-	-	21,373	-
Misamis Oriental	Manolo Fortich	Ticala	-	-	16,272	-
Misamis Oriental	Sumilao	Poblacion	-	7,785	62,789	6,138
Misamis Oriental	Sumilao	Poblacion	26,853	-	-	-
Misamis Oriental	Sumilao	Vista Villa	-	-	19,245	14,374
Misamis Oriental	Sumilao	Vista Villa	-	-	-	1,192
Misamis Oriental	Impasug-Ong	Capitan Bayong	-	26,551	-	1,768
Misamis Oriental	Impasug-Ong	Impalutao	-	10,858	-	-
Misamis Oriental	Impasug-Ong	La Fortuna	-	-	17,387	-
Misamis Oriental	Impasug-Ong	Poblacion	-	959	15,580	3,947
Bukidnon	City of Malaybalay	Dalawangan	-	25,058	-	6,813
Bukidnon	City of Malaybalay	Kalasungay	-	-	-	2,173
Bukidnon	City of Malaybalay	Patpat	-	16,611	-	-
Total			26,853	89,418	152,646	40,533

HIGHEST AND BEST USE

Based upon an analysis of the prevailing land usage in the neighborhood and of the property itself, we are of the opinion that the land utilization as specified in the valuation portion of this report would represent the highest and best use of the property.

Highest and Best Use is defined as the most probable use of a property which is physically possible, appropriately justified, legally permissible, financially feasible, and which results in the highest and best use of the property being valued. (*International Valuation Standards 8th Edition, 2007, Concepts Fundamental to GAVP, Paragraph 6.3*)

VALUATION

As provided in Section 5 of Republic Act No. 10752, an act facilitating the acquisition of right-of-way site or location for National Government Infrastructure Project, the implementing agency may offer to acquire, through negotiated sale, the right-of-way site or location for national government infrastructure project, under the following rules:

The implementing agency shall offer to the property owner concerned, as compensation price, the sum of:

1. The current market value of the land;
2. The replacement cost of structures and improvements therein; and
3. The current market value of crops and trees therein.

Just Compensation of Affected Lots

At the outset, the subject property is identified as the area affected by the right-of-way of the proposed road project and, as such; it is an easement (right-of-way) valuation which conforms to a highway taking.

In highway takings, the whole or part of the owner's property can be subject to a just compensation. The amount of just compensation is the market value of the owner's property partly taken and, if any, the damage to the remainder of this property, known as severance damage. The amount of just compensation is equivalent to the *market value* of the property before the taking, less the *market value* of the retained area after the taking. The market value of the land was estimated by using the *Market Approach*.

The market value of the land was estimated by using the *Market Approach*. The ***Market Approach*** provides an indication of value by comparing the asset with identical or comparable (that is similar) assets for which price information is available. (*International Valuation Standards 2017, IVS 105, Valuation Approaches and Methods, Paragraph 20.1*)

Under this approach, the first step is to consider the prices for transactions of identical or similar assets that have occurred recently in the market. If few recent transactions have occurred, it may be also appropriate to consider the prices of identical or similar assets that are listed or offered for sale provided the relevance of this information is clearly established and critically analysed.

Severance Damage is defined as the decrease in market value of the remaining property of an owner caused by the taking of the part of his property. In the absence of a parcellary survey or lots plans, it is assumed that there is no severance damage to the remainder of the land if partly affected.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Land Value

For purposes of comparison, the following market data may be considered sufficient to provide a reasonable indication of value.

A. Listings

1. Currently, a property having an area of *1,497,512 square meters*, more or less, located *along the National Highway, within Barangay Casinglot, Tagoloan, Misamis Oriental* is offered for sale by the *Pinnacle Real Estate Consulting Service, Inc.* at an asking price of **Php2,538 per square meter**.
2. Currently, a property having an area of *23,900 square meters*, more or less, located *along the road, within Barangay Poblacion, Tagoloan, Misamis Oriental* is offered for sale by *Realtor Mitch* at an asking price of **Php5,000 per square meter**.
3. Currently, a property having an area of *19,631 square meters*, more or less, located *along the Barangay Road, within Tagoloan, Misamis Oriental* is offered for sale through the internet at *dotproperty.com.ph* at an asking price of **Php2,800 per square meter**.
4. Currently, a property having an area of *3,000 square meters*, more or less, located *along the Barangay Road, within Barangay Santa Cruz, Tagoloan, Misamis Oriental* is offered for sale through the internet at *dotproperty.com.ph* at an asking price of **Php2,500 per square meter**.
5. Currently, a property having an area of *365 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Ms. Vanessa Bado Dalde* at an asking price of **Php5,175 per square meter**.
6. Currently, a property having an area of *18,067 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Wilfredo Hero* at an asking price of **Php3,500 per square meter**.
7. Currently, a property having an area of *750 square meters*, more or less, located *along the road, within Barangay Puerto, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Jhungen Salvo* at an asking price of **Php3,333 per square meter**.
8. Currently, a property having an area of *600 square meters*, more or less, located *along the road, within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Ms. Vanessa Bado Dalde* at an asking price of **Php2,167 per square meter**.
9. Currently, a property having an area of *4,546 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php1,100 per square meter**.
10. Currently, a property having an area of *75,000 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Paul Monsanto* at an asking price of **Php800 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

11. Currently, a property having an area of *19,076 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php800 per square meter**.
12. Currently, a property having an area of *11,662 square meters*, more or less, located *within Barangay Balubal, Cagayan de Oro City, Misamis Oriental* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php800 per square meter**.
13. Currently, a property having an area of *500 square meters*, more or less, located *within Barangay Dansolihon, Cagayan de Oro City, Misamis Oriental* is offered for sale by *Mr. Alexis Daaca* at an asking price of **Php700 per square meter**.
14. Currently, a property having an area of *13,388 square meters*, more or less, located *along the Barangay Road, within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Mark Mary* at an asking price of **Php1,500 per square meter**.
15. Currently, a property having an area of *885 square meters*, more or less, located *along the Barangay Road, within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Vanessa Baldo Dalde* at an asking price of **Php1,017 per square meter**.
16. Currently, a property having an area of *7,001 square meters*, more or less, located *within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Edgar Tan* at an asking price of **Php857 per square meter**.
17. Currently, a property having an area of *100 square meters*, more or less, located *within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Alvin Asesor* at an asking price of **Php1,300 per square meter**.
18. Currently, a property having an area of *85,000 square meters*, more or less, located *along the road, within Barangay Alae, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Michael Stephen Lobido* at an asking price of **Php1,118 per square meter**.
19. Currently, a property having an area of *45,000 square meters*, more or less, located *along the road, within Barangay Lunocan, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php240 per square meter**.
20. Currently, a property having an area of *136,813 square meters*, more or less, located *along the road, within Barangay San Miguel, Manolo Fortich, Bukidnon* is offered for sale by through the internet at *dotproperty.com.ph* at an asking price of **Php400 per square meter**.
21. Currently, a property having an area of *55,000 square meters*, more or less, located *within Barangay San Miguel, Manolo Fortich, Bukidnon* is offered for sale by through the *Cagayan de Oro Real Estate* at an asking price of **Php350 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

22. Currently, a property having an area of *164,664 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Vicente Pestano Jr.* at an asking price of **Php1,500 per square meter**.
23. Currently, a property having an area of *65,865 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php1,500 per square meter**.
24. Currently, a property having an area of *32,933 square meters*, more or less, located *along the road, within Barangay Damilag, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Vanessa Baldo Dalde* at an asking price of **Php1,488 per square meter**.
25. Currently, a property having an area of *42,932 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Josephine Joy Oco* at an asking price of **Php233 per square meter**.
26. Currently, a property having an area of *3,100 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Alvin Asesor* at an asking price of **Php1,600 per square meter**.
27. Currently, a property having an area of *28,000 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Karen Melgo* at an asking price of **Php428 per square meter**.
28. Currently, a property having an area of *67,000 square meters*, more or less, located *along the road, within Barangay Diclum, Manolo Fortich, Bukidnon* is offered for sale through the internet at an asking price of **Php130 per square meter**.
29. Currently, a property having an area of *10,000 square meters*, more or less, located *within Barangay Sankan, Manolo Fortich, Bukidnon* is offered for sale through the internet at an asking price of **Php120 per square meter**.
30. Currently, a property having an area of *95,000 square meters*, more or less, located *within Barangay Ticala, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Janeth Viernes* at an asking price of **Php100 per square meter**.
31. Currently, a property having an area of *47,111 square meters*, more or less, located *within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by the *Sean Kirsten Realty* at an asking price of **Php500 per square meter**.
32. Currently, a property having an area of *5,315 square meters*, more or less, located *within Barangay Mambatangan, Manolo Fortich, Bukidnon* is offered for sale by the *My Saving Grace Realty and Development Corporation* at an asking price of **Php440 per square meter**.
33. Currently, a property having an area of *35,213 square meters*, more or less, located *along the road, within Barangay Santo Niño, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Ernesto Gogo* at an asking price of **Php350 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

34. Currently, a property having an area of *20,000 square meters*, more or less, located *along the road, within Barangay Santo Niño, Manolo Fortich, Bukidnon* is offered for sale by *Mr. Joseph Garbo* at an asking price of **Php350 per square meter**.
35. Currently, a property having an area of *700,000 square meters*, more or less, located *within Sitio Minlaras, Barangay Dalirig, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php40 per square meter**.
36. Currently, a property having an area of *51,642 square meters*, more or less, located *within Sitio Minlaras, Barangay Dalirig, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php50 per square meter**.
37. Currently, a property having an area of *56,000 square meters*, more or less, located *within Barangay Lingion, Manolo Fortich, Bukidnon* is offered for sale by *Ms. Karen Mae Galario* at an asking price of **Php250 per square meter**.
38. Currently, a property having an area of *60,503 square meters*, more or less, located *within Sumilao, Bukidnon* is offered for sale through the internet at *www.homes.waa2.ph* at an asking price of **Php269 per square meter**.
39. Currently, a property having an area of *190,000 square meters*, more or less, located *within Barangay San Vicente, Sumilao, Bukidnon* is offered for sale by *Ms. Ellen Baluran* at an asking price of **Php200 per square meter**.
40. Currently, a property having an area of *19,646 square meters*, more or less, located *3kilometers from the highway, within Sumilao, Bukidnon* is offered for sale by *Ms. Ellen Baluran* at an asking price of **Php200 per square meter**.
41. Currently, a property having an area of *19,000 square meters*, more or less, located *within Sumilao, Bukidnon* is offered for sale through the internet at *www.homes.waa2.ph* at an asking price of **Php200 per square meter**.
42. Currently, a property having an area of *30,785 square meters*, more or less, located *within Barangay Pontian, Sumilao, Bukidnon* is offered for sale by *Mr. Jun Aragon* at an asking price of **Php35 per square meter**.
43. Currently, a property having an area of *59,606 square meters*, more or less, located *along Sayre Highway, within Barangay Poblacion, Impasug-ong, Bukidnon* is offered for sale by *Mr. Daniel Cabaña* at an asking price of **Php1,594 per square meter**.
44. Currently, a property having an area of *62,182 square meters*, more or less, located *along the road, within Impasug-ong, Bukidnon* is offered for sale by *Ms. Jo Santillan* at an asking price of **Php354 per square meter**.
45. Currently, a property having an area of *13,200 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale through the internet at an asking price of **Php300 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

46. Currently, a property having an area of *205,044 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale by *Ms. Shirley Chio* at an asking price of **Php122 per square meter**.
47. Currently, a property having an area of *40,000 square meters*, more or less, located *within Impasug-ong, Bukidnon* is offered for sale by *Mr. Junelitho Daing* at an asking price of **Php250 per square meter**.
48. Currently, a property having an area of *50,097 square meters*, more or less, located *within Barangay Kibenton, Impasug-ong, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php8 per square meter**.
49. Currently, a property having an area of *1,380,000 square meters*, more or less, located *along the National Road, within Malaybalay City, Bukidnon* is offered for sale by *Mr. Renren Gabas* at an asking price of **Php700 per square meter**.
50. Currently, a property having an area of *30,001 square meters*, more or less, located *along the road, within Barangay Casisang, Malaybalay City, Bukidnon* is offered for sale by *Ms. Janice Mae Momo* at an asking price of **Php150 per square meter**.
51. Currently, a property having an area of *35,000 square meters*, more or less, located *within Barangay Imbayao, Malaybalay City, Bukidnon* is offered for sale by *Ms. Lovely Grace Jemenia* at an asking price of **Php71.43 per square meter**.
52. Currently, a property having an area of *51,642 square meters*, more or less, located *within Malaybalay City, Bukidnon* is offered for sale by *My Saving Grace Realty and Development Corporation* at an asking price of **Php50 per square meter**.
53. Currently, a property having an area of *14,235 square meters*, more or less, located *within Barangay Silae, Malaybalay City, Bukidnon* is offered for sale by *My Saving Grace Realty and Development Corporation* at an asking price of **Php50 per square meter**.
54. Currently, a property having an area of *300,000 square meters*, more or less, located *within Barangay Managok, Malaybalay City, Bukidnon* is offered for sale by the *Development Bank of the Philippines* at an asking price of **Php27.50 per square meter**.
55. Currently, a property having an area of *28,000 square meters*, more or less, located *near the highway, within Barangay Canayan, Malaybalay City, Bukidnon* is offered for sale by the *Bukidnon DCP Real Estate* at an asking price of **Php20 per square meter**.
56. Currently, a property having an area of *36,600 square meters*, more or less, located *within Barangay Capt. Angel, Malaybalay City, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php19.13 per square meter**.
57. Currently, a property having an area of *36,648 square meters*, more or less, located *within Barangay Maligaya, Malaybalay City, Bukidnon* is offered for sale by the *Mindanao Consolidated Cooperative Bank* at an asking price of **Php13.64 per square meter**.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

B. Government Assessment

Current BIR Zonal Values of Real Properties in the Municipality of Tagoloan and Cagayan de Oro City, Province of Misamis Oriental effective as of March 28, 2019 are as follows:

City/Municipality	Barangay	Section	Street Name/ Subdivision	Vicinity	Classi- fication	4 th Revision Zonal Value (Php/Sq.m.)
CAGAYAN DE ORO	42 - PUERTO	1	ALONG HIGHWAY		RR	6,300.00
					CR	7,800.00
			ALONG PUERTO MARKET		CR	7,300.00
					RR	5,850.00
			ALL OTHER STREETS		CR	1,800.00
					RR	1,800.00
					A50	125.00
		2	ALONG HIGHWAY		RR	4,850.00
					CR	6,700.00
			PROVINCIAL ROAD TO BUKIDNON		CR	5,350.00
					RR	3,900.00
			ALL OTHER STREETS		CR	1,155.00
					RR	905.00
					A50	130.00
		3	ALONG NATIONAL HIGHWAY TO BUKIDNON		CR	3,200.00
					RR	1,900.00
					A50	82.00
			ALL OTHER STREETS		CR	1,155.00
					RR	905.00
				INTERIO R	A50	82.00
		4 to 6	ALONG NATIONAL HIGHWAY		CR	1,150.00
					RR	820.00
			ALL OTHER STREETS		CR	345.00
					RR	245.00
				ALONG THE ROAD	A50	116.00
				INTERIO R	A50	116.00
		7	ALONG NATIONAL HIGHWAY		CR	1,050.00
					RR	685.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Section	Street Name/ Subdivision	Vicinity	Classi- fication	4 th Revision Zonal Value (Php/Sq.m.)
			ALL OTHER STREETS		CR	525.00
					RR	330.00
					A50	185.00
		8	ALONG NATIONAL HIGHWAY		CR	815.00
					RR	650.00
			ALL OTHER STREETS		CR	410.00
					RR	305.00
					A50	119.00
				ALONG THE ROAD	A50	119.00
		9	PUERTO HEIGHTS		RR	4,000.00
			ALL OTHER STREETS		CR	1,225.00
					RR	270.00
					A50	125.00
			JMA SUBDIVISION/F ATIMA VILLAGE		RR	3,250.00
CAGAYAN DE ORO	44 - BALUBAL	1	ALL STREETS		RR	255.00
					A50	83.00
		2 to 5	ALL OTHER STREETS		CR	1,800.00
					RR	330.00
					A50	83.00
TAGOLOAN	CASINGLOT		CASINGLOT NATL HIGHWAY	SECTION 1-4, 6, 7, 10-12, 15	CR	5,600.00
					RR	2,530.00
			CENTRO CASINGLOT	SECTION 1,4,5	RR	2,350.00
			MALAIBA	SECTION 11, 13, 14	RR	1,900.00
			NATIONAL HIGHWAY	SECTION 1-4	I	5,545.00
			SITIO MALAIBA	SECTION 5-8	A4	940.00
				SECTION 13, 14	A12	106.00
					A16	103.00
			SUNTINGON	SECTION 17-20	RR	1,900.00
					A4	94.00
			VILLA ROSARIO SUBD.	SECTION 3, 8-11	RR	2,100.00
			SAN AGUSTIN VILLAGE	SECTION 006, 007	RR	2,100.00
				All lots	A50- Piggery	410.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Section	Street Name/ Subdivision	Vicinity	Classi- fication	4 th Revision Zonal Value (Php/Sq.m.)
				All lots	A50- Poultry	410.00
			PHIVIDECE ESTATE	ALL LOTS	I	3,975.00
					CR	4,200.00
					RR	2,250.00
TAGOLOAN	NATUMOLAN		CENTRO NATUMOLAN	SECTION 8-13	RR	1,400.00
				SECTION 6, 10, 14	I	2,275.00
					A4	285.00
					A14	165.00
					A16	165.00
			MALAIBA	SECTION 17-19	RR	1,900.00
					A4	93.00
					A12	93.00
					A16	96.00
			SITIO MALAIBA	SECTION 7-8	RR	1,300.00
			MARIBOJOC	SECTION 7	RR	1,300.00
			OLD NATIONAL HIGHWAY- NATUMOLAN	SECTION 1-4, SECTION 19, 26, 27	RR	1,800.00
					I	2,515.00
					CR	2,875.00
			SITIO EL MUNDO	SECTION 5, SECTION 21-32	RR	1,245.00
					CR	2,065.00
			SITIO INABLAYAN, EL SALVADOR	SECTION 15-17	I	2,040.00
					A4	93.00
					A12	93.00
					A16	96.00
				ALL LOTS	A50- poultry	365.00
				ALL LOTS	A50- piggery	365.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Current BIR Zonal Values of Real Properties in the Municipalities of Impasug-ong and Manolo Fortich, Malaybalay City and Sumilao, Province of Bukidnon effective as of September 2, 2022 are as follows:

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
MANOLO FORTICH	TANKULAN (POBLACION)	NATIONAL HIGHWAY	FROM NEW GOVERNMENT CENTER AND MUNSUD ST.	CR	10,000.00
				I	8,000.00
				X	7,000.00
				RR	6,000.00
			INTERIOR	RR	5,000.00
			OUTSIDE NEW GOVERNMENT CENTER AND MUNSUD ST.	CR	8,000.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
			ALONG NATIONAL HIGHWAY	CL	1,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00
				A7	35.00
				A9	60.00
				A10	50.00
				A11	60.00
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	150.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A26	50.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
		NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A50	30.00
		BONIFACIO ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		A. MABINI ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		AMADO DITONA ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		BURGOS ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		CAPT. RAMON ONAHON ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		CERILLO DUMOTAN ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		COL. AMADO DUMLAO ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		DR. JOSE RIZAL ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		E. JACINTO ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		GOMEZ ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		JUDGE CORDOVEZ ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		LEOPOLDO BINAURO ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		MUNSOD ST		CR	7,500.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		E. AGUINALDO ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		M. ROXAS ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		ANTONIO LUNA ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

24

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
		CARLOS P. GARCIA ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		COL. J. TANCO ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		JOSE LAUREL ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		MACAPAGAL ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		NINOY AQUINO ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		R. MAGSAYSAY ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		MARCELO DEL PILAR ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		TEOFILO MADULA ST		CR	6,000.00
				RR	4,000.00
			INTERIOR	RR	3,000.00
		DUMLAO SUBD		RR	6,000.00
		ESCALERA SUBD		RR	6,000.00
		LOURDESVILLE SUBD		RR	6,000.00
		REGGIE REALTY SUBD		RR	6,000.00
		ST JOSEPH SUBD		RR	6,000.00
		ALL OTHER STREET	ALONG THE ROAD	RR	3,000.00
			INTERIOR	RR	2,500.00
				APD	2,000.00
MANOLO FORTICH	ALAE	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	10,000.00
				I	8,000.00
				X	7,000.00
				RR	6,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00
				A7	35.00
				A9	60.00
				A10	50.00
				A11	60.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	150.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A26	50.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
				A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00
				A50	30.00
			INTERIOR	RR	5,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	7,000.00
				RR	5,000.00
				A1	140.00
				A2	110.00
				A3	75.00
				A4	90.00
				A5	65.00
				A6	90.00
				A7	30.00
				A9	55.00
				A10	45.00
				A11	55.00
				A12	55.00
				A13	130.00
				A14	90.00
				A15	45.00
				A16	90.00
				A17	110.00
				A18	70.00
				A19	70.00
				A22	75.00
				A23	75.00
				A25	75.00
				A26	45.00
				A30	35.00
				A35	55.00
				A36	45.00
				A37	55.00
				A43	45.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A44	55.00
				A47	70.00
				A48	90.00
				A50	28.00
		PROVINCIAL ROAD	INTERIOR	RR	4,000.00
				A1	120.00
				A2	100.00
				A3	70.00
				A4	80.00
				A5	60.00
				A6	80.00
				A7	28.00
				A10	40.00
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
		ARTAJIO REALTY DEV'T CORP		RR	6,000.00
		ALL OTHER STREET	ALONG THE ROAD	RR	4,000.00
			INTERIOR	RR	3,000.00
MANOLO FORTICH	DAMILAG	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	8,000.00
				I	7,000.00
				X	6,500.00
				RR	6,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00
				A7	35.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A9	60.00
				A10	50.00
				A11	60.00
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A26	50.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
				A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00
				A50	30.00
			INTERIOR	RR	5,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	7,000.00
				RR	5,000.00
				A1	140.00
				A2	110.00
				A3	75.00
				A4	90.00
				A5	65.00
				A6	90.00
				A7	30.00
				A9	55.00
				A10	45.00
				A11	55.00
				A12	55.00
				A13	130.00
				A14	90.00
				A15	45.00
				A16	90.00
				A17	110.00
				A18	70.00
				A19	70.00
				A22	75.00
				A23	75.00
				A25	75.00
				A26	45.00
				A30	35.00
				A35	55.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A36	45.00
				A37	55.00
				A43	45.00
				A44	55.00
				A47	70.00
				A48	90.00
				A50	28.00
		PROVINCIAL ROAD	INTERIOR	RR	4,000.00
				A1	120.00
				A2	100.00
				A3	70.00
				A4	80.00
		PROVINCIAL ROAD	INTERIOR	A5	60.00
				A6	80.00
				A7	28.00
				A10	40.00
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
		DAMILAG HIGHWAY	DAMILAG HIGHWAY TO ALAE	CR	7,000.00
		(PHILIP'S ROAD)		RR	5,000.00
			INTERIOR	RR	4,000.00
		MENZI ORCHARD RESIDENCES SUBD		RR	7,000.00
		BELEN EXECUTIVE HOMES		RR	6,000.00
		DEARBBC SUBD.		RR	6,000.00
		JOSEPHINE HOMES		RR	6,000.00
		PINEAPPLE COUNTRY HOMES I		RR	6,000.00
		ALL OTHER STREET	ALONG THE STREET	RR	4,000.00
			INTERIOR	RR	3,000.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

29

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
MANOLO FORTICH	DICLUM	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	8,000.00
				I	7,000.00
				X	6,500.00
				RR	6,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00
				A7	35.00
				A9	60.00
				A10	50.00
				A11	60.00
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A26	50.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
				A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00
				A50	30.00
			INTERIOR	RR	5,000.00
MANOLO FORTICH	SANKANAN	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	7,000.00
				I	6,000.00
				X	5,500.00
				RR	5,000.00
				A1	120.00
				A2	100.00
				A3	70.00
				A4	80.00
				A5	60.00
				A6	80.00
				A7	28.00
				A9	50.00
				A10	40.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
			INTERIOR	RR	4,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	6,000.00
				RR	4,000.00
				A1	115.00
				A2	90.00
				A3	55.00
				A4	70.00
				A5	55.00
				A6	70.00
				A7	24.00
				A9	45.00
				A10	35.00
				A11	45.00
				A12	45.00
				A13	90.00
				A14	70.00
				A15	35.00
				A16	70.00
				A17	90.00
				A18	55.00
				A19	55.00
				A22	65.00
				A23	65.00
				A25	65.00
				A26	35.00
				A30	25.00
				A35	45.00
				A36	35.00
				A37	45.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A43	35.00
				A44	45.00
				A47	55.00
				A48	70.00
				A50	23.00
		PROVINCIAL ROAD	INTERIOR	RR	3,000.00
				A1	100.00
				A2	80.00
				A3	50.00
				A4	60.00
				A5	50.00
				A6	60.00
				A7	19.00
				A10	30.00
				A11	40.00
				A12	40.00
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A22	60.00
				A23	60.00
				A25	60.00
				A26	30.00
				A30	20.00
				A35	40.00
				A36	30.00
				A37	40.00
				A43	30.00
				A44	40.00
				A47	50.00
				A48	60.00
				A50	18.00
		ALL OTHER STREET	ALONG THE ROAD	RR	3,000.00
			INTERIOR	RR	2,500.00
MANOLO FORTICH	TICALA	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	7,000.00
				I	6,000.00
				X	5,500.00
				RR	5,000.00
				A1	120.00
				A2	100.00
				A3	70.00
				A4	80.00
				A5	60.00
				A6	80.00
				A7	28.00
				A9	50.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A10	40.00
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
			INTERIOR	RR	4,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	6,000.00
				RR	4,000.00
				A1	115.00
				A2	90.00
				A3	55.00
				A4	70.00
				A5	55.00
				A6	70.00
				A7	24.00
				A9	45.00
				A10	35.00
				A11	45.00
				A12	45.00
				A13	90.00
				A14	70.00
				A15	35.00
				A16	70.00
				A17	90.00
				A18	55.00
				A19	55.00
				A22	65.00
				A23	65.00
				A25	65.00
				A26	35.00
				A30	25.00
				A35	45.00
				A36	35.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A37	45.00
				A43	35.00
				A44	45.00
				A47	55.00
				A48	70.00
				A50	23.00
		PROVINCIAL ROAD	INTERIOR	RR	3,000.00
				A1	100.00
				A2	80.00
				A3	50.00
				A4	60.00
				A5	50.00
				A6	60.00
				A7	19.00
				A10	30.00
				A11	40.00
				A12	40.00
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A22	60.00
				A23	60.00
				A25	60.00
				A26	30.00
				A30	20.00
				A35	40.00
				A36	30.00
				A37	40.00
				A43	30.00
				A44	40.00
				A47	50.00
				A48	60.00
				A50	18.00
		ALL OTHER STREET	ALONG THE ROAD	RR	3,000.00
			INTERIOR	RR	2,500.00
MANOLO FORTICH	LUNOCAN	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	8,000.00
				I	7,000.00
				X	6,500.00
				RR	6,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00
				A7	35.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A9	60.00
				A10	50.00
				A11	60.00
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A26	50.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
				A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00
				A50	30.00
			INTERIOR	RR	5,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	7,000.00
				RR	5,000.00
				A1	140.00
				A2	110.00
				A3	75.00
				A4	90.00
				A5	65.00
				A6	90.00
				A7	30.00
				A9	55.00
				A10	45.00
				A11	55.00
				A12	55.00
				A13	130.00
				A14	90.00
				A15	45.00
				A16	90.00
				A17	110.00
				A18	70.00
				A19	70.00
				A22	75.00
				A23	75.00
				A25	75.00
				A26	45.00
				A30	35.00
				A35	55.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A36	45.00
				A37	55.00
				A43	45.00
				A44	55.00
				A47	70.00
				A48	90.00
				A50	28.00
		PROVINCIAL ROAD	INTERIOR	RR	5,000.00
				A1	120.00
				A2	110.00
				A3	100.00
				A4	70.00
				A5	80.00
				A6	60.00
				A7	28.00
				A10	40.00
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
		ALL OTHER STREET	ALONG THE ROAD	RR	4,000.00
			INTERIOR	RR	3,000.00
MANOLO FORTICH	SAN MIGUEL	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	8,000.00
				I	7,000.00
				X	6,500.00
				RR	6,000.00
				A1	150.00
				A2	120.00
				A3	80.00
				A4	100.00
				A5	70.00
				A6	100.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A7	35.00
				A9	60.00
				A10	50.00
				A11	60.00
				A12	60.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A22	80.00
				A23	80.00
				A25	80.00
				A30	40.00
				A35	60.00
				A36	50.00
				A37	60.00
				A43	50.00
				A44	60.00
				A47	80.00
				A48	100.00
				A50	30.00
			INTERIOR	RR	5,000.00
		PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	7,000.00
				RR	5,000.00
				A1	140.00
				A2	110.00
				A3	75.00
				A4	90.00
				A5	65.00
				A6	90.00
				A7	30.00
				A9	55.00
				A10	45.00
				A11	55.00
				A12	55.00
				A13	130.00
				A14	90.00
				A15	45.00
				A16	90.00
				A17	110.00
				A18	70.00
				A19	70.00
				A22	75.00
				A23	75.00
				A25	75.00
				A26	45.00
				A30	35.00
				A35	55.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A36	45.00
				A37	55.00
				A43	45.00
				A44	55.00
				A47	70.00
				A48	90.00
				A50	28.00
			INTERIOR	RR	5,000.00
			LOTS WITHIN CAWAYANON AREA	CR	7,000.00
				RR	5,000.00
			INTERIOR	RR	4,000.00
		PROVINCIAL ROAD	INTERIOR	A1	120.00
				A2	100.00
				A3	70.00
				A4	80.00
				A5	60.00
				A6	80.00
				A7	28.00
				A10	40.00
				A11	50.00
				A12	50.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A22	70.00
				A23	70.00
				A25	70.00
				A26	40.00
				A30	30.00
				A35	50.00
				A36	40.00
				A37	50.00
				A43	40.00
				A44	50.00
				A47	60.00
				A48	80.00
				A50	25.00
		PINEAPPLE COUNTRY HOMES II		RR	6,000.00
		ALL OTHER STREET	ALONG THE STREET	RR	4,000.00
			INTERIOR	RR	3,000.00
MANOLO FORTICH	ALL BARANGAYS	A50 - Poultry/Piggery	1ST CLASS	A50	400.00
			2ND CLASS	A50	360.00
			3RD CLASS	A50	320.00
			4TH CLASS	A50	280.00
			5TH CLASS	A50	240.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

38

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
SUMILAO	POBLACION	PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	2,000.00
				I	1,650.00
				X	1,350.00
				RR	1,175.00
				A1	120.00
				A2	90.00
				A3	63.00
				A13	75.00
				A14	65.00
				A15	33.00
				A16	60.00
				A36	80.00
				A47	40.00
				A48	30.00
				A49	20.00
				A50	15.00
			INTERIOR	RR	1,100.00
				APD	1,350.00
				GP	650.00
				A1	100.00
				A2	70.00
				A3	50.00
				A13	80.00
				A14	50.00
				A15	30.00
				A16	45.00
				A36	60.00
				A48	25.00
				A49	17.50
				A50	12.50
SUMILAO	VISTA VILLA	PROVINCIAL ROAD	ALONG PROVINCIAL ROAD	CR	1,500.00
				I	1,300.00
				X	1,225.00
				RR	1,000.00
				A1	80.00
				A2	60.00
				A3	40.00
				A13	60.00
				A14	50.00
				A15	25.00
				A16	50.00
				A35	30.00
				A36	30.00
				A47	40.00
				A48	50.00
				A49	15.00
				A50	10.00
			INTERIOR	RR	825.00
				GP	425.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A1	75.00
				A2	50.00
				A3	30.00
				A13	50.00
				A14	40.00
				A15	20.00
				A16	37.50
				A35	25.00
				A36	25.00
				A47	30.00
				A48	40.00
				A49	12.00
				A50	9.00
SUMILAO	ALL BARANGAYS	A50 - Poultry/Piggery	1ST CLASS	A50	400.00
			2ND CLASS	A50	360.00
			3RD CLASS	A50	320.00
			4TH CLASS	A50	280.00
			5TH CLASS	A50	240.00
IMPASUG-ONG	POBLACION	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	2,000.00
				I	1,800.00
				RR	1,500.00
			INTERIOR	RR	1,000.00
			ALONG NATIONAL HIGHWAY	A1	150.00
				A2	120.00
				A3	80.00
				A5	80.00
				A6	100.00
				A11	70.00
				A12	100.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19*	80.00
				A34*	60.00
				A35	60.00
				A37*	60.00
				A47*	80.00
				A48	100.00
				A49	50.00
				A50	40.00
		MUNICIPAL / BARANGAY ROAD	ALONG MUNICIPAL / BARANGAY ROAD	CR	1,800.00
				I	1,500.00
				RR	1,200.00
			INTERIOR	RR	800.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
			ALONG MUNICIPAL / BARANGAY ROAD	A1	120.00
				A2	100.00
				A3	60.00
				A5	60.00
				A6	80.00
				A11	50.00
				A12	80.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A34	50.00
				A35	50.00
				A37	50.00
				A47	60.00
				A48	80.00
				A49	40.00
				A50	30.00
		ALL OTHER STREETS	ALONG THE ROAD	CR	1,500.00
				I	1,000.00
				RR	800.00
			INTERIOR	RR	600.00
				A1	100.00
				A2	80.00
				A3	50.00
				A5	50.00
				A6	60.00
				A11	40.00
				A12	60.00
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A34	40.00
				A35	40.00
				A37	40.00
				A47	50.00
				A48	60.00
				A49	30.00
				A50	25.00
IMPASUG-ONG	CAPITAN BAYONG	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	2,000.00
				I	1,800.00
				RR	1,500.00
			INTERIOR	RR	1,000.00
			ALONG NATIONAL HIGHWAY	A1	150.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

41

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A2	120.00
				A3	80.00
				A5	80.00
				A6	100.00
				A11	70.00
				A12	100.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A34	60.00
				A35	60.00
				A37	60.00
				A47	80.00
				A48	100.00
				A49	50.00
				A50	40.00
		MUNICIPAL / BARANGAY ROAD	ALONG MUNICIPAL / BARANGAY ROAD	CR	1,800.00
				I	1,500.00
				RR	1,200.00
			INTERIOR	RR	800.00
			ALONG MUNICIPAL / BARANGAY ROAD	A1	120.00
				A2	100.00
				A3	60.00
				A5	60.00
				A6	80.00
				A11	50.00
				A12	80.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A34	50.00
				A35	50.00
				A37	50.00
				A47	60.00
				A48	80.00
				A49	40.00
				A50	30.00
		ALL OTHER STREETS	ALONG THE ROAD	CR	1,500.00
				I	1,000.00
				RR	800.00
			INTERIOR	RR	600.00
				A1	100.00
				A2	80.00
				A3	50.00
				A5	50.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A6	60.00
				A11	40.00
				A12	60.00
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A34	40.00
				A35	40.00
				A37	40.00
				A47	50.00
				A48	60.00
				A49	30.00
				A50	25.00
IMPASUG-ONG	IMPALUTAO	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	2,000.00
				I	1,800.00
				RR	1,500.00
			INTERIOR	RR	1,000.00
			ALONG NATIONAL HIGHWAY	A1	150.00
				A2	120.00
				A3	80.00
				A5	80.00
				A6	100.00
				A11	70.00
				A12	100.00
				A13	150.00
				A14	100.00
				A15	50.00
				A16	100.00
				A17	120.00
				A18	80.00
				A19	80.00
				A34	60.00
				A35	60.00
				A37	60.00
				A47	80.00
				A48	100.00
				A49	50.00
				A50	40.00
		MUNICIPAL / BARANGAY ROAD	ALONG MUNICIPAL / BARANGAY ROAD	CR	1,800.00
				I	1,500.00
				RR	1,200.00
			INTERIOR	RR	800.00
			ALONG MUNICIPAL / BARANGAY ROAD	A1	120.00
				A2	100.00
				A3	60.00
				A5	60.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

43

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A6	80.00
				A11	50.00
				A12	80.00
				A13	100.00
				A14	80.00
				A15	40.00
				A16	80.00
				A17	100.00
				A18	60.00
				A19	60.00
				A34	50.00
				A35	50.00
				A37	50.00
				A47	60.00
				A48	80.00
				A49	40.00
				A50	30.00
		ALL OTHER STREETS	ALONG THE ROAD	CR	1,500.00
				I	1,000.00
				RR	800.00
			INTERIOR	RR	600.00
				A1	100.00
				A2	80.00
				A3	50.00
				A5	50.00
				A6	60.00
				A11	40.00
				A12	60.00
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A34	40.00
				A35	40.00
				A37	40.00
				A47	50.00
				A48	60.00
				A49	30.00
				A50	25.00
IMPASUG-ONG	CAWAYAN	MUNICIPAL / BARANGAY ROAD	ALONG MUNICIPAL / BARANGAY ROAD	CR	1,000.00
				I	800.00
				RR	600.00
			INTERIOR	RR	500.00
			ALONG MUNICIPAL / BARANGAY ROAD	A1	100.00
				A2	80.00
				A3	50.00
				A5	50.00
				A6	60.00
				A11	40.00
				A12	60.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A13	80.00
				A14	60.00
				A15	30.00
				A16	60.00
				A17	80.00
				A18	50.00
				A19	50.00
				A34	40.00
				A35	40.00
				A37	40.00
				A47	50.00
				A48	60.00
				A49	30.00
				A50	25.00
		ALL OTHER STREETS	ALONG THE ROAD	CR	800.00
				I	600.00
				RR	500.00
			INTERIOR LOTS	RR	400.00
				A1	80.00
				A2	60.00
				A3	40.00
				A5	40.00
				A6	50.00
				A11	30.00
				A12	50.00
				A13	60.00
				A14	50.00
				A15	25.00
				A16	50.00
				A17	60.00
				A18	40.00
				A19	40.00
				A34	30.00
				A35	30.00
				A37	30.00
				A47	40.00
				A48	50.00
				A49	25.00
				A50	20.00
MALAYBALAY CITY	DALWANGAN	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	7,000.00
				I	5,625.00
				RR	2,917.00
			INTERIOR	RR	2,050.00
			ALONG THE ROAD	A1	141.00
				A2	113.00
				A3	98.00
				A12	83.00
				A13	117.00
				A14	78.00
				A16	67.00
				A17	103.00
				A19	65.00
				A31	190.00
				A35	56.00

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
				A36	45.00
				A37	37.00
				A40	613.00
				A47	55.00
		NATIONAL HIGHWAY	ALONG THE ROAD	A48	63.00
				A49	35.00
				A50	24.00
				A48	63.00
				A49	35.00
				A50	24.00
		ALL OTHER STREETS	ALONG THE ROAD	RR	1,734.00
			INTERIOR	RR	1,190.00
				A50	179.00
			ALONG THE ROAD	A3	82.00
				A12	56.00
				A13	106.00
				A14	69.00
				A16	63.00
				A19	58.00
		ALL OTHER STREETS	ALONG THE ROAD	A31	164.00
				A35	49.00
				A36	39.00
				A37	34.00
				A40	511.00
				A47	51.00
				A48	59.00
				A49	24.00
				A50	18.00
			INTERIOR	A1	107.00
				A2	88.00
				A3	71.00
				A12	55.00
				A13	96.00
				A14	61.00
				A16	59.00
				A17	87.00
				A19	51.00
				A31	138.00
				A35	44.00
				A36	33.00
				A37	30.00
				A40	460.00
				A47	48.00
				A48	54.00
				A49	23.00
				A50	15.00
MALAYBALAY CITY	KALASUNGAY	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	6,070.00
				I	3,500.00
			KALASUNGAY HEALTH CENTER/ ELEMENTARY SCHOOL	X	3,000.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

46

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
			INTERIOR	RR	2,500.00
		ALL OTHER STREETS	ALONG THE ROAD	RR	2,155.00
			INTERIOR	RR	1,458.00
		OKIT SUBDIVISION		RR	2,845.00
		MIDLAND VALLEY HOMES SUBD			2,845.00
		PROVINCIAL GOV'T OF BUK	ALONG THE ROAD	RR	2,478.00
		ALL OTHER STREETS	ALONG THE ROAD	A13	122.00
				A16	80.00
				A17	108.00
				A47	165.00
				A48	68.00
				A49	40.00
				A50	35.00
				I	938.00
		AGYO FARM		A40	7,500.00
		NUEVA VILLA		A40	7,500.00
		PITCHER PLANT RESORT		A40	7,500.00
		RH RANCH		A40	7,500.00
		TOLIBAO FAMILY RESORT		A40	7,500.00
		ALL OTHER RESORTS		A40	6,583.00
MALAYBALAY CITY	PATPAT (LAPU- LAPU)	NATIONAL HIGHWAY	ALONG NATIONAL HIGHWAY	CR	6,689.00
				I	3,500.00
				X	3,500.00
				RR	3,406.00
			INTERIOR	RR	2,661.00
			ALONG NATIONAL HIGHWAY	A1	141.00
				A2	113.00
				A3	98.00
				A12	83.00
				A13	117.00
				A14	78.00
				A16	67.00
				A17	103.00
				A19	65.00
				A31	190.00
				A35	56.00
				A36	45.00
				A37	37.00
				A40	613.00
				A47	55.00
				A48	63.00
				A49	35.00
				A50	24.00
		P & T SUBDIVISION		RR	2,971.00
		ALL OTHER STREETS	ALONG THE ROAD	RR	2,489.00
			INTERIOR	RR	1,279.00

Appraisal Report-Preparatory Survey for Central Mindanao High Standard Highway Construction Project

47

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/ Municipality	Barangay	Street Name/ Subdivision	Vicinity	Classi- fication	3rd Revision Zonal Value (Php/Sq.m.)
		BARANGAY ROAD	ALONG THE ROAD	A1	112.00
				A2	89.00
				A3	82.00
				A12	56.00
				A13	101.00
				A14	64.00
				A16	61.00
				A17	91.00
				A19	53.00
				A31	139.00
				A35	47.00
				A36	34.00
				A37	31.00
				A40	461.00
				A47	49.00
				A48	56.00
				A49	24.00
				A50	15.00

In the appraisal analysis, it is necessary to consider the market reactions between sellers and buyers, since sellers intend to sell their properties at the highest price, while typical prudent buyers would negotiate for the lowest price.

Considering the foregoing and such factors as the property location, desirability, neighborhood, utility, size and the time element involved, the just compensation (based on market value) of the lots to be affected by the right-of-way of the proposed road construction project is presented as follows:

Province	City/Municipality	Barangay	Road Frontage	Classification/ Land Use	No. of Affected Lots	Affected Area (sq.m.)	Just Compensation (Market Value) PhP
Misamis Oriental	Tagoloan	Casinglot	Barangay Road	Agricultural	3	37,812	18,906,000
Misamis Oriental	Tagoloan	Casinglot	Interior	Agricultural	1	230	36,800
Misamis Oriental	Tagoloan	Casinglot	National Highway	Agricultural	1	139,755	209,632,500
Misamis Oriental	Tagoloan	Natumolan	Barangay Road	Agricultural	8	83,161	33,264,400
Misamis Oriental	Tagoloan	Natumolan	Interior	Agricultural	6	104,313	12,517,560
Misamis Oriental	Tagoloan	Natumolan	Napocor Road	Agricultural	4	4,154	1,661,600
Misamis Oriental	City of Cagayan De Oro	Balubal	Interior	Agricultural	48	165,263	26,442,080
Misamis Oriental	City of Cagayan De Oro	Puerto	Dirt Road	Agricultural	1	8,597	4,298,500
Misamis Oriental	City of Cagayan De Oro	Puerto	Interior	Agricultural	2	6,237	1,247,400
Misamis Oriental	City of Cagayan De Oro	Puerto	Sayre Highway	Agricultural	6	48,896	58,675,200

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Province	City/Municipality	Barangay	Road Frontage	Classification/ Land Use	No. of Affected Lots	Affected Area (sq.m.)	Just Compensation (Market Value) PhP
Misamis Oriental	Manolo Fortich	Alae	Dirt Road	Agricultural	9	109,336	13,120,320
Misamis Oriental	Manolo Fortich	Alae	Interior	Agricultural	3	12,820	1,025,600
Misamis Oriental	Manolo Fortich	Alae	Provincial Road	Agricultural	5	84,235	25,270,500
Misamis Oriental	Manolo Fortich	Damilag	Dirt Road	Agricultural	1	943	94,300
Misamis Oriental	Manolo Fortich	Didlum	Dirt Road	Agricultural	4	115,639	11,563,900
Misamis Oriental	Manolo Fortich	Didlum	Interior	Agricultural	4	20,052	1,403,640
Misamis Oriental	Manolo Fortich	Lunocan	Dirt Road	Agricultural	2	10,624	1,062,400
Misamis Oriental	Manolo Fortich	Mambatangan	Barangay Road	Agricultural	2	16,456	9,873,600
Misamis Oriental	Manolo Fortich	Mambatangan	Dirt Road	Agricultural	20	201,886	100,943,000
Misamis Oriental	Manolo Fortich	Mambatangan	Interior	Agricultural	14	172,415	26,660,280
Misamis Oriental	Manolo Fortich	San Miguel	Dirt Road	Agricultural	14	316,931	31,693,100
Misamis Oriental	Manolo Fortich	San Miguel	Interior	Agricultural	5	21,939	1,535,730
Misamis Oriental	Manolo Fortich	Sankan	Dirt Road	Agricultural	1	27,481	2,748,100
Misamis Oriental	Manolo Fortich	Sankan	Interior	Agricultural	8	74,753	5,232,710
Misamis Oriental	Manolo Fortich	Ticala	Dirt Road	Agricultural	6	29,977	2,997,700
Misamis Oriental	Manolo Fortich	Ticala	Interior	Agricultural	31	113,753	7,962,710
Misamis Oriental	Sumilao	Poblacion	Dirt Road	Agricultural	10	125,880	18,882,000
Misamis Oriental	Sumilao	Poblacion	Interior	Agricultural	4	57,137	4,570,960
Misamis Oriental	Sumilao	Poblacion	Interior	Canyon	1	26,853	1,611,180
Misamis Oriental	Sumilao	Poblacion	Sumilao Road	Agricultural	2	34,259	13,703,600
Misamis Oriental	Sumilao	Vista Villa	Barangay Road	Agricultural	4	35,227	3,522,700
Misamis Oriental	Sumilao	Vista Villa	Dirt Road	Agricultural	20	231,996	20,879,640
Misamis Oriental	Sumilao	Vista Villa	Interior	Agricultural	4	51,585	2,148,060
Misamis Oriental	Impasug-ong	Capitan Bayong	Dirt Road	Agricultural	14	89,291	8,036,190
Misamis Oriental	Impasug-ong	Capitan Bayong	Interior	Agricultural	7	29,830	1,789,800
Misamis Oriental	Impasug-ong	Cawayan	Interior	Agricultural	2	52,005	2,600,250
Misamis Oriental	Impasug-ong	Impalutao	Dirt Road	Agricultural	16	21,321	1,705,680
Misamis Oriental	Impasug-ong	Impalutao	Interior	Agricultural	13	140,220	7,011,000
Misamis Oriental	Impasug-ong	Poblacion	Dirt Road	Agricultural	7	40,412	5,399,200
Misamis Oriental	Impasug-ong	Poblacion	Intavas Road	Agricultural	11	49,897	5,987,640
Misamis Oriental	Impasug-ong	Poblacion	Interior	Agricultural	12	66,080	5,180,720
Misamis Oriental	Impasug-ong	San Juan	Interior	Agricultural	2	17,325	1,039,500

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Province	City/Municipality	Barangay	Road Frontage	Classification/ Land Use	No. of Affected Lots	Affected Area (sq.m.)	Just Compensation (Market Value) PhP
Bukidnon	City of Malaybalay	Dalawangan	Dirt Road	Agricultural	10	86,621	25,986,300
Bukidnon	City of Malaybalay	Dalawangan	Interior	Agricultural	5	20,017	1,801,530
Bukidnon	City of Malaybalay	Dalawangan	Sayre Highway	Agricultural	2	60,337	36,202,200
Bukidnon	City of Malaybalay	Kalasungay	Dirt Road	Agricultural	18	157,582	20,485,660
Bukidnon	City of Malaybalay	Kalasungay	Interior	Agricultural	18	176,948	12,386,360
Bukidnon	City of Malaybalay	Kalasungay	Provincial Road	Agricultural	5	72,652	29,060,800
Bukidnon	City of Malaybalay	Patpat	Interior	Agricultural	10	90,070	8,106,300
Total							847,966,900
<i>Note: Please refer to Annex A for the Detailed Compensation for the Affected Land</i>							

ANNEX A – DETAILED JUST COMPENSATION FOR THE AFFECTED LAND

PLEASE REFER TO "APPENDIX 1 - LAND"

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Appendix 3a – RAP Preliminary Cost Estimates for Structures and Improvements

RAP Preliminary Cost Estimates for Structures and Improvements					
City/Municipality	Barangay	Type of Structures/Improvements		Structure No.*	Estimated Replacement Cost of Structures/Improvements
TAGOLOAN	CASINGLOT	BUNK HOUSE	WOOD	2021-L-014	171,261
TAGOLOAN	CASINGLOT	CAGE	SEMI-CONCRETE	2021-L-014-3	
TAGOLOAN	CASINGLOT	POST	CONCRETE	2021-R-022	210,000
TAGOLOAN	CASINGLOT	ELECTRIC POST	STEEL	2022-L-001	135,058
TAGOLOAN	CASINGLOT	ELECTRIC POST	CONCRETE	2022-L-001-2	
TAGOLOAN	CASINGLOT	ELECTRIC POST	WOOD	2022-L-001-3	
TAGOLOAN	CASINGLOT	ELECTRIC POST	WOOD	2022-R-001	30,276
TAGOLOAN	CASINGLOT	FENCE	CONCRETE	2022-R-002	10,800
TAGOLOAN	CASINGLOT	ELECTRIC POST	STEEL	2022-R-003	40,320
TAGOLOAN	NATUMOLAN	HOUSE (UNDER CONSTRUCTION)	CONCRETE	2022-L-002	1,789,338
TAGOLOAN	NATUMOLAN	HOUSE	SEMI-CONCRETE	2022-L-003	200,571
TAGOLOAN	NATUMOLAN	HOUSE	WOOD	2022-L-004	303,522
TAGOLOAN	NATUMOLAN	FENCE	CYCLONE WIRE	2022-L-004-2	
TAGOLOAN	NATUMOLAN	COTTAGE	WOOD	2022-L-005	56,597
TAGOLOAN	NATUMOLAN	HOUSE	WOOD	2022-L-006	138,606
TAGOLOAN	NATUMOLAN	ELECTRIC POST	GALVANIZED STEEL	2022-L-007	62,160
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE (WITH STORE)	LIGHT MATERIALS	2021-L-023	100,077
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	WOOD	2021-L-024	149,673
CITY OF CAGAYAN DE ORO	BALUBAL	CR	LIGHT MATERIALS	2021-L-024-2	
CITY OF CAGAYAN DE ORO	BALUBAL	ELECTRIC POST	CONCRETE	2021-L-025	72,141
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	WOOD	2021-L-026	106,562
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	CONCRETE	2021-L-027	263,611
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	LIGHT MATERIALS	2021-L-028	89,097
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	SEMI-CONCRETE	2021-L-029	220,586
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	SEMI-CONCRETE	2021-L-030	647,394
CITY OF CAGAYAN DE ORO	BALUBAL	KITCHEN	WOOD	2021-L-030-2	
CITY OF CAGAYAN DE ORO	BALUBAL	CAGE	WOOD	2021-L-030-3	
CITY OF CAGAYAN DE ORO	BALUBAL	STOCK HOUSE	WOOD	2021-L-030-4	
CITY OF CAGAYAN DE ORO	BALUBAL	WAREHOUSE	CORRUGATED SHEET	2021-R-033	151,554
CITY OF CAGAYAN DE ORO	BALUBAL	FENCE	CYCLONE WIRE	2021-R-034	28,080
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	WOOD	2021-R-035	88,527
CITY OF CAGAYAN DE ORO	BALUBAL	CR	LIGHT MATERIALS	2021-R-035-3	
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	WOOD	2021-R-036	101,174
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE (UNDER CONSTRUCTION)	WOOD	2021-R-036-2	
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	CONCRETE	2021-R-037	423,000
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE (UNDER CONSTRUCTION)	CONCRETE	2021-R-038	63,302
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	LIGHT MATERIALS	2021-R-039	374,500
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	LIGHT MATERIALS	2021-R-039-2	
CITY OF CAGAYAN DE ORO	BALUBAL	CAGE	SEMI-CONCRETE	2021-R-040	34,500
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	WOOD	2021-R-041	127,875
CITY OF CAGAYAN DE ORO	BALUBAL	CR	SEMI-CONCRETE	2021-R-041-2	
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	CONCRETE	2021-R-042	455,575
CITY OF CAGAYAN DE ORO	BALUBAL	CR	CONCRETE	2021-R-042-2	
CITY OF CAGAYAN DE ORO	BALUBAL	CAGE	CONCRETE	2021-R-042-3	
CITY OF CAGAYAN DE ORO	BALUBAL	HOUSE	SEMI-CONCRETE	2021-R-043	180,000
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	LIGHT MATERIALS	2021-R-024	176,501
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	LIGHT MATERIALS	2021-R-024-3	17,299
CITY OF CAGAYAN DE ORO	PUERTO	CR	LIGHT MATERIALS	2021-R-024-4	14,500
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	LIGHT MATERIALS	2021-R-024-5	30,247
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	WOOD	2021-R-025	47,903
CITY OF CAGAYAN DE ORO	PUERTO	CR	WOOD	2021-R-025-3	
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	LIGHT MATERIALS	2021-R-026	80,909
CITY OF CAGAYAN DE ORO	PUERTO	CR	SEMI-CONCRETE	2021-R-026-3	
CITY OF CAGAYAN DE ORO	PUERTO	FENCE	LIGHT MATERIALS	2021-R-026-4	
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE (UNDER CONSTRUCTION)	CONCRETE	2021-R-027	217,923
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE (UNDER CONSTRUCTION)	WOOD	2021-R-028	44,859
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	LIGHT MATERIALS	2021-R-029	63,843
CITY OF CAGAYAN DE ORO	PUERTO	STORAGE	LIGHT MATERIALS	2021-R-030	117,500
CITY OF CAGAYAN DE ORO	PUERTO	FENCE	BAMBOO	2021-R-030-3	
CITY OF CAGAYAN DE ORO	PUERTO	HOUSE	WOOD	2021-R-031-2	213,832
CITY OF CAGAYAN DE ORO	PUERTO	FENCE	BAMBOO	2021-R-031-3	
CITY OF CAGAYAN DE ORO	PUERTO	WAREHOUSE	WOOD	2021-R-032	21,525
CITY OF CAGAYAN DE ORO	PUERTO	WATER TANK	STEEL	2022-L-008	264,000

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Type of Structures/Improvements		Structure No.*	Estimated Replacement Cost of Structures/Improvements
MANOLO FORTICH	ALAE	HOUSE	LIGHT MATERIALS	2021-L-031	157,086
MANOLO FORTICH	ALAE	CAGE	LIGHT MATERIALS	2021-L-031-2	
MANOLO FORTICH	ALAE			2021-L-031-OH	
MANOLO FORTICH	ALAE	HOUSE	WOOD	2021-L-032	499,395
MANOLO FORTICH	ALAE	CAGE	LIGHT MATERIALS	2021-L-032-2	
MANOLO FORTICH	ALAE	COTTAGE	LIGHT MATERIALS	2021-L-032-3	
MANOLO FORTICH	ALAE	STORAGE	WOOD	2021-L-033	25,000
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-034	625,500
MANOLO FORTICH	ALAE	DIRTY KITCHEN	CONCRETE	2021-L-034-2	
MANOLO FORTICH	ALAE	CAGE	WOOD	2021-L-034-3	
MANOLO FORTICH	ALAE	CAGE	WOOD	2021-L-035	5,625
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-036	714,400
MANOLO FORTICH	ALAE	CAGE	WOOD	2021-L-036-2	
MANOLO FORTICH	ALAE	FENCE	CONCRETE	2021-L-037	45,000
MANOLO FORTICH	ALAE	CAGE	WOOD	2021-L-038	58,800
MANOLO FORTICH	ALAE	WAREHOUSE	WOOD	2021-L-039	720,525
MANOLO FORTICH	ALAE	FENCE	CONCRETE	2021-L-039-2	
MANOLO FORTICH	ALAE	DRYER	CONCRETE	2021-L-039-3	
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-039-4	
MANOLO FORTICH	ALAE	HOUSE	WOOD	2021-L-040	163,762
MANOLO FORTICH	ALAE			2021-L-040-OH	
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-041	536,951
MANOLO FORTICH	ALAE	HOUSE (UNDER CONSTRUCTION)	LIGHT MATERIALS	2021-L-041-2	
MANOLO FORTICH	ALAE	GARAGE	STEEL	2021-L-041-3	
MANOLO FORTICH	ALAE	WATER TANK	STEEL	2021-L-042	27,500
MANOLO FORTICH	ALAE	HOUSE	SEMI-CONCRETE	2021-L-048	143,788
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-049	252,000
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-050	908,877
MANOLO FORTICH	ALAE	WAREHOUSE	WOOD	2021-L-050-2	
MANOLO FORTICH	ALAE	WATER TANK	CONCRETE	2021-L-050-3	
MANOLO FORTICH	ALAE	CAGE	SEMI-CONCRETE	2021-L-050-4	
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-051	252,000
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-052	432,000
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-L-053	136,500
MANOLO FORTICH	ALAE	CAGE	SEMI-CONCRETE	2021-L-054	72,000
MANOLO FORTICH	ALAE	STORAGE	LIGHT MATERIALS	2021-L-055	240,000
MANOLO FORTICH	ALAE	HOUSE	CONCRETE	2021-R-044	521,029
MANOLO FORTICH	ALAE	CAGE	CONCRETE	2021-R-044-2	
MANOLO FORTICH	ALAE	HOUSE	SEMI-CONCRETE	2021-R-045	310,585
MANOLO FORTICH	ALAE	CR	LIGHT MATERIALS	2021-R-045-2	
MANOLO FORTICH	ALAE	HOUSE	SEMI-CONCRETE	2021-R-046	294,595
MANOLO FORTICH	ALAE	CAGE	LIGHT MATERIALS	2021-R-046-2	
MANOLO FORTICH	ALAE	STORAGE	LIGHT MATERIALS	2021-R-047	28,230
MANOLO FORTICH	ALAE	HOUSE	LIGHT MATERIALS	2021-R-048	287,480
MANOLO FORTICH	ALAE	CAGE	LIGHT MATERIALS	2021-R-048-2	
MANOLO FORTICH	ALAE	HOUSE	SEMI-CONCRETE	2022-R-049-2	521,029
MANOLO FORTICH	MAMBATANGAN	ELECTRIC POST	CONCRETE	2021-L-015	20,499
MANOLO FORTICH	MAMBATANGAN	COTTAGE	WOOD	2021-L-016	50,587
MANOLO FORTICH	MAMBATANGAN	FENCE	CONCRETE	2021-L-016-2	284,386
MANOLO FORTICH	MAMBATANGAN	FENCE	CONCRETE	2021-L-017	105,448
MANOLO FORTICH	MAMBATANGAN	FENCE	CONCRETE	2021-L-018-2	162,079
MANOLO FORTICH	MAMBATANGAN	CAGE	CONCRETE	2021-L-018-3	
MANOLO FORTICH	MAMBATANGAN	FENCE	LIGHT MATERIALS	2021-L-019-2	280,000
MANOLO FORTICH	MAMBATANGAN	HOUSE	CONCRETE	2021-L-020-2	366,160
MANOLO FORTICH	MAMBATANGAN	HOUSE	CONCRETE	2021-L-021-2	220,500
MANOLO FORTICH	MAMBATANGAN	HOUSE	LIGHT MATERIALS	2021-L-022	141,624
MANOLO FORTICH	MAMBATANGAN	CR	CONCRETE	2021-L-022-3	
MANOLO FORTICH	MAMBATANGAN	WAREHOUSE	CONCRETE	2021-L-043	108,000
MANOLO FORTICH	MAMBATANGAN	FENCE	CONCRETE	2021-L-043-2	
MANOLO FORTICH	MAMBATANGAN	WASTE PROCCESING PLANT	CONCRETE	2021-L-044	339,750
MANOLO FORTICH	MAMBATANGAN	BASKETBALL COURT	CONCRETE	2021-L-045	800,000
MANOLO FORTICH	MAMBATANGAN	CHAPEL	CONCRETE	2021-L-046	480,000
MANOLO FORTICH	MAMBATANGAN	HOUSE	WOOD	2021-L-047	111,771
MANOLO FORTICH	MAMBATANGAN	WATER SYSTEM	CONCRETE	2021-R-023	390,220
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	COTTAGE	WOOD	2022-L-001MF	22,658

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Type of Structures/Improvements		Structure No.*	Estimated Replacement Cost of Structures/Improvements
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	CAGE	CONCRETE	2022-L-002MF	700,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	HOUSE	WOOD	2022-L-003MF	66,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	CAGE	CONCRETE	2022-L-004MF	90,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-L-005MF	35,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-L-006MF	36,042
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	CONCRETE	2022-L-007MF	25,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-L-008MF	40,320
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	CAGE	CONCRETE	2022-R-001MF	66,000
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	CONCRETE	2022-R-002MF	40,320
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-R-003MF	47,352
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-R-004MF	
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-R-005MF	47,352
MANOLO FORTICH	MAMBATANGAN (MAGIC FARM)	ELECTRIC POST	STEEL	2022-R-006MF	
MANOLO FORTICH	SAN MIGUEL	STORAGE	WOOD	2021-L-056	132,627
MANOLO FORTICH	SAN MIGUEL	STORAGE	WOOD	2021-L-056-2	
MANOLO FORTICH	SAN MIGUEL	RESERVOIR	CONCRETE	2021-R-049	71,318
MANOLO FORTICH	SAN MIGUEL	ELECTRIC POST	STEEL	2021-R-050	13,500
MANOLO FORTICH	SANKANAN	ELECTRIC POST	CONCRETE	2021-L-057	20,499
MANOLO FORTICH	SANKANAN	ELECTRIC POST	CONCRETE	2021-R-051	72,000
MANOLO FORTICH	SANKANAN	BUNK HOUSE	CONCRETE	2021-R-052	3,347,500
MANOLO FORTICH	SANKANAN	STORAGE	SEMI-CONCRETE	2021-R-052-2	
MANOLO FORTICH	SANKANAN	GUARD HOUSE	SEMI-CONCRETE	2021-R-052-3	
MANOLO FORTICH	SANKANAN	STORAGE	LIGHT MATERIALS	2021-R-053	51,498
MANOLO FORTICH	TICALA	HOUSE	WOOD	2021-L-058	61,488
MANOLO FORTICH	TICALA	COTTAGE	LIGHT MATERIALS	2021-L-058-2	
MANOLO FORTICH	TICALA	HOUSE	WOOD	2021-L-059	225,539
MANOLO FORTICH	TICALA	CR	WOOD	2021-L-059-2	
MANOLO FORTICH	TICALA	HOUSE	WOOD	2021-L-060	203,570
MANOLO FORTICH	TICALA	CR	BAMBOO	2021-L-060-2	
MANOLO FORTICH	TICALA	FENCE	BAMBOO	2021-L-060-3	
MANOLO FORTICH	TICALA	HOUSE	WOOD	2021-R-054	113,805
MANOLO FORTICH	TICALA	HOUSE	SEMI-CONCRETE	2021-R-055	711,050
MANOLO FORTICH	TICALA	CR	SEMI-CONCRETE	2021-R-055-2	
MANOLO FORTICH	TICALA	STORAGE	WOOD	2021-R-055-3	
MANOLO FORTICH	TICALA	CHAPEL	WOOD	2021-R-056	116,875
MANOLO FORTICH	TICALA	HOUSE	WOOD	2021-R-057	81,250
MANOLO FORTICH	TICALA	HOUSE	CONCRETE	2021-R-058	177,500
MANOLO FORTICH	TICALA	CR	CONCRETE	2021-R-058-2	
MANOLO FORTICH	TICALA	HOUSE	LIGHT MATERIALS	2021-R-059	68,750
SUMILAO	KISOLON	HOUSE	LIGHT MATERIALS	2021-L-071	75,078
SUMILAO	KISOLON	ELECTRIC POST	STEEL	2021-L-072	32,400
SUMILAO	KISOLON	HOUSE	LIGHT MATERIALS	2021-L-073	224,773
SUMILAO	KISOLON	HOUSE	LIGHT MATERIALS	2021-L-073-2	
SUMILAO	KISOLON	HOUSE	SEMI-CONCRETE	2021-L-074	249,480
SUMILAO	KISOLON	STORAGE	SEMI-CONCRETE	2021-L-075	252,612
SUMILAO	KISOLON	COTTAGE	WOOD	2021-L-075-2	
SUMILAO	KISOLON	HOUSE	WOOD	2021-R-072	89,600
SUMILAO	KISOLON	HOUSE	WOOD	2021-R-073	84,200
SUMILAO	KISOLON	CR	LIGHT MATERIALS	2021-R-073-2	
SUMILAO	KISOLON	HOUSE	WOOD	2021-R-074	412,600
SUMILAO	KISOLON	CAGE	CONCRETE	2021-R-074-2	
SUMILAO	KISOLON	CAGE	WOOD	2021-R-074-3	
SUMILAO	KISOLON	CR	WOOD	2021-R-074-4	
SUMILAO	KISOLON			2021-R-074-OH	
SUMILAO	KISOLON	HOUSE	LIGHT MATERIALS	2021-R-075	46,500
SUMILAO	KISOLON	HOUSE	LIGHT MATERIALS	2021-R-075-2	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Type of Structures/Improvements		Structure No.*	Estimated Replacement Cost of Structures/Improvements
SUMILAO	KISOLON	CAGE	LIGHT MATERIALS	2021-R-075-3	46,500
SUMILAO	KISOLON	HOUSE	CONCRETE	2021-R-076	813,750
SUMILAO	KISOLON	COTTAGE	WOOD	2021-R-076-2	
SUMILAO	KISOLON	CAGE	CONCRETE	2021-R-076-3	
SUMILAO	KISOLON	GATE	CONCRETE	2021-R-076-4	
SUMILAO	KISOLON	HOUSE	CONCRETE	2021-R-077	462,000
SUMILAO	KISOLON	HOUSE	CONCRETE	2021-R-078	1,122,000
SUMILAO	KISOLON	FENCE	STEEL	2021-R-078-2	
SUMILAO	KISOLON	HOUSE	CONCRETE	2021-R-079	517,500
SUMILAO	KISOLON	ELECTRIC POST	STEEL	2021-R-080	40,320
SUMILAO	POBLACION	COTTAGE	WOOD	2021-R-071	72,000
SUMILAO	POBLACION	COTTAGE	BAMBOO	2021-R-071-2	
SUMILAO	POBLACION	COTTAGE	BAMBOO	2021-R-071-3	
SUMILAO	POBLACION	COTTAGE	BAMBOO	2021-R-071-4	
SUMILAO	POBLACION	COTTAGE	BAMBOO	2021-R-071-5	
SUMILAO	POBLACION	COTTAGE	BAMBOO	2021-R-071-6	
SUMILAO	SAN ROQUE	TRANSMISSION TOWER	STEEL	2021-R-070	175,000
IMPASUG-ONG	CAWAYAN	HOUSE	WOOD	2021-L-005	76,422
IMPASUG-ONG	CAWAYAN	HOUSE	WOOD	2021-L-006	68,292
IMPASUG-ONG	CAWAYAN	HOUSE	SEMI-CONCRETE	2021-L-007	680,167
IMPASUG-ONG	CAWAYAN	HOUSE	BAMBOO	2021-L-008	88,527
IMPASUG-ONG	CAWAYAN	HOUSE	LIGHT MATERIALS	2021-L-015-2	37,640
IMPASUG-ONG	CAWAYAN	HOUSE	CONCRETE	2021-R-005	304,000
IMPASUG-ONG	CAWAYAN	HOUSE	WOOD	2021-R-006	141,644
IMPASUG-ONG	CAWAYAN	HOUSE	SEMI-CONCRETE	2021-R-007	182,113
IMPASUG-ONG	CAWAYAN	STAGE	CONCRETE	2021-R-008-2	132,300
IMPASUG-ONG	CAWAYAN	HOUSE	CONCRETE	2021-R-009-2	244,450
IMPASUG-ONG	CAWAYAN	STORE	CONCRETE	2021-R-009-3	244,450
IMPASUG-ONG	CAWAYAN	CAGE	BAMBOO	2021-R-009-4	244,450
IMPASUG-ONG	CAWAYAN	HOUSE	SEMI-CONCRETE	2021-R-010	122,500
IMPASUG-ONG	CAWAYAN	WAITING SHED	SEMI-CONCRETE	2021-R-011-2	50,000
IMPASUG-ONG	CAWAYAN	SOLAR LIGHT POST	STEEL	2021-R-012-2	28,834
IMPASUG-ONG	CAWAYAN	STORAGE	WOOD	2021-R-013-2	69,843
IMPASUG-ONG	CAWAYAN	SOLAR LIGHT POST	STEEL	2021-R-014-2	28,834
IMPASUG-ONG	CAWAYAN	HOUSE	WOOD	2021-R-015	202,545
IMPASUG-ONG	CAWAYAN	ELECTRIC POST	STEEL	2021-R-016	35,000
IMPASUG-ONG	IMPALUTAO	HOUSE	BAMBOO	2021-L-009-2	60,704
IMPASUG-ONG	IMPALUTAO	HOUSE	BAMBOO	2021-L-010	132,159
IMPASUG-ONG	IMPALUTAO	CR	BAMBOO	2021-L-010-2	
IMPASUG-ONG	IMPALUTAO	COTTAGE	WOOD	2021-L-011-2	18,525
IMPASUG-ONG	IMPALUTAO	STORAGE	WOOD	2021-L-012-2	71,041
IMPASUG-ONG	IMPALUTAO	ELECTRIC POST	STEEL	2021-L-013-2	56,316
IMPASUG-ONG	IMPALUTAO	ELECTRIC POST	STEEL	2021-L-014-2	72,000
IMPASUG-ONG	IMPALUTAO	HOUSE	BAMBOO	2021-R-017	473,607
IMPASUG-ONG	IMPALUTAO	CAGE	BAMBOO	2021-R-017-2	473,607
IMPASUG-ONG	IMPALUTAO	CAGE	CONCRETE	2021-R-017-3	473,607
IMPASUG-ONG	IMPALUTAO	CR	BAMBOO	2021-R-017-4	473,607
IMPASUG-ONG	IMPALUTAO	STORAGE	BAMBOO	2021-R-018	189,443
IMPASUG-ONG	IMPALUTAO	HOUSE	BAMBOO	2021-R-019-2A	172,867
IMPASUG-ONG	IMPALUTAO	CR	BAMBOO	2021-R-019-2B	172,867
IMPASUG-ONG	IMPALUTAO	TRANSMISSION TOWER	STEEL	2021-R-020-2	2,198,619
IMPASUG-ONG	IMPALUTAO	HOUSE (UNDER CONSTRUCTION)	BAMBOO	2021-R-021	15,683
IMPASUG-ONG	IMPALUTAO	TRANSMISSION TOWER	STEEL	2021-R-022-2	2,198,619
IMPASUG-ONG	IMPALUTAO	TRANSMISSION TOWER	STEEL	2021-R-023-2	2,198,619
IMPASUG-ONG	IMPALUTAO	HOUSE	WOOD	2021-R-024-2	94,721
IMPASUG-ONG	LA FORTUNA	TRANSMISSION TOWER	STEEL	2021-L-002-2	2,198,619
IMPASUG-ONG	LA FORTUNA	HOUSE	BAMBOO	2021-L-003	80,373
IMPASUG-ONG	LA FORTUNA	STORAGE	BAMBOO	2021-L-003-2	
IMPASUG-ONG	LA FORTUNA	HOUSE	WOOD	2021-L-004	214,767
IMPASUG-ONG	LA FORTUNA	STORAGE	BAMBOO	2021-L-004-2	
IMPASUG-ONG	LA FORTUNA	FENCE	BAMBOO	2021-L-004-3	
IMPASUG-ONG	LA FORTUNA	STORAGE	LIGHT MATERIALS	2021-R-003	26,191

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

City/Municipality	Barangay	Type of Structures/Improvements		Structure No.*	Estimated Replacement Cost of Structures/Improvements
IMPASUG-ONG	LA FURTONA	TRANSMISSION TOWER	STEEL	2021-R-004-2	2,198,619
IMPASUG-ONG	POBLACION	FENCE	CONCRETE	2021-L-001	76,827
IMPASUG-ONG	POBLACION	STORAGE	WOOD	2021-L-068	33,539
IMPASUG-ONG	POBLACION	POOL	CONCRETE	2021-L-070	118,240
IMPASUG-ONG	POBLACION	HOUSE	LIGHT MATERIALS	2021-R-001	83,812
IMPASUG-ONG	POBLACION	STORAGE	LIGHT MATERIALS	2021-R-002	52,382
CITY OF MALAYBALAY	DALWANGAN	STORAGE	BAMBOO	2021-L-016	86,450
CITY OF MALAYBALAY	DALWANGAN	FENCE	CONCRETE	2021-L-017-2	51,272
CITY OF MALAYBALAY	DALWANGAN	FENCE	CONCRETE	2021-L-018	39,208
CITY OF MALAYBALAY	DALWANGAN	HOUSE	SEMI-CONCRETE	2021-L-019	290,537
CITY OF MALAYBALAY	DALWANGAN	HOUSE	SEMI-CONCRETE	2021-L-019-2+	252,304
CITY OF MALAYBALAY	DALWANGAN	FENCE	BAMBOO	2021-L-019-3	
CITY OF MALAYBALAY	DALWANGAN			2021-L-019-OH	
CITY OF MALAYBALAY	DALWANGAN	HOUSE	SEMI-CONCRETE	2021-L-020	252,304
CITY OF MALAYBALAY	DALWANGAN	COTTAGE	BAMBOO	2021-L-020-3	334,333
CITY OF MALAYBALAY	DALWANGAN	HOUSE	SEMI-CONCRETE	2021-L-021	342,657
CITY OF MALAYBALAY	DALWANGAN	FENCE	BAMBOO	2021-L-021-3	
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-L-021-4	
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-L-022-2	15,784
CITY OF MALAYBALAY	DALWANGAN	BRIDGE	BAMBOO	2021-R-025-2	4,000
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-R-026-2	20,499
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-R-027-2	20,499
CITY OF MALAYBALAY	DALWANGAN	SIGNBOARD	STEEL	2021-R-028-2	6,200
CITY OF MALAYBALAY	DALWANGAN	FENCE	CYCLONE WIRE	2021-R-029-2	35,000
CITY OF MALAYBALAY	DALWANGAN	HOUSE	CONCRETE	2021-R-030-2	1,121,873
CITY OF MALAYBALAY	DALWANGAN	STORAGE	WOOD	2021-R-031	91,057
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-R-032-2	28,834
CITY OF MALAYBALAY	DALWANGAN	ELECTRIC POST	STEEL	2021-R-033-2	28,834
CITY OF MALAYBALAY	DALWANGAN	SOLAR LIGHT POST	STEEL	2021-R-034-2	28,834
CITY OF MALAYBALAY	DALWANGAN	COTTAGE	LIGHT MATERIALS	2021-R-035-2	17,693
CITY OF MALAYBALAY	DALWANGAN	PIGGERY	SEMI-CONCRETE	2022-R-1M	120,000
CITY OF MALAYBALAY	DALWANGAN	BUNK HOUSE	BAMBOO	2022-R-2M	133,948
CITY OF MALAYBALAY	DALWANGAN	HOUSE	SEMI-CONCRETE	2022-R-2MA	133,948
CITY OF MALAYBALAY	DALWANGAN	FENCE	CONCRETE	2022-R-2MB	133,948
CITY OF MALAYBALAY	KALASUNGAY	ELECTRIC POST	CONCRETE	2022-L-028	28,834
CITY OF MALAYBALAY	KALASUNGAY	STORAGE	WOOD	2022-L-029	22,967
CITY OF MALAYBALAY	KALASUNGAY	COTTAGE	WOOD	2022-L-030	39,397
CITY OF MALAYBALAY	KALASUNGAY	COTTAGE	LIGHT MATERIALS	2022-R-045	14,744
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-L-023	41,423
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-L-024	143,938
CITY OF MALAYBALAY	PATPAT	ELECTRIC POST	WOOD	2022-L-024-2	
CITY OF MALAYBALAY	PATPAT	ELECTRIC POST	CONCRETE	2022-L-025	175,739
CITY OF MALAYBALAY	PATPAT	ELECTRIC POST	CONCRETE	2022-L-025-2	
CITY OF MALAYBALAY	PATPAT	STORAGE	LIGHT MATERIALS	2022-L-026	28,455
CITY OF MALAYBALAY	PATPAT	ELECTRIC POST	CONCRETE	2022-L-027	47,352
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-R-035	34,598
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-R-036	130,000
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-R-037	28,800
CITY OF MALAYBALAY	PATPAT	FENCE	CONCRETE	2022-R-038	66,000
CITY OF MALAYBALAY	PATPAT	FENCE	CONCRETE	2022-R-039	7,500
CITY OF MALAYBALAY	PATPAT	FENCE	CONCRETE	2022-R-040	66,000
CITY OF MALAYBALAY	PATPAT	STORAGE	CONCRETE	2022-R-041	25,000
CITY OF MALAYBALAY	PATPAT	STORAGE	WOOD	2022-R-042	50,000
CITY OF MALAYBALAY	PATPAT	FENCE	BAMBOO	2022-R-043	66,000
CITY OF MALAYBALAY	PATPAT	HOUSE	WOOD	2022-R-044	96,000
CITY OF MALAYBALAY	PATPAT	FENCE	CYCLONE WIRE	2022-R-044-2	96,000
TOTAL					53,789,139

*Due to the unavailability of complete land data, the survey team used the determined structure/improvement tagged numbers instead of relying solely on the affected lot numbers. This can be further updated during the DED stage with the use of a parcellary plan.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Structure with Pricing (Right Side)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2022-R-001	30,275.66
Location	CASINGLOT, TAGOLOAN, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	ELECTRIC POST	
GPS	8°30'76.2N / 124°45'64.7E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:
0+380

CENTER LINE

30 m

TAG # R-001
TOS ELECTRIC POST

MATERIALS	
Type	Description
Column	wood
Height	7m
Wall	
Slab	
Door Jam	
Window Jam	
G. I. Roof	
Severely	100%
Total Area	

LEGENDS	
	WINDOW
N	North
E	East

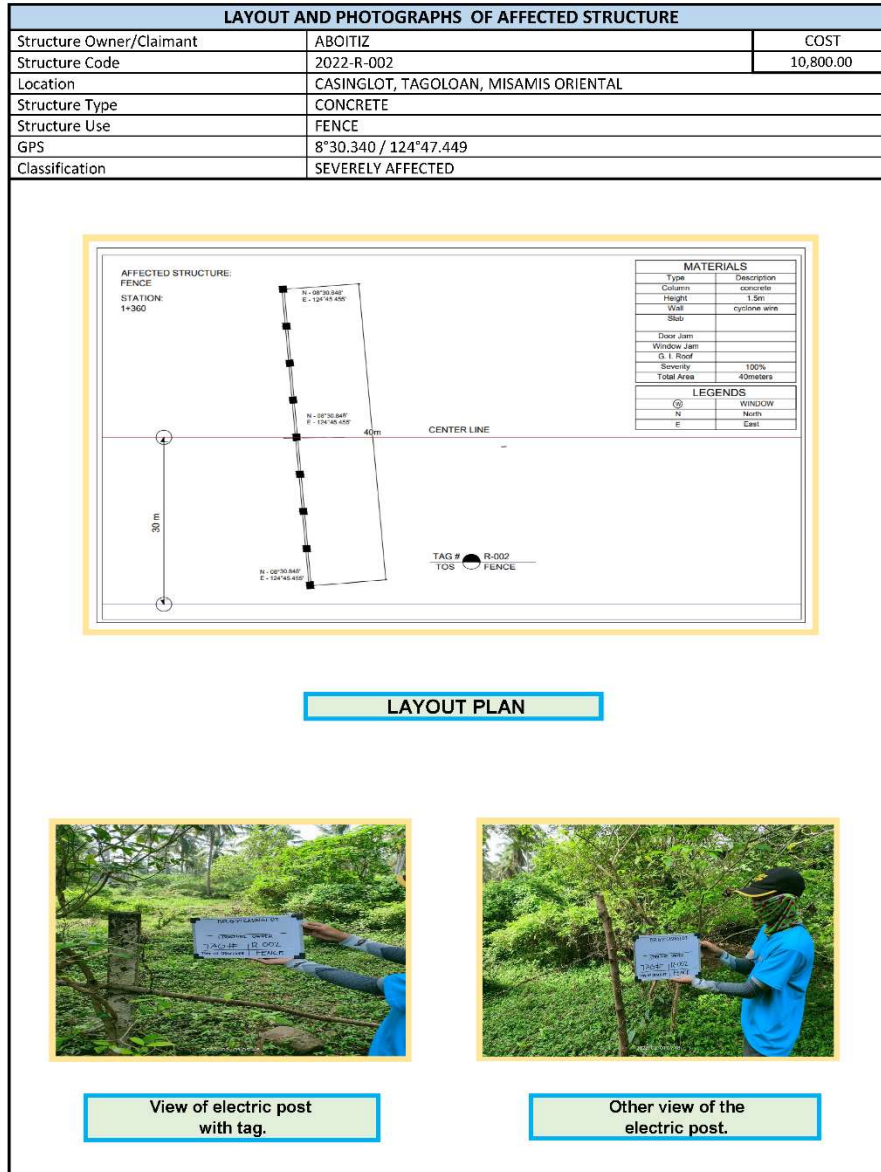
LAYOUT PLAN

View of electric post with tag.

Other view of the electric post.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2022-R-003	40,320.00
Location	CASINGLOT, TAGOLOAN, MISAMIS ORIENTAL	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°31'55.6N / 124°46'67.9E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:
2+040

MATERIALS	
Type	Description
Column	galvanized steel
Height	7m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Rod	
Severity	100%
Total Area	

LEGENDS	
(O)	WINDOW
N	North
E	East

LAYOUT PLAN

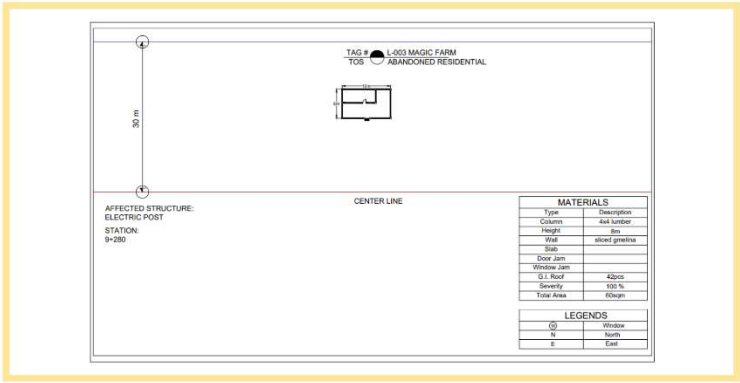
View of electric post with tag.

Full view of the electric post.


Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-001MF	66,000.00
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	CAGE	
GPS	8°29'36.3N / 124°47'36.3E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging the affected structure.



Front Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-003MF	47,352.32
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.704 / 124°48.007	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRICAL POST

STATION:

MATERIALS	
Type	Description
Column	Steel
Height	15m
Wall	
Slab	
Door Jam	
Window Jam	
sq. ft. Roof	
Severity	100%
Total Area	

LEGENDS	
(O)	WINDOW
N	North
E	East

LAYOUT PLAN

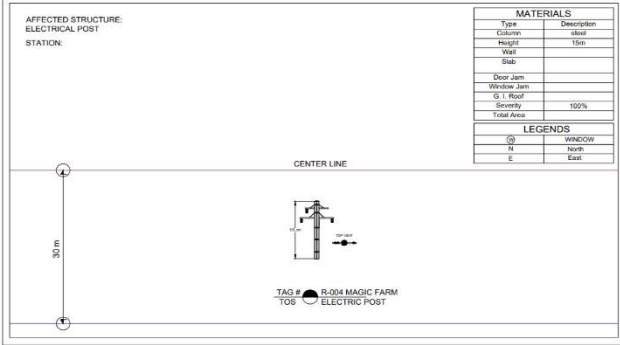
View of Electric Post

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-004MF	47,352.32
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.660 / 124°48.016	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRICAL POST
STATION:



CENTER LINE


30 m

TAD # R-004 MAGIC FARM
TOB ELECTRIC POST

MATERIALS	
Type	Description
Column	Steel
Height	15m
Wall	
Roof	
Door Jam	
Window Jam	
Gr. F. Roof	Severely
Severely	100%
Total Area	

LEGENDS	
GO	WINDOW
N	North
E	East

LAYOUT PLAN



View of Electric Post

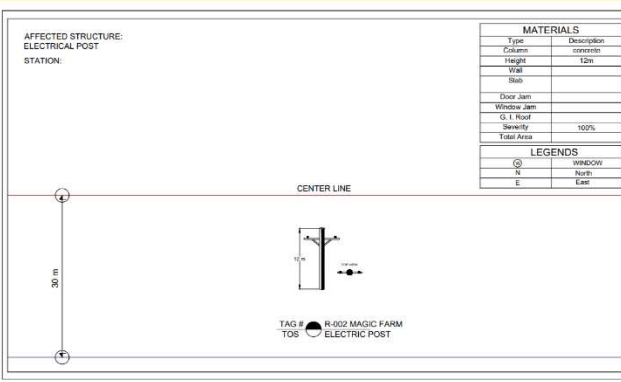
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-002MF	40,320.00
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°28.473 / 124°48.121	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRICAL POST


STATION:



MATERIALS	
Type	Description
Column	concrete
Height	12m
Width	
Slab	
Door Jam	
Window Jam	
G.I. Rod	
Severely	100%
Total Area	

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN



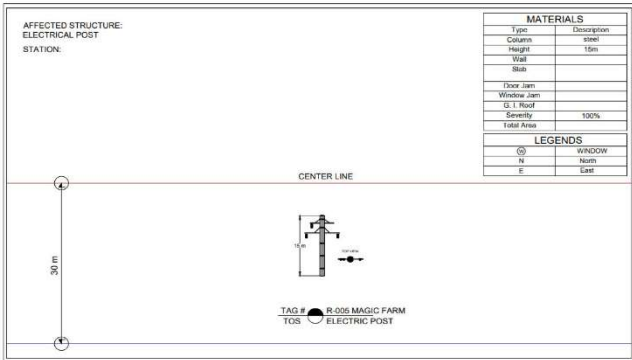
View of electric post

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-005MF	47,352.32
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.398 / 124°48.147	
Classification	SEVERELY AFFECTED	


AFFECTED STRUCTURE:
ELECTRIC POST
STATION:



MATERIALS	
Type	Description
Column	15m
Height	15m
Wall	
Slab	
Door Jam	
Window Jam	
Q. in Road	
Severity	100%
Total Area	

LEGENDS	
(C)	WINDOW
N	North
E	East

LAYOUT PLAN




View of Electric Post

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MAGIC FARM	COST
Structure Code	2022-R-006MF	47,352.32
Location	MAGIC FARM, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.341 / 124°48.155	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:




CENTER LINE

TAG # R-006 MAGIC FARM
YOS ELECTRIC POST

MATERIALS	
Type	Description
Column	steel
Height	15m
Wall	
Slab	
Door Jam	
Window Jam	
G. I. Roof	
Severely	100%
Total Area	

LEGENDS	
⊙	WINDOW
N	North
E	East

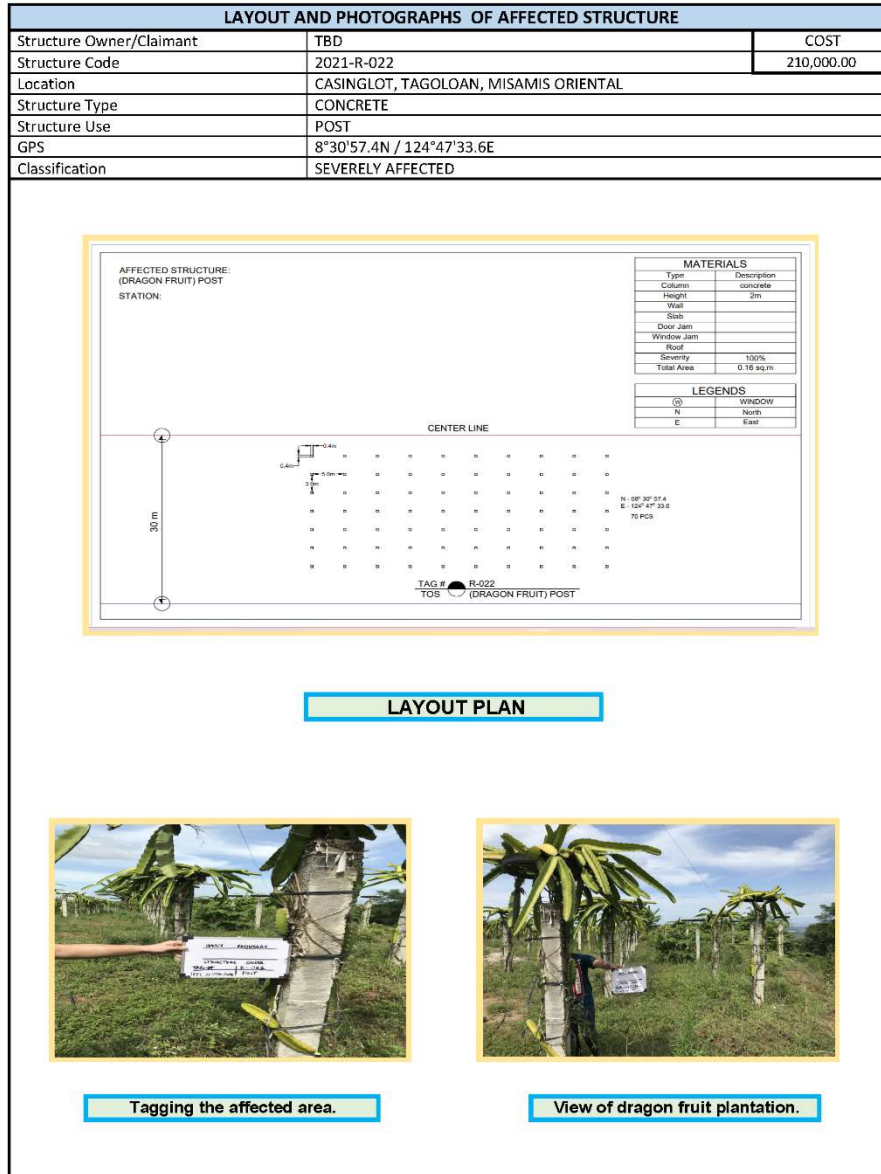
LAYOUT PLAN



View of Electric Post

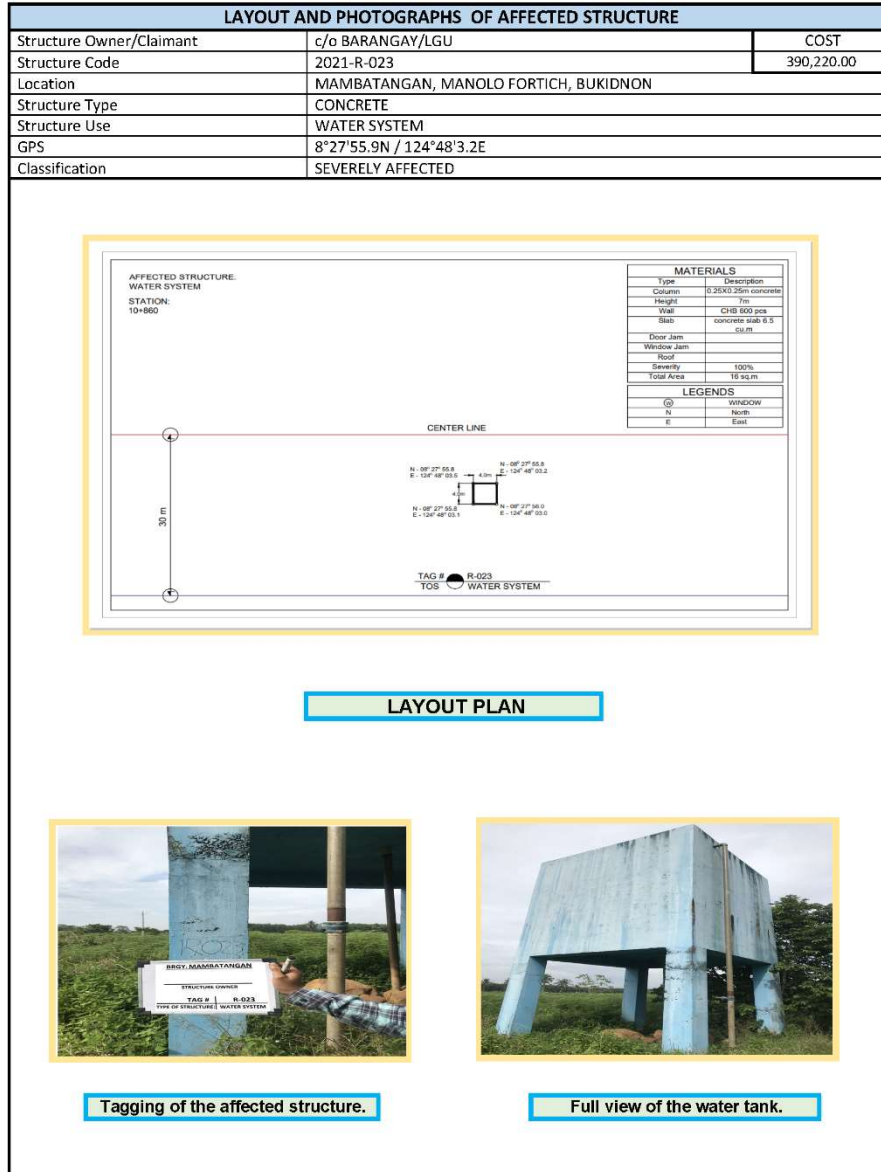
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



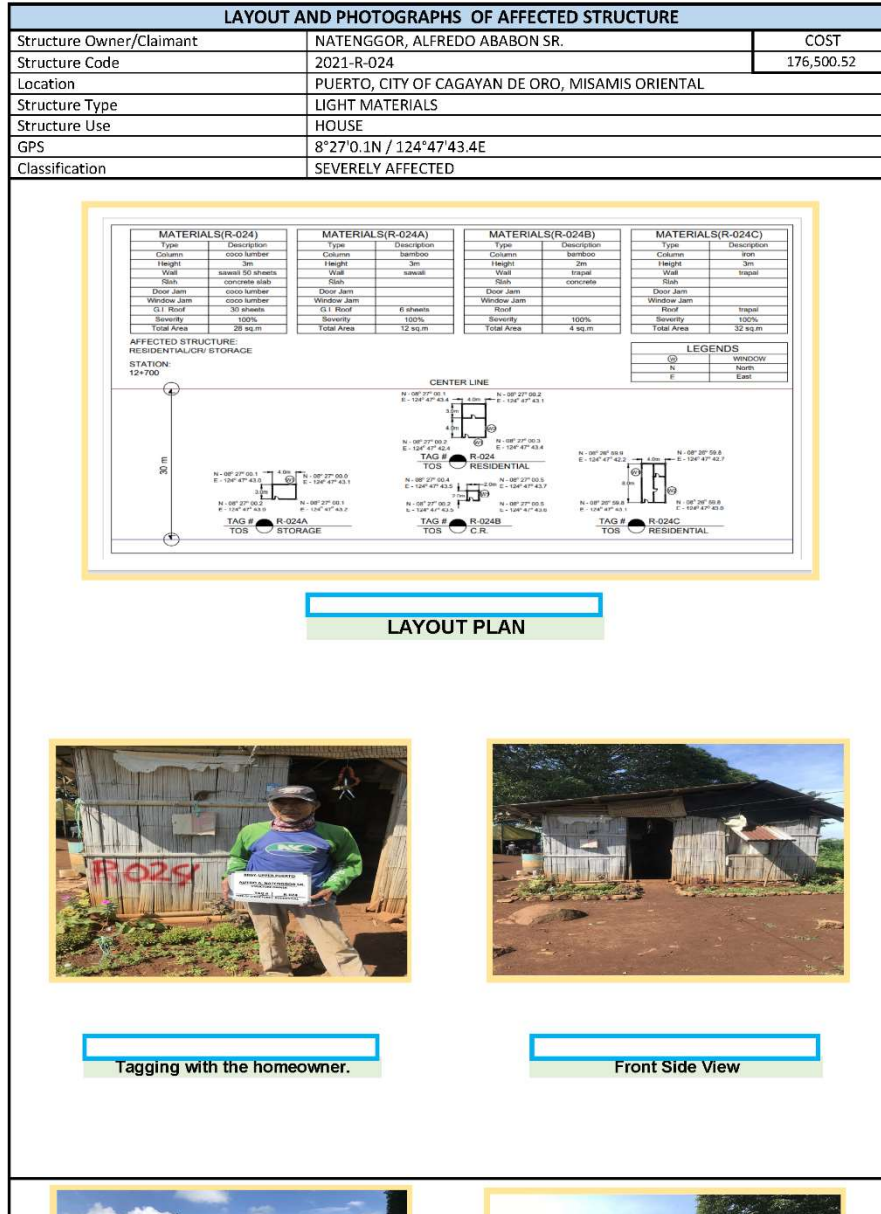
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Left Side View



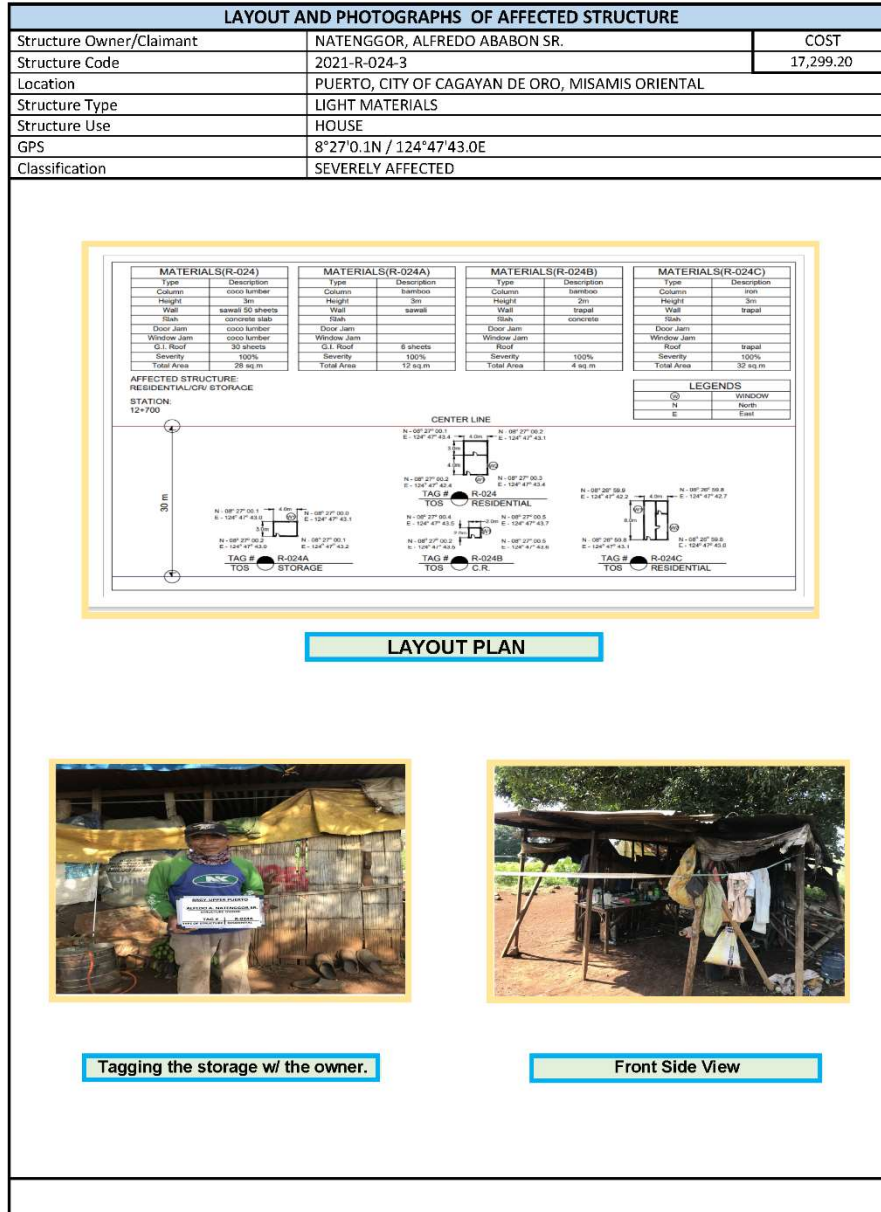
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





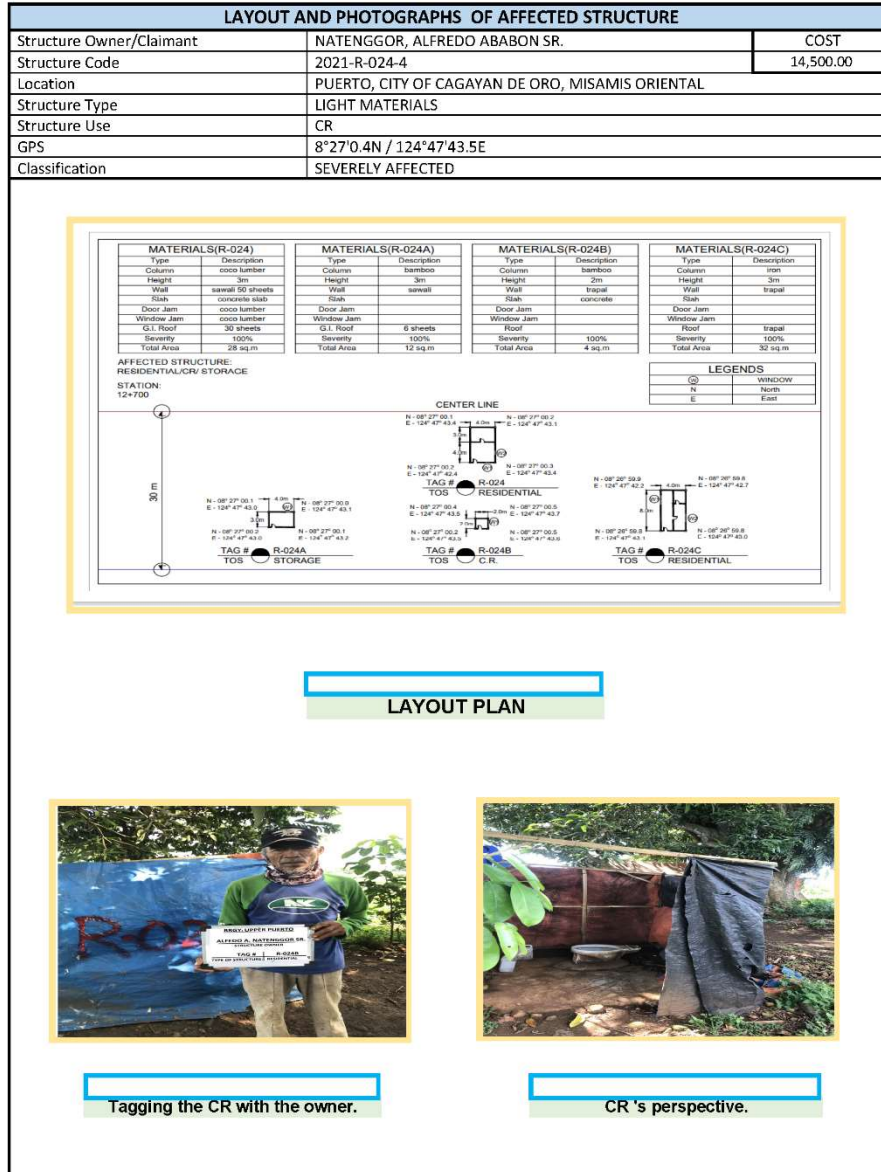
Left Side View



Right Side View

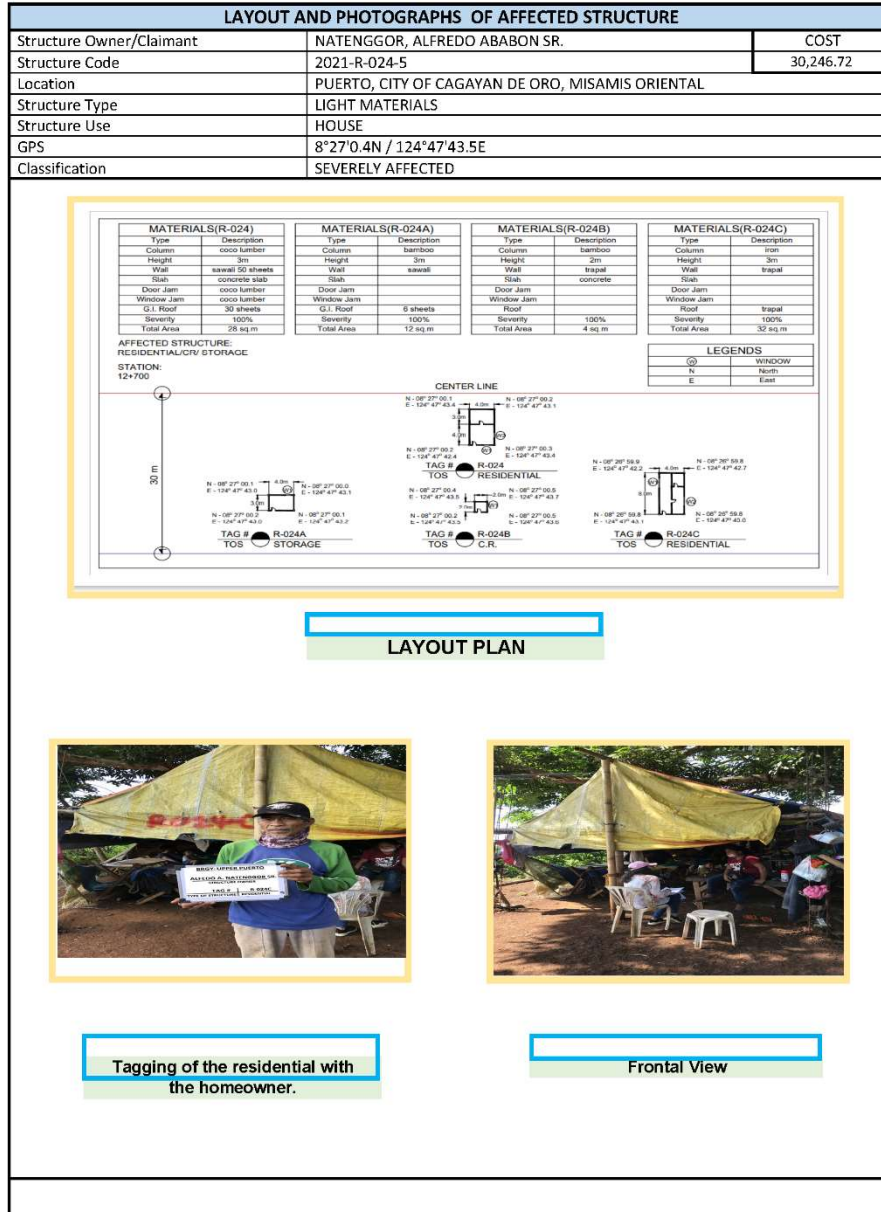
Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Tagging of the residential with the homeowner.



Frontal View



Left Side View



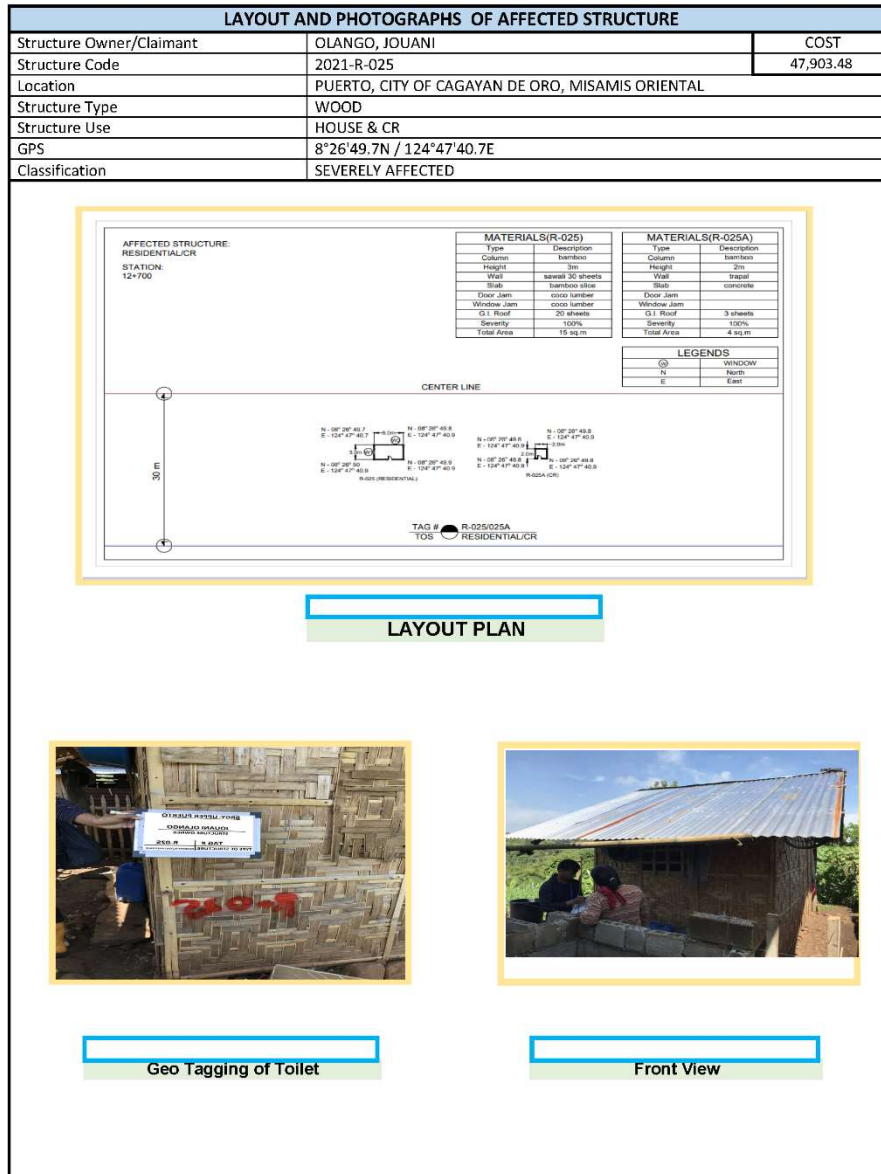
Right/Back Side View



Inside View of the house.

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Left/Front Side View



Right/Back Side View



Back/Left Side View



Toilet and Bathroom

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BULARON, JESTY OLANGO	COST
Structure Code	2021-R-026	80,908.56
Location	PUERTO, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE, CR & FENCE	
GPS	8°26'50.0N / 124°47'40.9E	
Classification	SEVERELY AFFECTED	

MATERIALS(R-026)	MATERIALS(R-026A)	MATERIALS(R-026B)	MATERIALS(R-026C)																																																																																
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>Type</th><th>Description</th></tr> <tr><td>Column</td><td>coconut lumber</td></tr> <tr><td>Height</td><td>2m</td></tr> <tr><td>Wall</td><td>small 4x4 sheets</td></tr> <tr><td>Slab</td><td>concrete slab</td></tr> <tr><td>Door Jam</td><td>coconut lumber</td></tr> <tr><td>Window Jam</td><td>coconut lumber</td></tr> <tr><td>G.I. Roof</td><td>30 sheets</td></tr> <tr><td>Severity</td><td>100%</td></tr> <tr><td>Total Area</td><td>18 sq.m</td></tr> </table>	Type	Description	Column	coconut lumber	Height	2m	Wall	small 4x4 sheets	Slab	concrete slab	Door Jam	coconut lumber	Window Jam	coconut lumber	G.I. Roof	30 sheets	Severity	100%	Total Area	18 sq.m	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>Type</th><th>Description</th></tr> <tr><td>Column</td><td>bamboo</td></tr> <tr><td>Height</td><td>2m</td></tr> <tr><td>Wall</td><td>small bamboo</td></tr> <tr><td>Slab</td><td></td></tr> <tr><td>Door Jam</td><td></td></tr> <tr><td>Window Jam</td><td></td></tr> <tr><td>G.I. Roof</td><td></td></tr> <tr><td>Severity</td><td>100%</td></tr> <tr><td>Total Area</td><td></td></tr> </table>	Type	Description	Column	bamboo	Height	2m	Wall	small bamboo	Slab		Door Jam		Window Jam		G.I. Roof		Severity	100%	Total Area		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>Type</th><th>Description</th></tr> <tr><td>Column</td><td>bamboo</td></tr> <tr><td>Height</td><td>2m</td></tr> <tr><td>Wall</td><td>small</td></tr> <tr><td>Slab</td><td>concrete</td></tr> <tr><td>Door Jam</td><td></td></tr> <tr><td>Window Jam</td><td></td></tr> <tr><td>G.I. Roof</td><td>3 sheets</td></tr> <tr><td>Severity</td><td>100%</td></tr> <tr><td>Total Area</td><td>3 sq.m</td></tr> </table>	Type	Description	Column	bamboo	Height	2m	Wall	small	Slab	concrete	Door Jam		Window Jam		G.I. Roof	3 sheets	Severity	100%	Total Area	3 sq.m	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>Type</th><th>Description</th></tr> <tr><td>Column</td><td>coconut lumber</td></tr> <tr><td>Height</td><td>2m</td></tr> <tr><td>Wall</td><td>small 4x4 sheets</td></tr> <tr><td>Slab</td><td>concrete</td></tr> <tr><td>Door Jam</td><td></td></tr> <tr><td>Window Jam</td><td></td></tr> <tr><td>G.I. Roof</td><td>5 sheets</td></tr> <tr><td>Severity</td><td>100%</td></tr> <tr><td>Total Area</td><td>3 sq.m</td></tr> </table>	Type	Description	Column	coconut lumber	Height	2m	Wall	small 4x4 sheets	Slab	concrete	Door Jam		Window Jam		G.I. Roof	5 sheets	Severity	100%	Total Area	3 sq.m
Type	Description																																																																																		
Column	coconut lumber																																																																																		
Height	2m																																																																																		
Wall	small 4x4 sheets																																																																																		
Slab	concrete slab																																																																																		
Door Jam	coconut lumber																																																																																		
Window Jam	coconut lumber																																																																																		
G.I. Roof	30 sheets																																																																																		
Severity	100%																																																																																		
Total Area	18 sq.m																																																																																		
Type	Description																																																																																		
Column	bamboo																																																																																		
Height	2m																																																																																		
Wall	small bamboo																																																																																		
Slab																																																																																			
Door Jam																																																																																			
Window Jam																																																																																			
G.I. Roof																																																																																			
Severity	100%																																																																																		
Total Area																																																																																			
Type	Description																																																																																		
Column	bamboo																																																																																		
Height	2m																																																																																		
Wall	small																																																																																		
Slab	concrete																																																																																		
Door Jam																																																																																			
Window Jam																																																																																			
G.I. Roof	3 sheets																																																																																		
Severity	100%																																																																																		
Total Area	3 sq.m																																																																																		
Type	Description																																																																																		
Column	coconut lumber																																																																																		
Height	2m																																																																																		
Wall	small 4x4 sheets																																																																																		
Slab	concrete																																																																																		
Door Jam																																																																																			
Window Jam																																																																																			
G.I. Roof	5 sheets																																																																																		
Severity	100%																																																																																		
Total Area	3 sq.m																																																																																		

AFFECTED STRUCTURE:
RESIDENTIAL FENCE/CR/CAGE

STATION:
12+700

TAGI # R-026/026A/026B/026C
TOB RESIDENTIAL FENCE/CR/CAGE

LEGENDS

GB WINDOW	N NORTH
E EAST	

LAYOUT PLAN



House tagging with the owner.



Front Side View



Fence at the right side of the house.



Back Side View



Rooster Cage



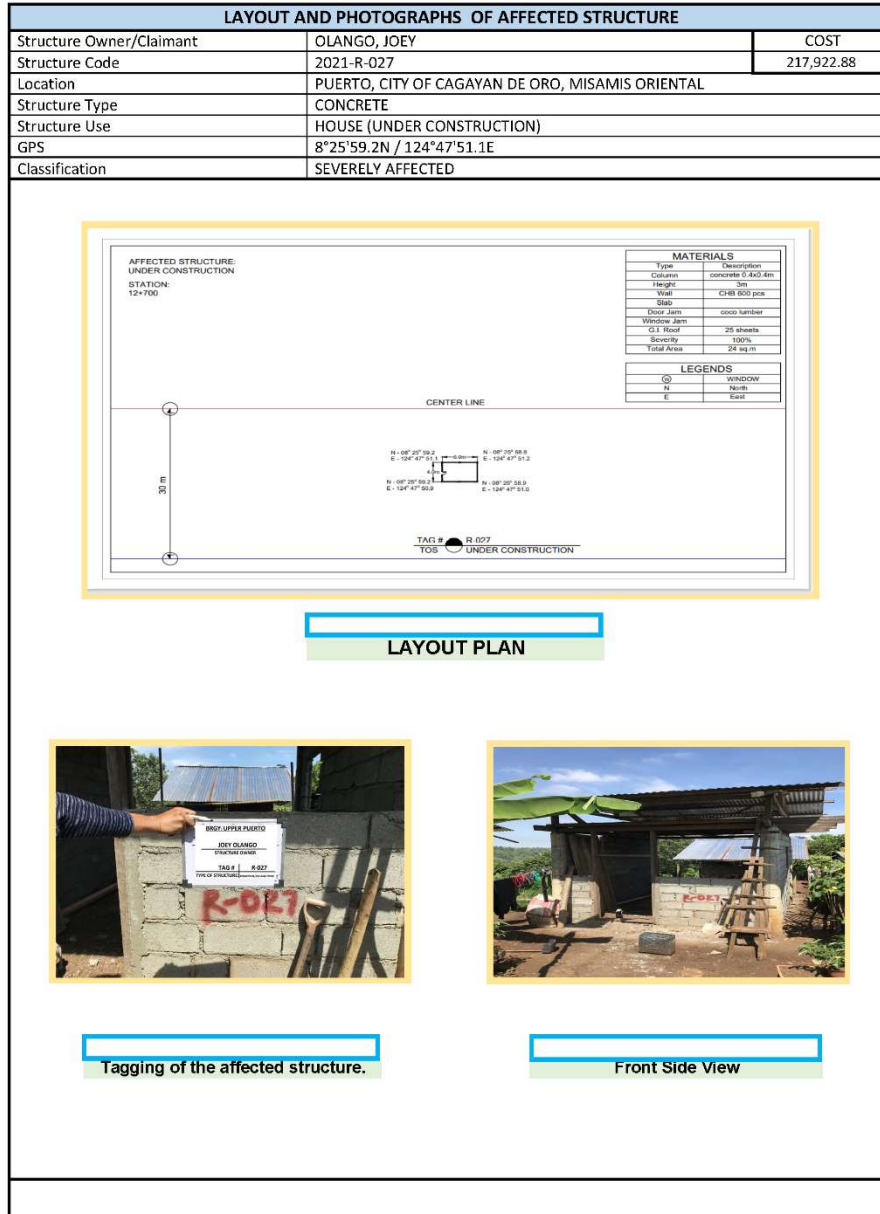
Pig pen



Toilet and bathroom

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

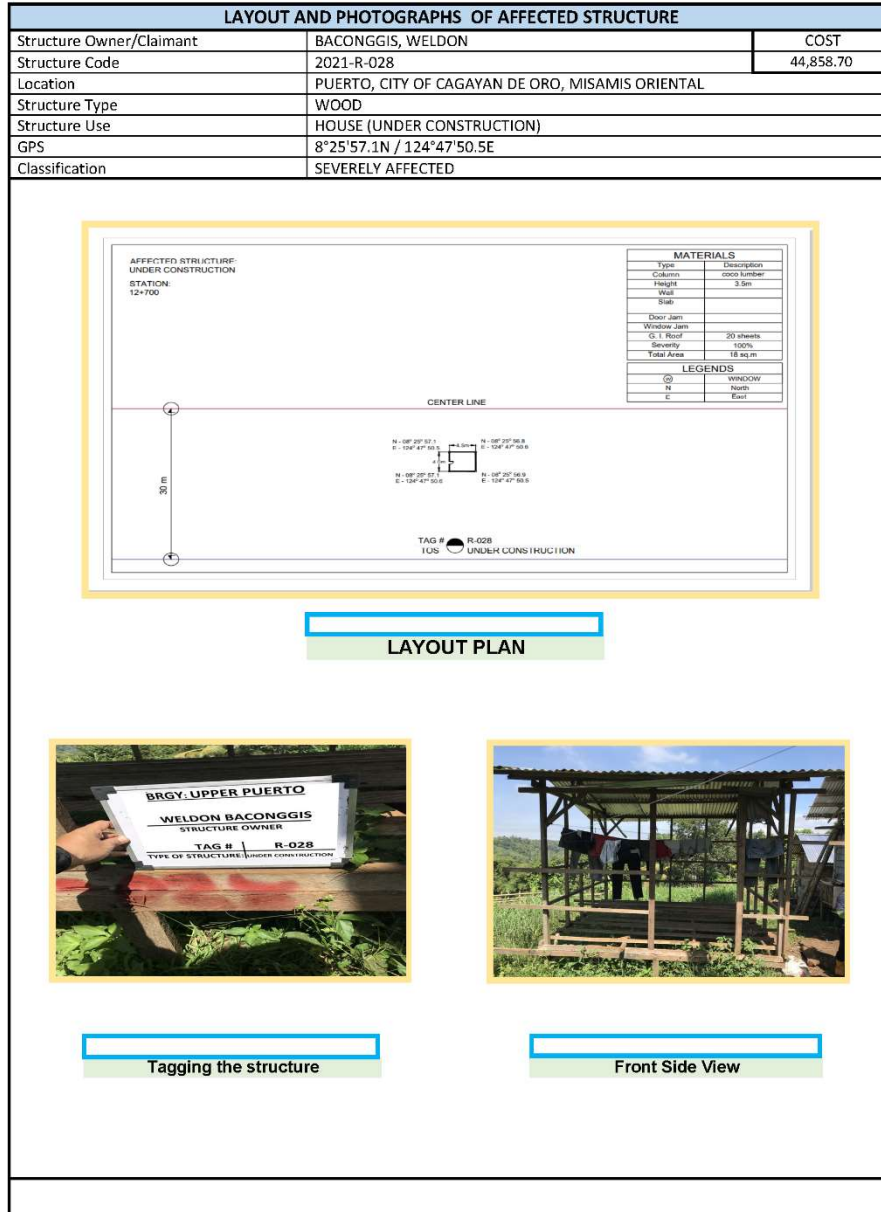




Right Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Frontal at closer view



Left Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	OLANGO, JHOWEE	COST
Structure Code	2021-R-029	63,843.00
Location	PUERTO, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE	
GPS	8°26'49.4N / 124°47'41.1E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
13+000

MATERIALS	
Type	Description
Column	steel lumbar 8.460.4
Height	3m
Wall	sawall (15 pcs)
Roof	steel barbed
Door Jam	
Window Jam	20 sheets
G. I. Roof	100%
Seventy	20 sq. m.
Total Area	

LEGENDS	
(G)	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the house.

Front Side View



Right/Back Side View



Right Side View



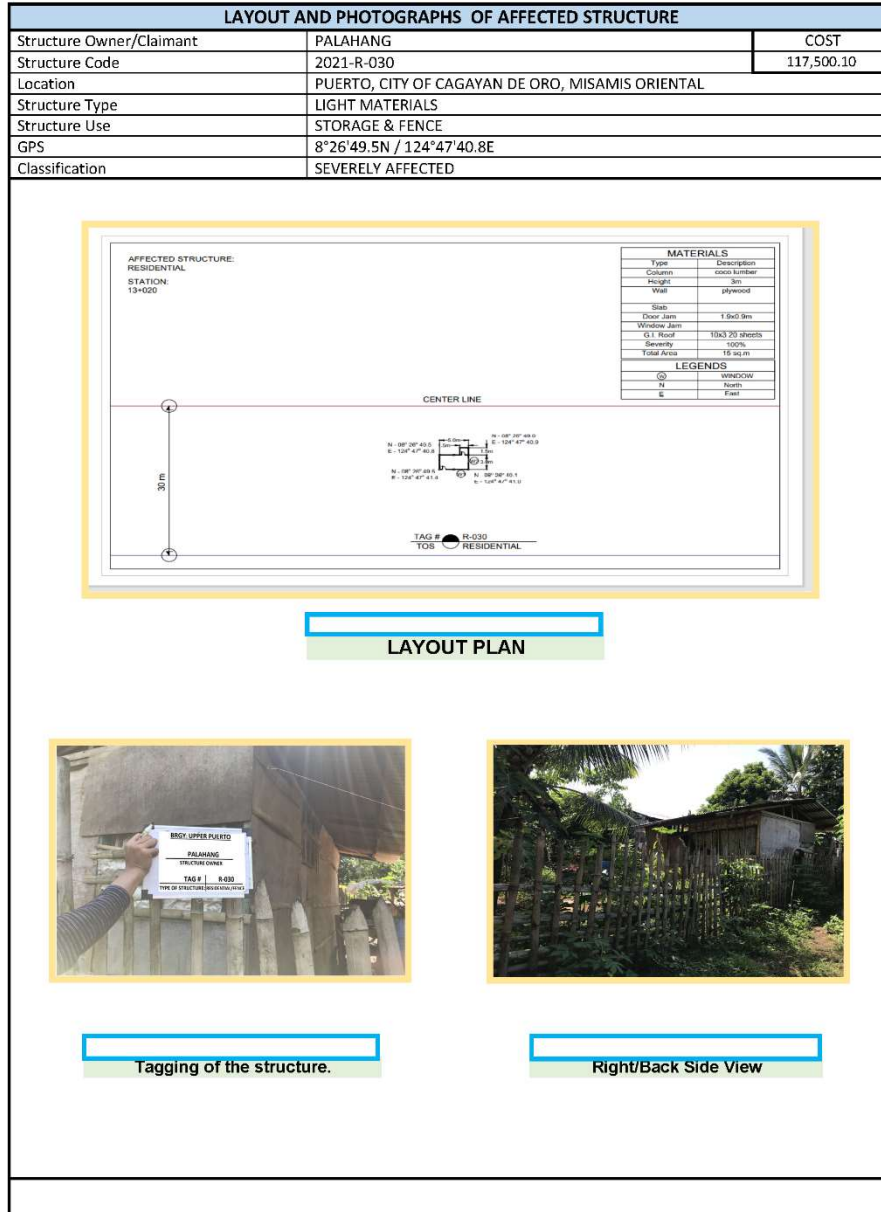
Left Side View



Left Side View at an angle.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



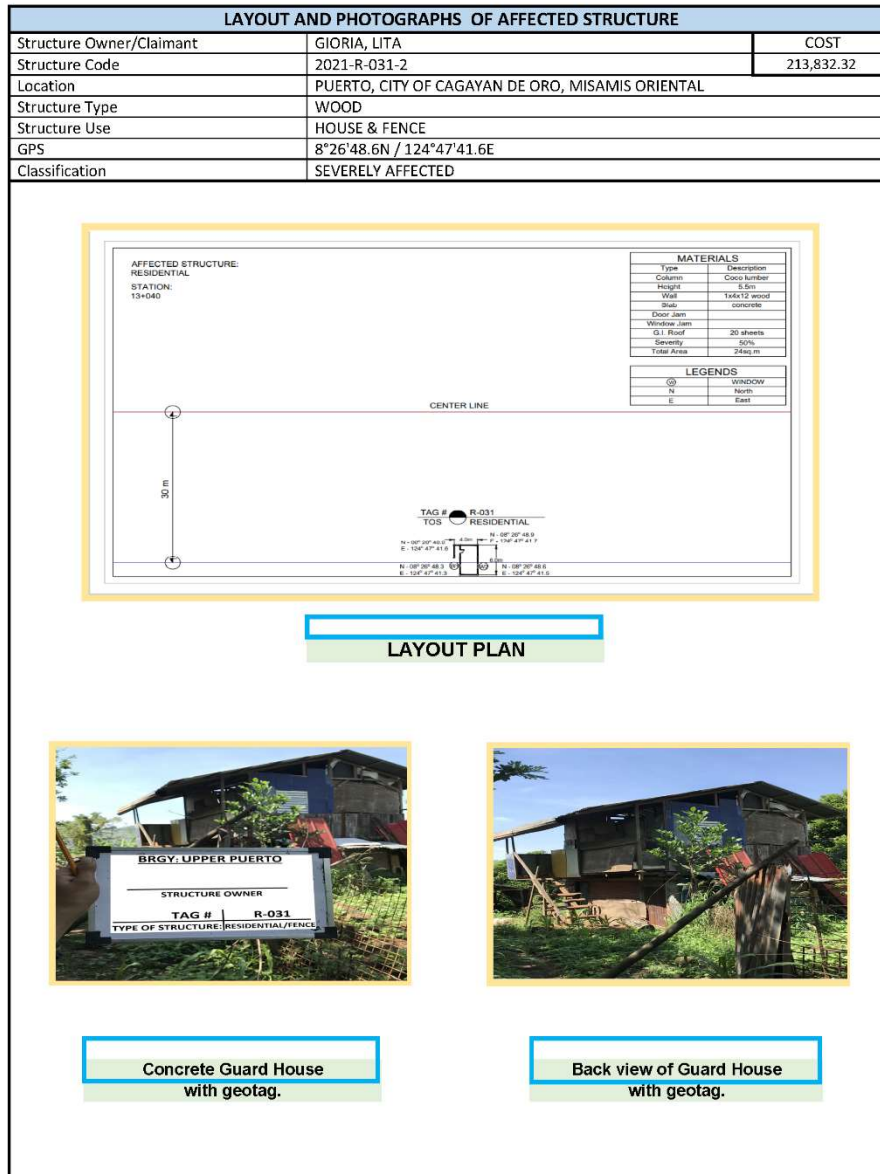
Closer view at left side.



The Bathroom

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MOMO	COST
Structure Code	2021-R-032	21,525.00
Location	PUERTO, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	WAREHOUSE	
GPS	8°26'40.2N / 124°47'40.3E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
WAREHOUSE

STATION:

CENTER LINE

TAG # R-032
TOS WAREHOUSE

MATERIALS	
Type	Description
Column	Coro lumber
Roof	2.5m
Wall	1x4x6 wood
Door	
Door Jam	
Window Jam	
G.I. Roof	10 sheet
Severity	100%
Total Area	75 sq.m

LEGENDS	
(O)	WINDOW
N	North
E	East

LAYOUT PLAN

Warehouse tagging.

Front Side View



Left Side View



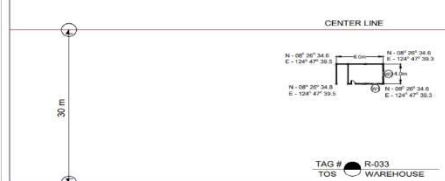
Right/Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ONTING, LIGASPI	COST
Structure Code	2021-R-033	151,554.24
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	CORRUGATED SHEET	
Structure Use	WAREHOUSE	
GPS	8°26'34.6N / 124°47'39.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
WAREHOUSE
STATION:




CENTER LINE

TAG # R-033
TGS WAREHOUSE


MATERIALS	
Type	Description
Column	Ø 150x1.5m
Height	3m
Wall	CHB 300 pcs
Slab	concrete 0.4m
Door Jam	concrete
Window Jam	6 sheets
Roof	100%
Severity	100%
Total Area	32 sq.m

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN



Geo Tagging of Toilet



Front View



Right Side View
of Guard House.



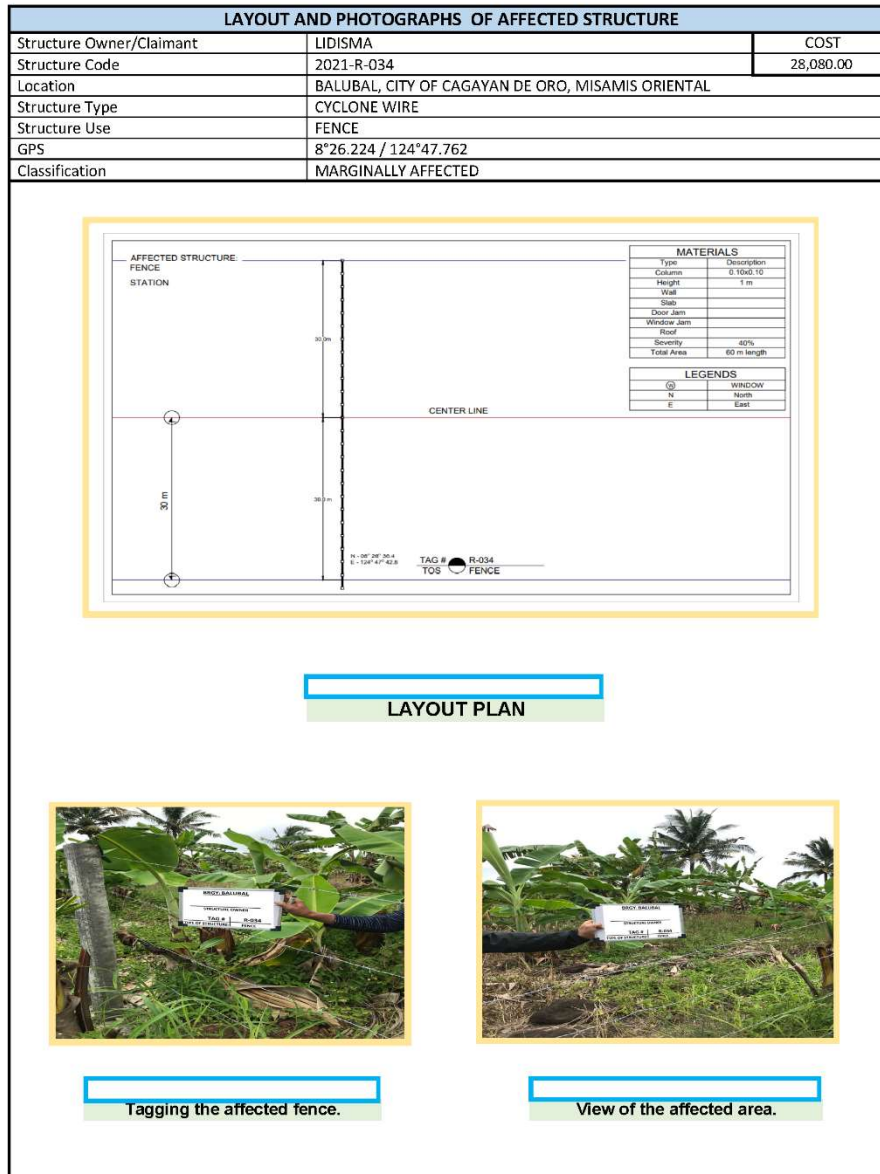
Back/Left Side View
of Guard House.



Left /Front Side View
of Guard House.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ENDRICOSO, RONDINO RABASANO	COST
Structure Code	2021-R-035	88,527.25
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	HOUSE & CR	
GPS	8°26'11.5N / 124°47'46.7E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL/CR
STATION:
14+250

MATERIALS(R-035)	
Type	Description
Column	timber 15 pcs
Height	7 m
Wall	timber 20 pcs
Slab	timber 40 pcs
Door Jam	ginebra 10' x 4' 2' pcs
Window Jam	1.0m x 1.0m ginebra
Roof	20 pcs
Severity	100%
Total Area	31 sq.m

MATERIALS(R-035A)	
Type	Description
Column	casto timber
Height	5m
Wall	timber
Slab	concrete slab
Door Jam	
Window Jam	
G.I. Roof	6x8 sheet
Severity	100%
Total Area	4 sq.m

CENTER LINE
N - 08° 26' 11.5
E - 124° 47' 46.7
N - 08° 26' 11.5
E - 124° 47' 46.7
N - 08° 26' 11.5
E - 124° 47' 46.7
N - 08° 26' 11.5
E - 124° 47' 46.7
TAG # R-035/035A
TOB RESIDENTIAL/CR

LAYOUT PLAN

**TAGGING WITH
THE HOMEOWNER (RESIDENTIAL)**

TAGGING (CR)



**Right Side View
RESIDENTIAL**



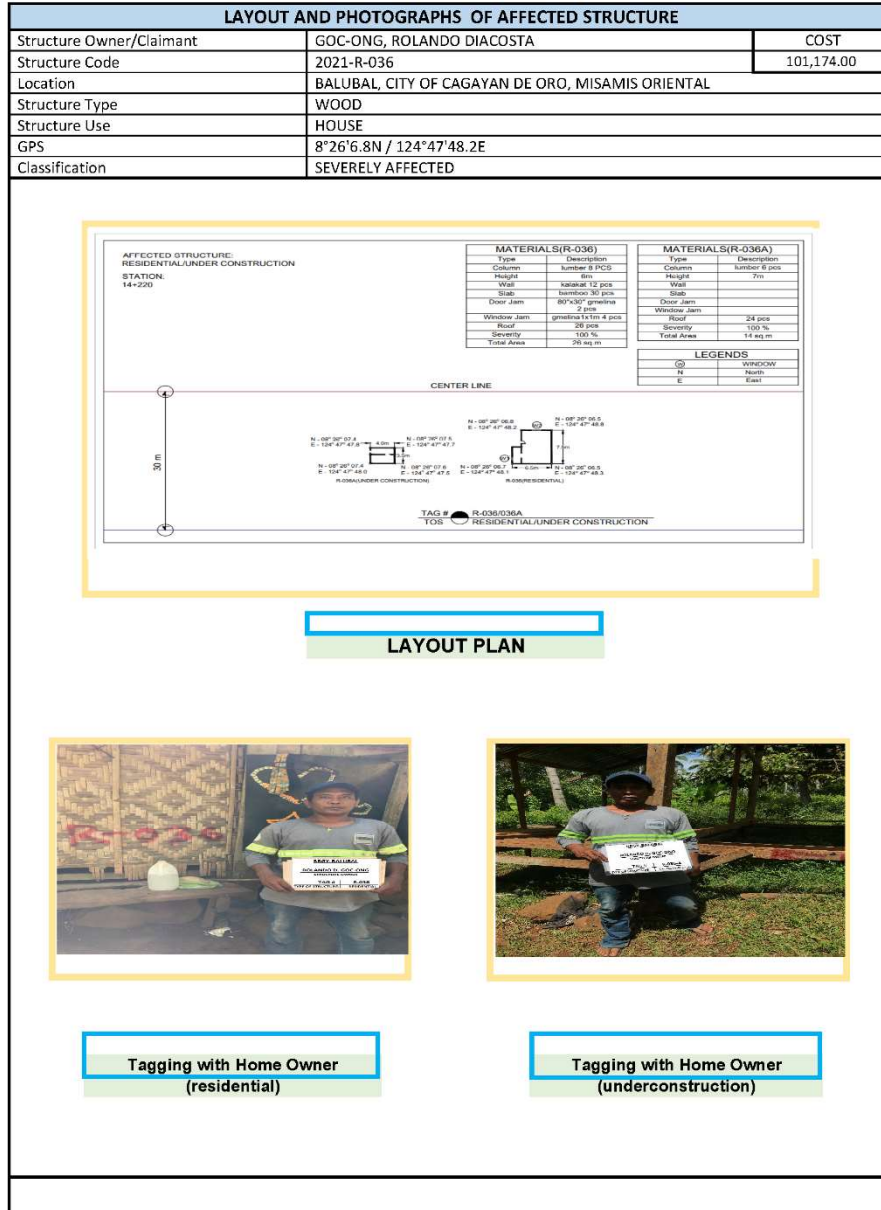
**Back/Left Side View
of RESIDENTIAL**



**Left /Front Side View
of CR**

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





**Right Side View
of Residential**



**Front View
of Residential**



**Left /Front Side View
of Under construction**

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	INDOY, JOEVL VILLASORDA	COST
Structure Code	2021-R-037	423,000.00
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	CONCRETE	
Structure Use	HOUSE	
GPS	8°26'4.5N / 124°47'48.3E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
14+220

CENTER LINE

TAG # R-037
TOS RESIDENTIAL

MATERIALS	
Type	CONCRETE
Columns	80
Height	3.00
Wall	CHB 300 pcs
Slab	Concrete 200 cu.m
Door Jam	80"x40 glass 3 pcs
Window Jam	covered 1 x 1m 11 pcs
Roof	45 pcs
Severity	100%
Total Area	47 sq.m

LEGENDS	
⊙	WINDSON
N	North
E	East

LAYOUT PLAN

Tagging with Home owner
Residential

Front view
Residential



Right Side View



Back/Left Side View



INTERIOR

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	SACNANAS, RONIL MONTEBON	COST
Structure Code	2021-R-038	63,301.80
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	CONCRETE	
Structure Use	HOUSE (UNDER CONSTRUCTION)	
GPS	8°26'4.6N / 124°47'48.3E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
UNDER CONSTRUCTION
STATION:

MATERIALS	
Type	Description
Column	concrete
Height	4m
Wall	CRB 200 pcs
Slab	
Door Jam	80"x40" concrete
Window Jam	concrete 1x1m 2 pcs
G.I. Roof	
Severely	100%
Total Area	15sq.m

LEGENDS	
(C)	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging with Home owner

Front View



Left/Front Side View



Right/Back View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	DAANOY, PACIENCO GAMULO	COST
Structure Code	2021-R-039	374,500.26
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE	
GPS	8°26'3.3N / 124°47'48.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:

MATERIALS	
Type	Description
Columns	bamboo 4x4 12 pcs
Height	4m
Wall	bamboo
Slab	bamboo
Door Jam	62"x40 gmelina
Window Jam	bamboo
Roof	25 pcs
Severity	100%
Total Area	300sq.m

LEGENDS	
GO	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging with Home Owner

Front View



Right Side View



Back/Left Side View

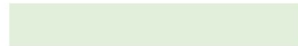
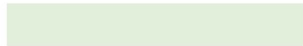
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



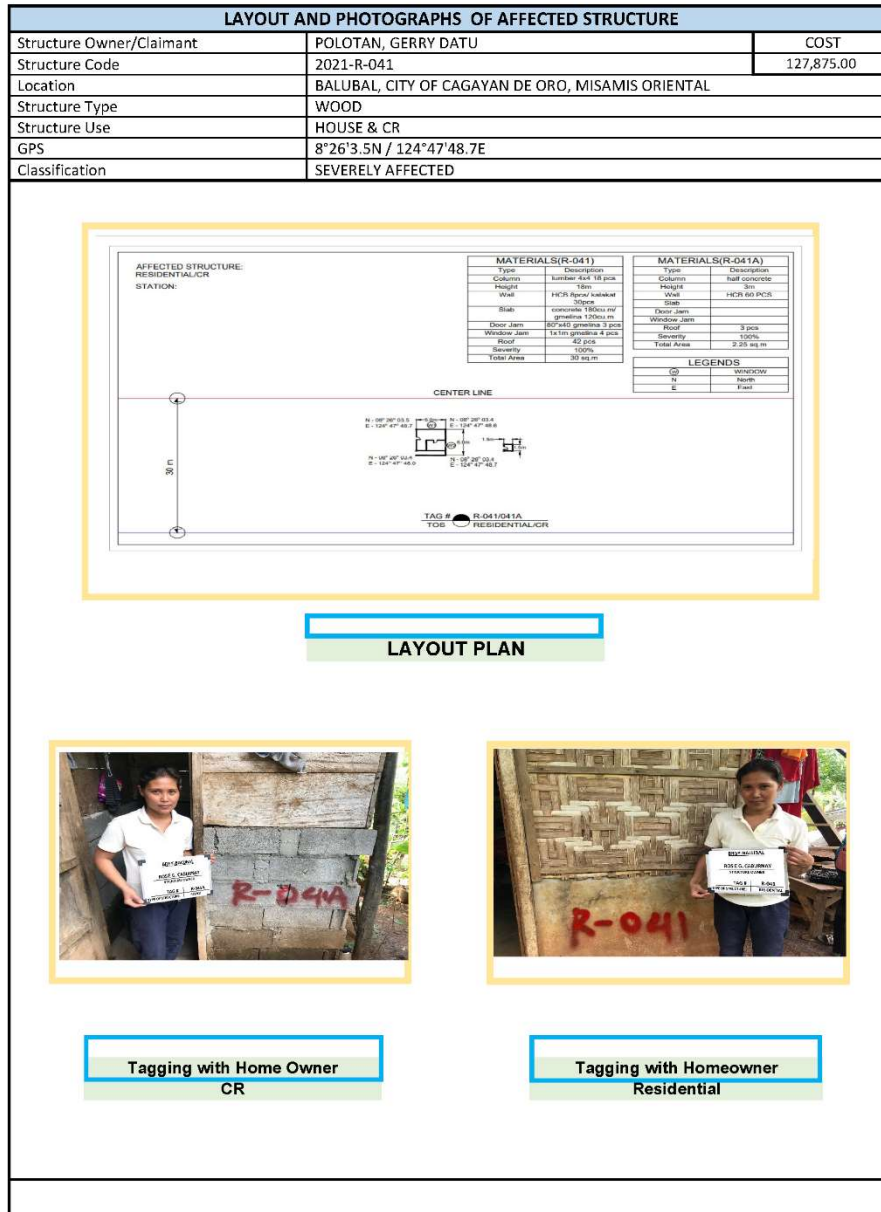


Top View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



LAYOUT PLAN



Tagging with Home Owner
CR



Tagging with Homeowner
Residential



Front/Right Side View
Residential



Back/Left Side View
Residential



Left /Front Side View
Cr

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	INDOY, LUCIA VILLASORDA	COST
Structure Code	2021-R-042	455,575.00
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	CONCRETE	
Structure Use	HOUSE, CR & CAGE	
GPS	8°26'3.4N / 124°47'48.6E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE
RESIDENTIAL/CR/CAGE
STATION:

MATERIALS(R-042)		MATERIALS(R-042A)		MATERIALS(R-042B)	
Type	Description	Type	Description	Type	Description
Columns	4x4 10 pcs	Columns	concrete	Columns	concrete
Height	3m	Height	3.5m	Height	3m
Wall	11CB 150 pcs	Wall	11CB 50 pcs	Wall	11CB 50 pcs
Slab	150 cu.m	Slab		Slab	
Door Jam	62x40 gwalina 2 pcs	Door Jam		Door Jam	
Window Jam	1x1m gwalina 4 pcs	Window Jam		Window Jam	
Roof	25 pcs	Roof	3 pcs	Roof	
Security	100%	Security	100%	Security	100%
Total Area	48 sq.m	Total Area	2.25 sq.m	Total Area	8 sq.m

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging with Home Owner

Front View



Left/Front Side View



Right/Back View - CR



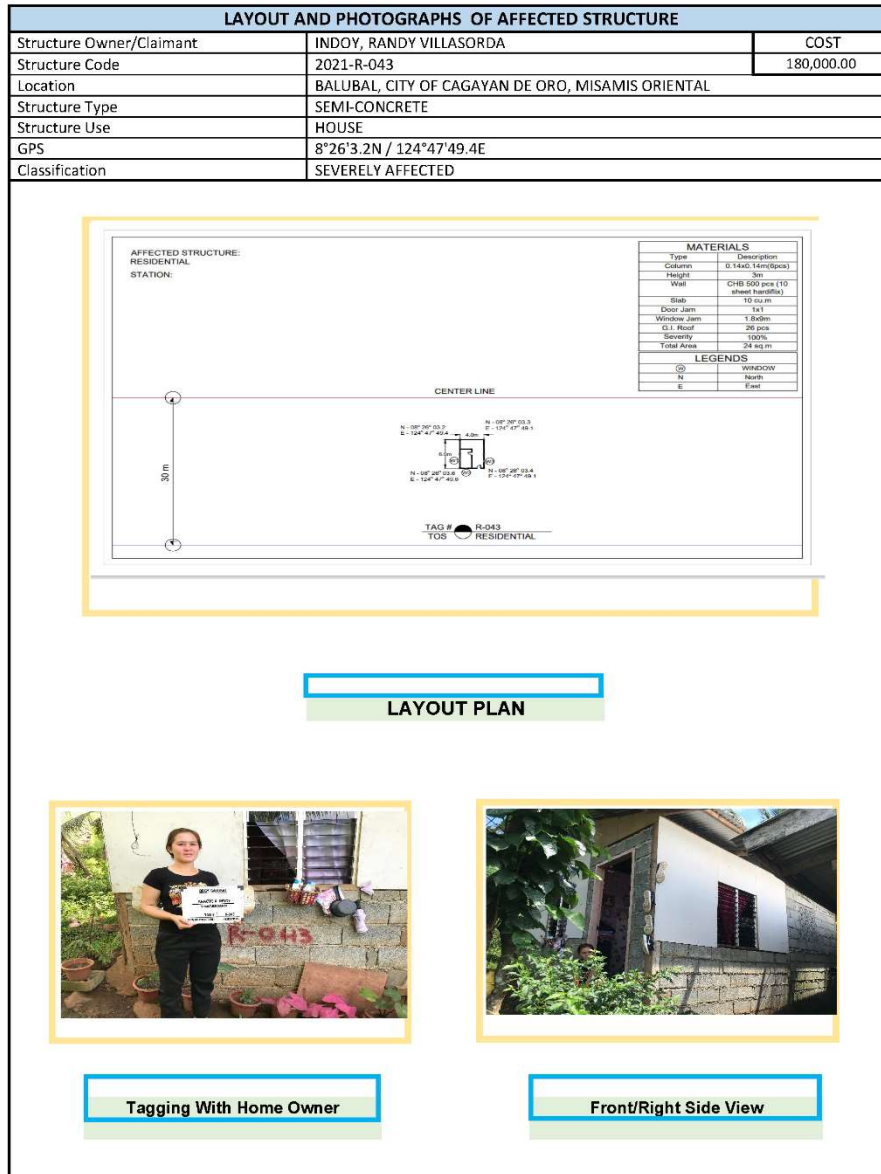
Left Side View
CR



Front View -Cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	PADERO, ROGELIO JAPOS	COST
Structure Code	2021-R-044	521,029.00
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE & CAGE	
GPS	8°25'3.8N / 124°48'2.6E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL CAGE
STATION:
16+300

Type	Description
Columns	Concrete
Height	12m
Width	CRB 1300 pps
Slab	340 cu m
Door Jam	80*400 gmelina
Window Jam	1x1m gmelina Spks
Roof	400 pps
Severity	100%
Total Area	58 sq m

Type	Description
Columns	Concrete
Height	4m
Width	
Slab	
Door Jam	
Window Jam	2 sheet
Roof	
Severity	100%
Total Area	3 sq m

LEGENDS

CS	WINDOW
R	Roof
E	East

LAYOUT PLAN

Tagging with Home Owner
Residential

Tagging
Cage



Front/Right Side View
Residential



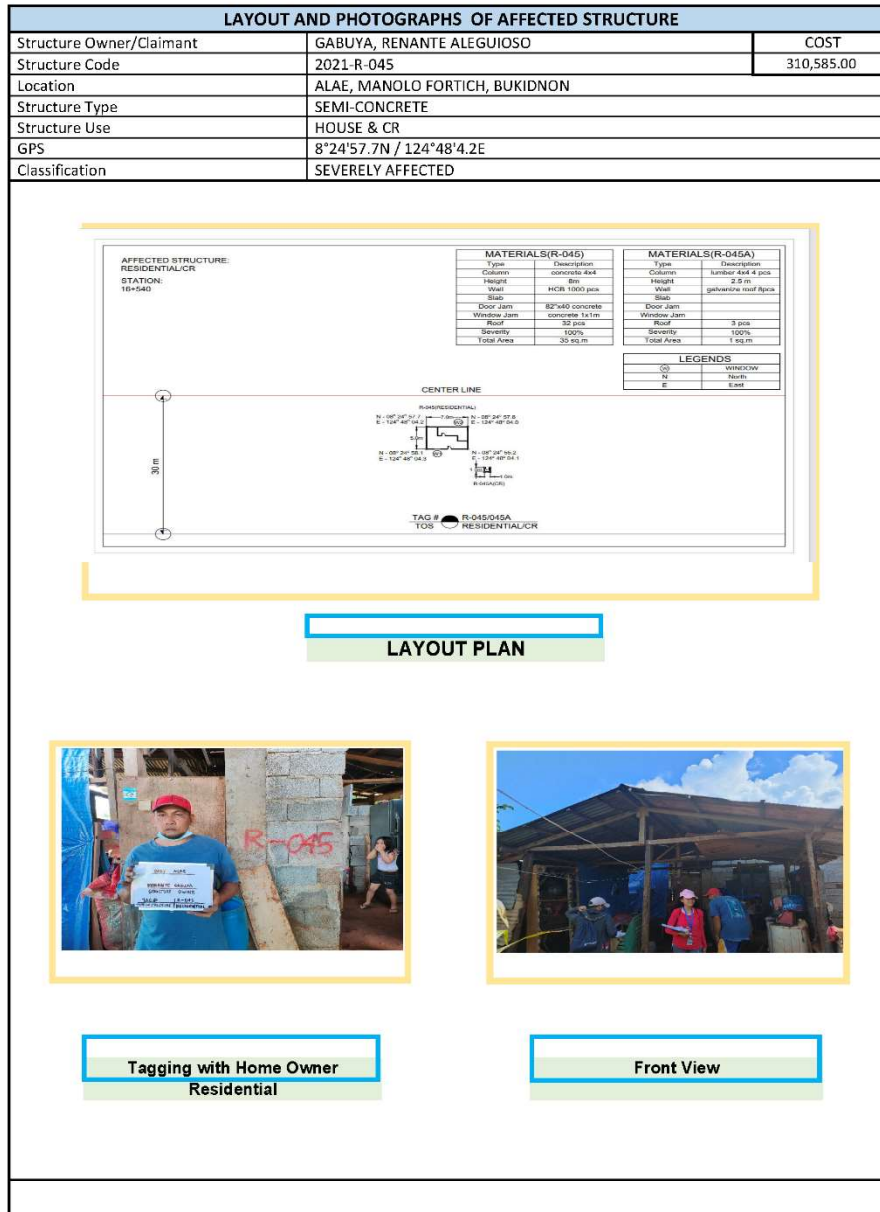
Back/Left Side View
Residential



Left /Front Side View
Cage

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Right Side View
Residential



Back/Left Side View
Residential



Left /Front Side View
CR

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Front View
Residential



Back/Left Side View
Residential



Left /Front Side View
cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





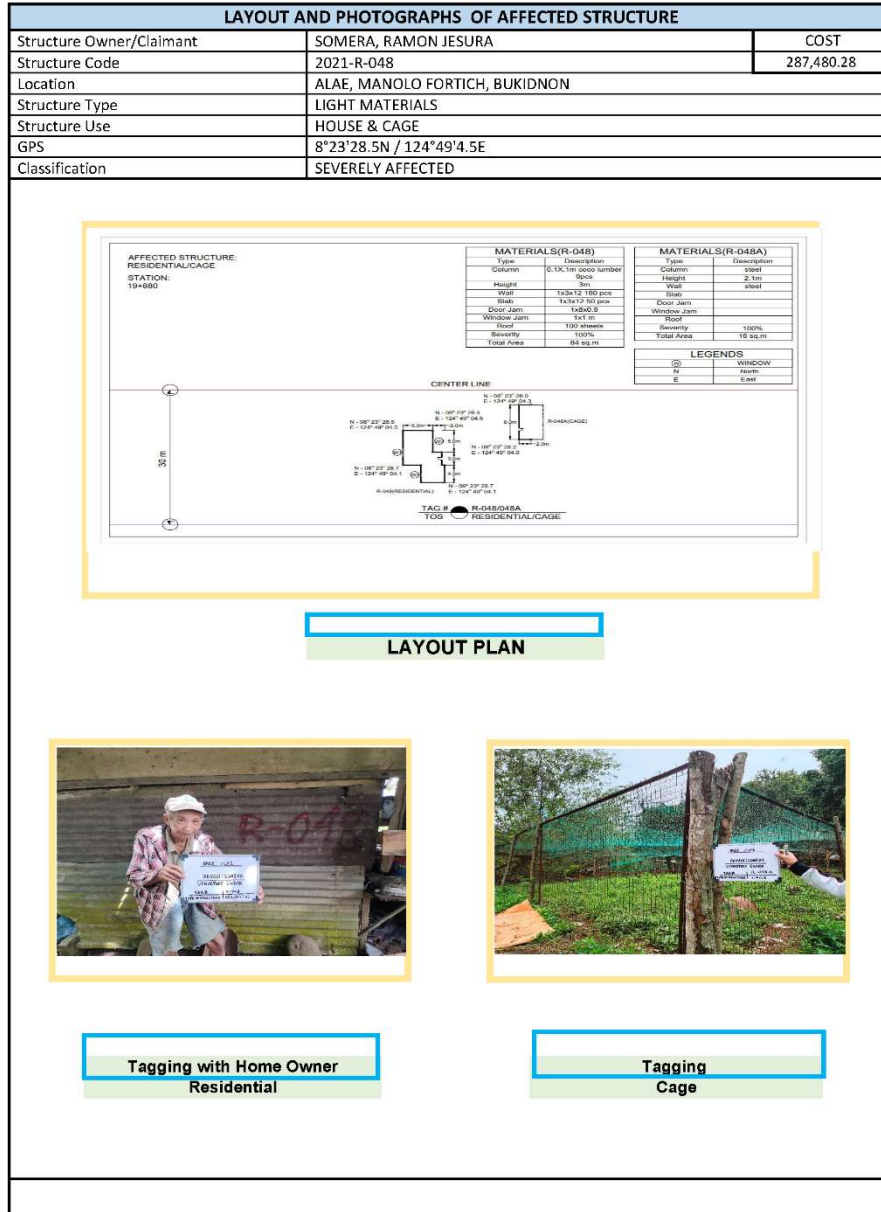
Left/Front Side View



Right/Back View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





**Front View
Residential**



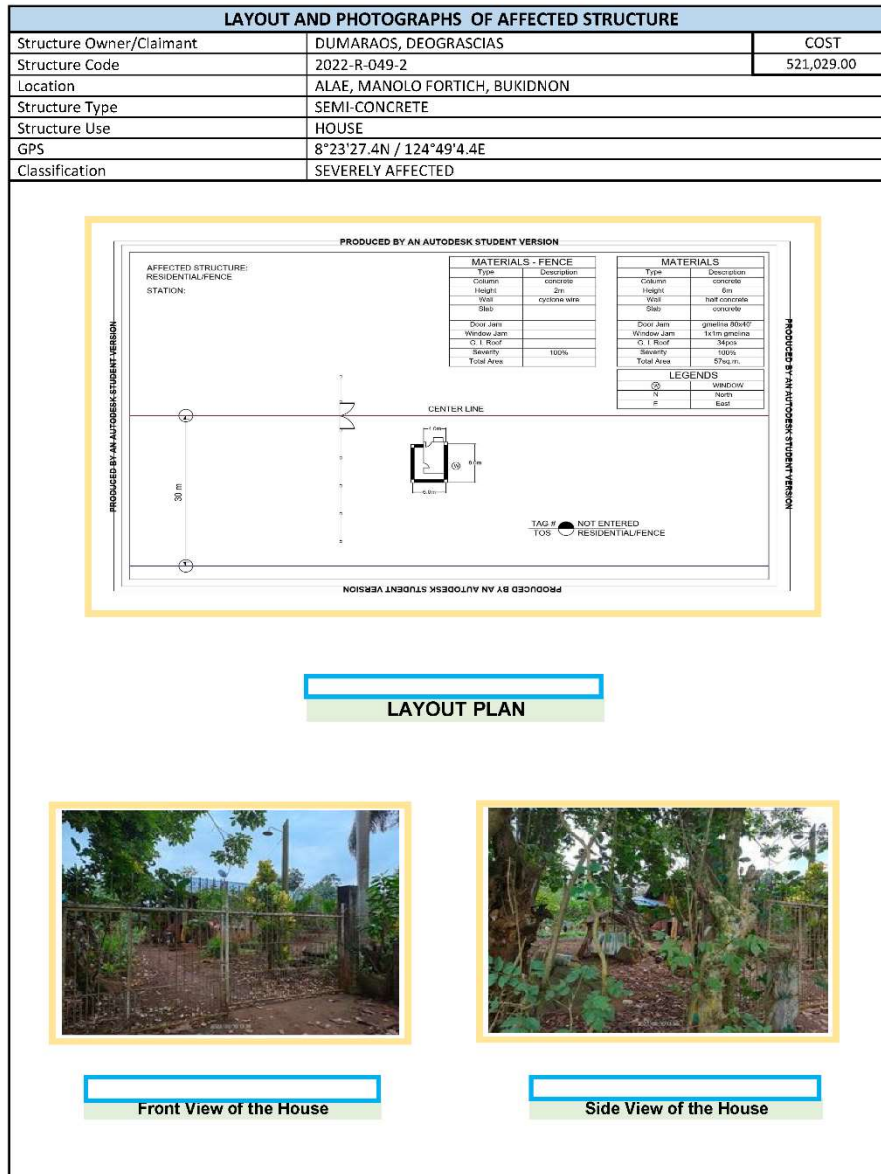
**Back/Left Side View
Residential**



**Left /Front Side View
Cage**

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	GENTE REIN FARM	COST
Structure Code	2021-R-049	71,317.72
Location	SAN MIGUEL, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	RESERVOIR	
GPS	8°38'27.4N / 124°82'45.4E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESERVOIR
STATION:
21+140

MATERIALS	
Type	Description
Column	0.400.4
Height	1.0m
Wall	1.00 CHB
Roof	3.0 corr.
Door Jam	
Window Jam	
Roof	
Severely	100%
Total Area	Sq.m

LEGENDS	
GO	WINDOW
N	North
E	East

LAYOUT PLAN

Front/right side view

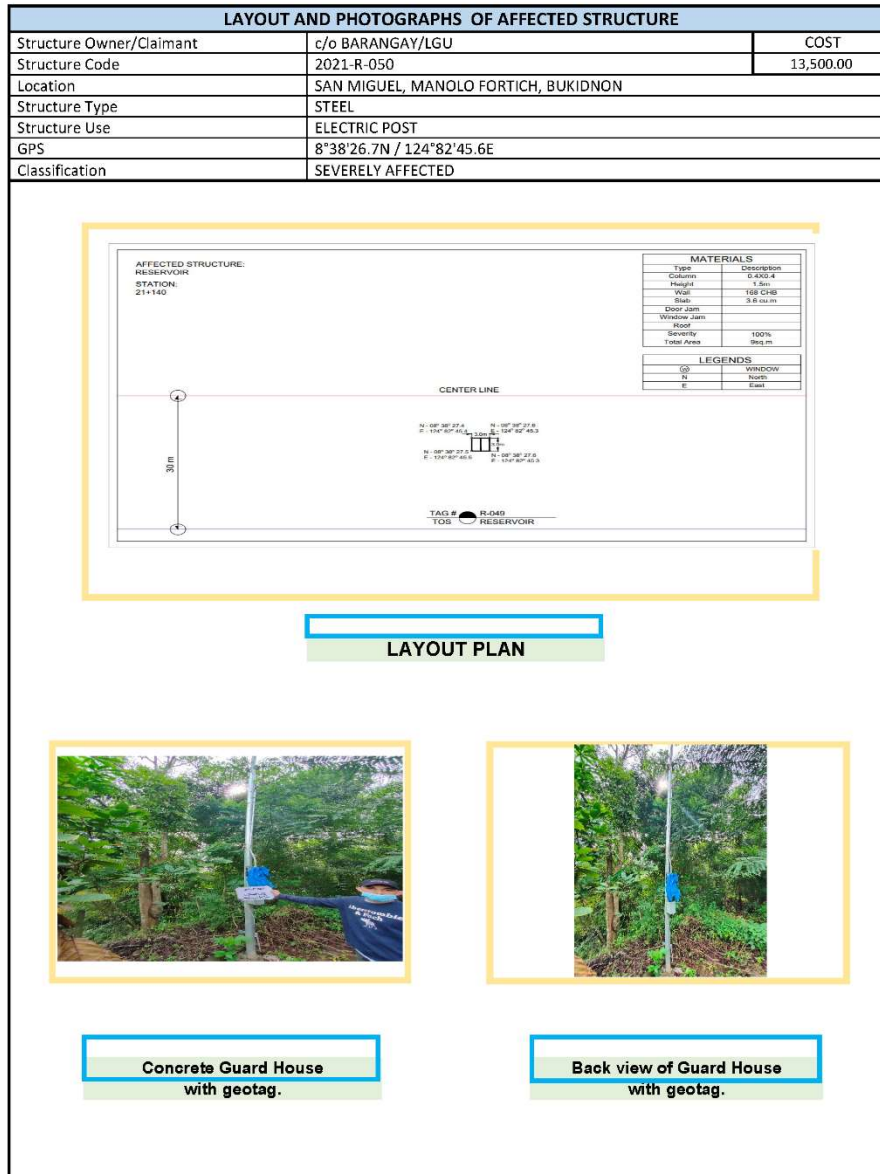
Left/Back side View



Interior View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-051	72,000.00
Location	SANKANAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°20'38.9N / 124°51'37.7E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
UTILITY POLE
STATION:
27+620

CENTER LINE

TAG # R-051
TOS UTILITY POLE

MATERIALS	
Type	Description
Columns	concrete
Height	15m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severity	100%
Total Area	

LEGENDS	
⊙	withhold
N	North
E	East

LAYOUT PLAN

Geo Tagging of Electric Post

Front View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BOUNTY FRESH	COST
Structure Code	2021-R-052	3,347,500.00
Location	SANKANAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	BUNK HOUSE, STORAGE & GUARD HOUSE	
GPS	8°20.617 / 124°51.984	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
BUNKHOUSE/STORAGE/GUARDHOUSE
STATION:
20+340

Type	Description
Columns	lumber 4x4 10 pcs
Height	12m
Wall	half concrete 300pcs/horizontal
Slab	concrete
Door Jam	bamboo 1.5x1.5m 8 pcs
Window Jam	100 pcs
G.I. Roof	100 %
Severely	100 %
Total Area	350 sq.m

Type	Description
Columns	lumber 4x4 10pcs
Height	8m
Wall	half concrete 1100 pcs
Slab	
Door Jam	
Window Jam	
G.I. Roof	70 pcs
Severely	100 %
Total Area	195 sq.m

Type	Description
Columns	lumber 4x4 5pcs
Height	5m
Wall	roof 12 pcs
Slab	
Door Jam	
Window Jam	
G.I. Roof	18 pcs
Severely	100 %
Total Area	16 sq.m

CENTER LINE

LEGENDS

(O)	Window
(N)	North
(E)	East

LAYOUT PLAN

**Tagging
Bunkhouse**

**Tagging
Storage**



**Right Side View
Bunkhouse**



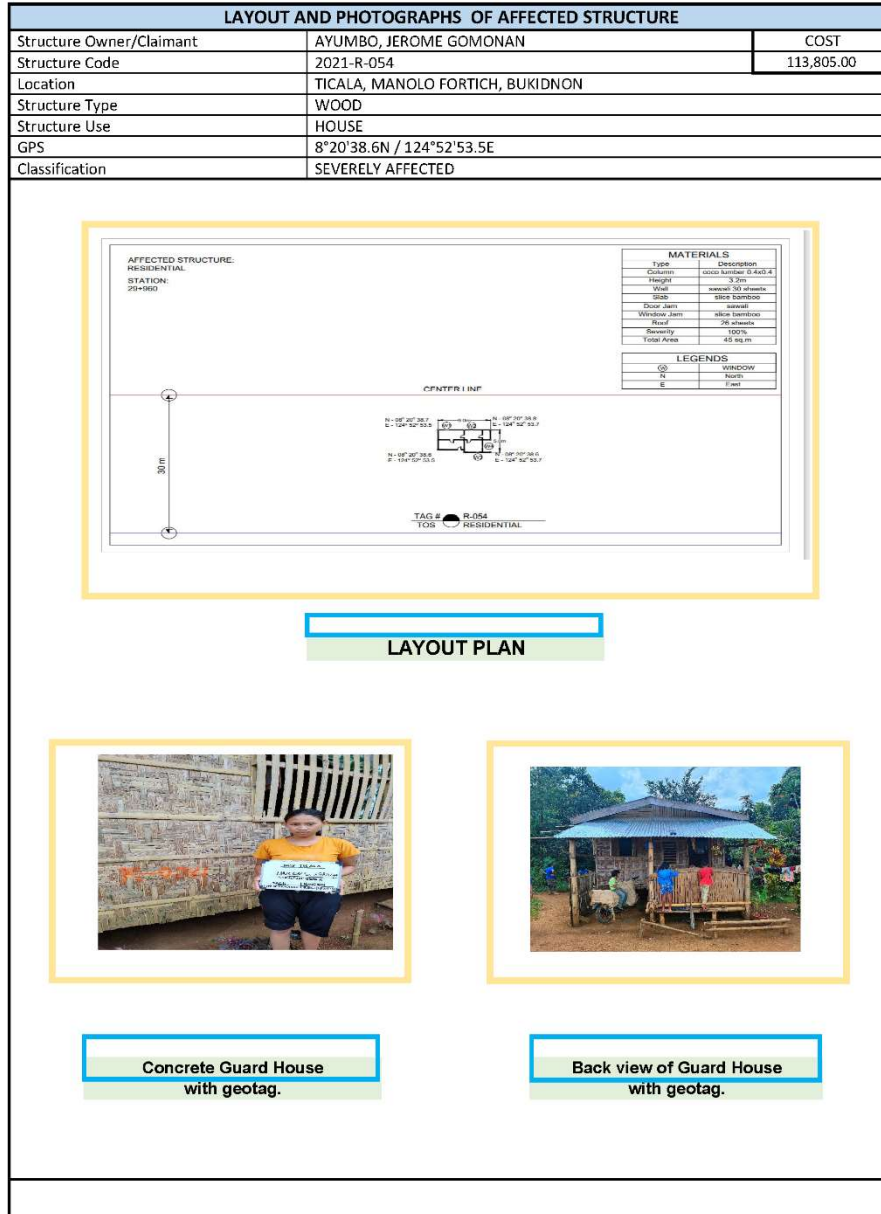
**Back/Left Side View
Bunkhouse**



**Left /Front Side View
Storage**

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



Back/Left Side View



Left /Front Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	AYUMBO, JUVY ATALAWAN	COST
Structure Code	2021-R-055	711,050.00
Location	TICALA, MANOLO FORTICH, BUKIDNON	
Structure Type	SEMI-CONCRETE	
Structure Use	HOUSE, CR & STORAGE	
GPS	8°20'38.9N / 124°52'53.3E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL/STORAGE/CR
STATION:
29+960

MATERIALS(R-055)		MATERIALS(R-055A)		MATERIALS(R-055B)	
Type	Description	Type	Description	Type	Description
Column	good lumber	Column	coco lumber	Column	coco lumber
Height	3.2m	Height	3m	Height	2.2m
Wall	1x4 good lumber	Wall	sewal/valce bamboo	Wall	CHB/valce bamboo
Slab	concrete	Slab	slate bamboo	Slab	concrete
Door Jam		Door Jam		Door Jam	
Window Jam		Window Jam		Window Jam	
G.I. Roof	30 sheets	G.I. Roof	6 sheets	G.I. Roof	3 sheets
Severity	100%	Severity	100%	Severity	100%
Total Area	77 sq. m	Total Area	12 sq. m	Total Area	1.5 sq. m

LEGENDS

CR	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging - Residential

Tagging - Cr



Left/Front Side View - storage



Right/Back View - cr



Back Side View



Right side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Front View



Back/Left Side View



Left /Front Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	AYSON, EDEN REY JAVIER	COST
Structure Code	2021-R-053	51,498.00
Location	SANKANAN, MANOLO FORTICH, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	STORAGE	
GPS	8°20'38.1N / 124°53'3.1E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
STORAGE
STATION:
208+420

CENTER LINE

TAG # R-053
YOS STORAGE

MATERIALS	
Type	2000 Lumen 2.4x2.4 ft
Quantity	8m
Height	1.8m
Width	1.8m
Depth	1.8m
Volume	5.832 m³
Weight	100%
Total Area	3.24 sq. m

LEGENDS	
	Structure
N	North
E	East

LAYOUT PLAN

Tagging

Front View



Right Side View



Interior View




Interior View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	LENTICAN, MATRONILLO SUMANGHID	COST
Structure Code	2021-R-057	81,250.00
Location	TICALA, MANOLO FORTICH, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°20'14.2N / 124°53'26.8E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION: 31+280




CENTER LINE

TAG # R-057
TOB RESIDENTIAL


MATERIALS(R-026C)	
Type	Description
Column	logical
Height	3m
Wall	seamless 10' steel
Slab	
Door Jam	slice bamboo
Window Jam	slice bamboo
G.I. Rod	16 sheets
Security	100%
Total Area	32.5 sq.m.

LEGENDS	
(□)	WINDOW
N	North
E	East

LAYOUT PLAN



Tagging with Home Owner



Back view



Front View



Back/Left Side View



Interior View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	LENTICAN, DANTE SUMANGHID	COST
Structure Code	2021-R-058	177,500.00
Location	TICALA, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE & CR	
GPS	8°20.241 / 124°53.439	
Classification	SEVERELY AFFECTED	

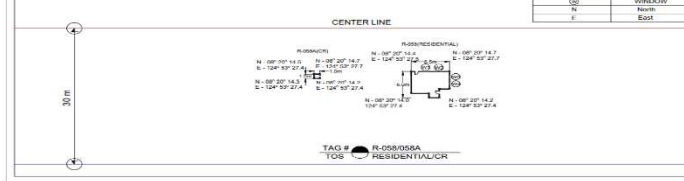
AFFECTED STRUCTURE:
RESIDENTIAL CR
STATION:
31+080

MATERIALS(R-05B)	
Type	Description
Columns	concrete
Height	3m
Wall	concrete
Door Jamb	slice bamboo
Window Jamb	slice bamboo
Roof	25% shingles
Severely	100%
Total Area	39 sq.m


MATERIALS(R-058A)	
Type	Description
Columns	3m
Height	CHB 100 gpm
Wall	3m
Door Jamb	Shapel
Window Jamb	2.1 Shapel
Roof	100%
Severely	100%
Total Area	1.96 sq.m

LEGENDS


(O)	WINDOW
N	North
E	East



LAYOUT PLAN



Tagging with Owner
Residential



Tagging with Owner
CR



Right Side View
residential



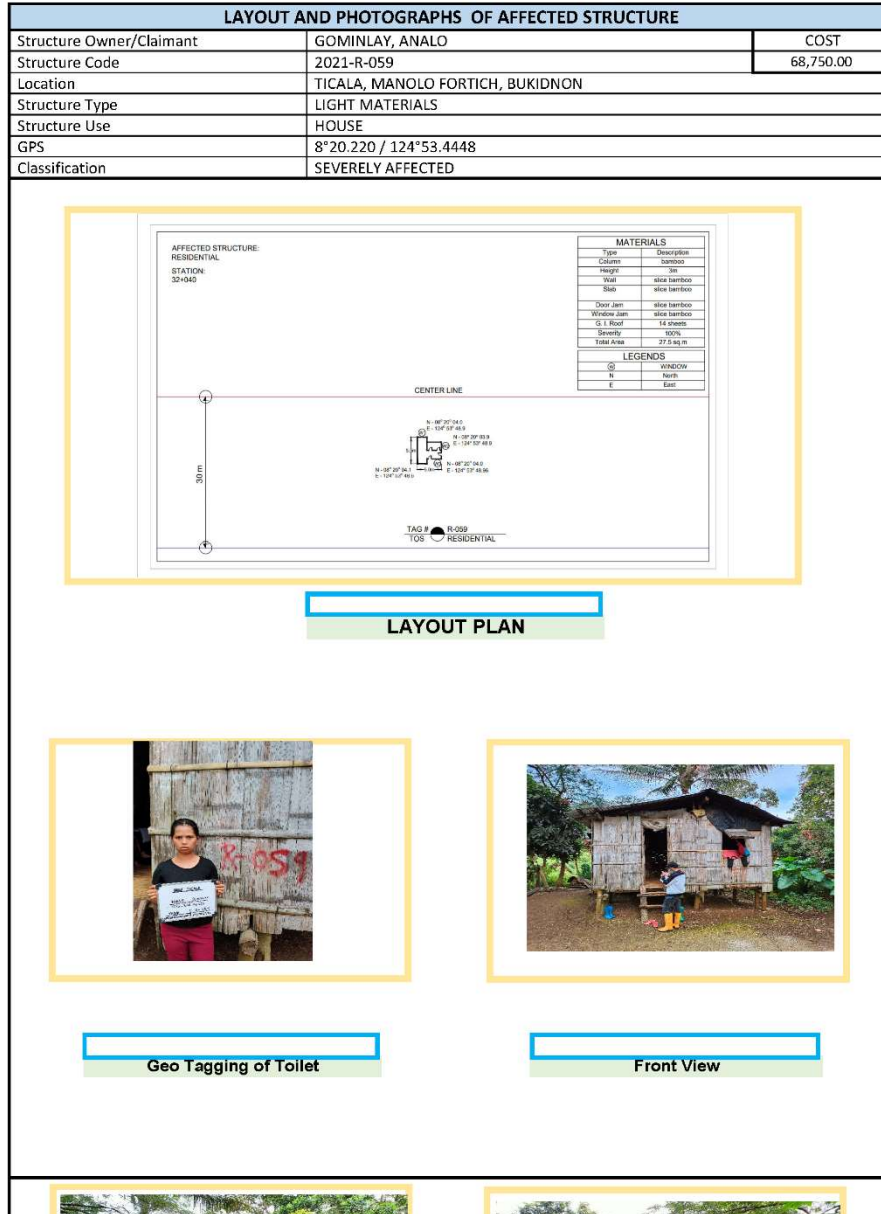
Back/Left Side View
residential



Left /Front Side View
CR

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

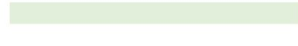
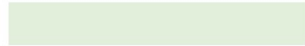




Left/Front Side View



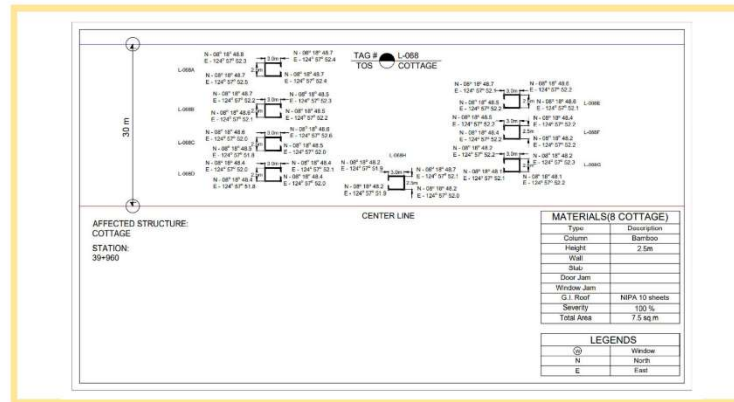
Right/Back View



Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BENOUNG, ROBERT	COST
Structure Code	2021-R-071	72,000.00
Location	POBLACION, SUMILAO, BUKIDNON	
Structure Type	WOOD	
Structure Use	COTTAGES	
GPS	8°18'49.1N / 124°57'52.5E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



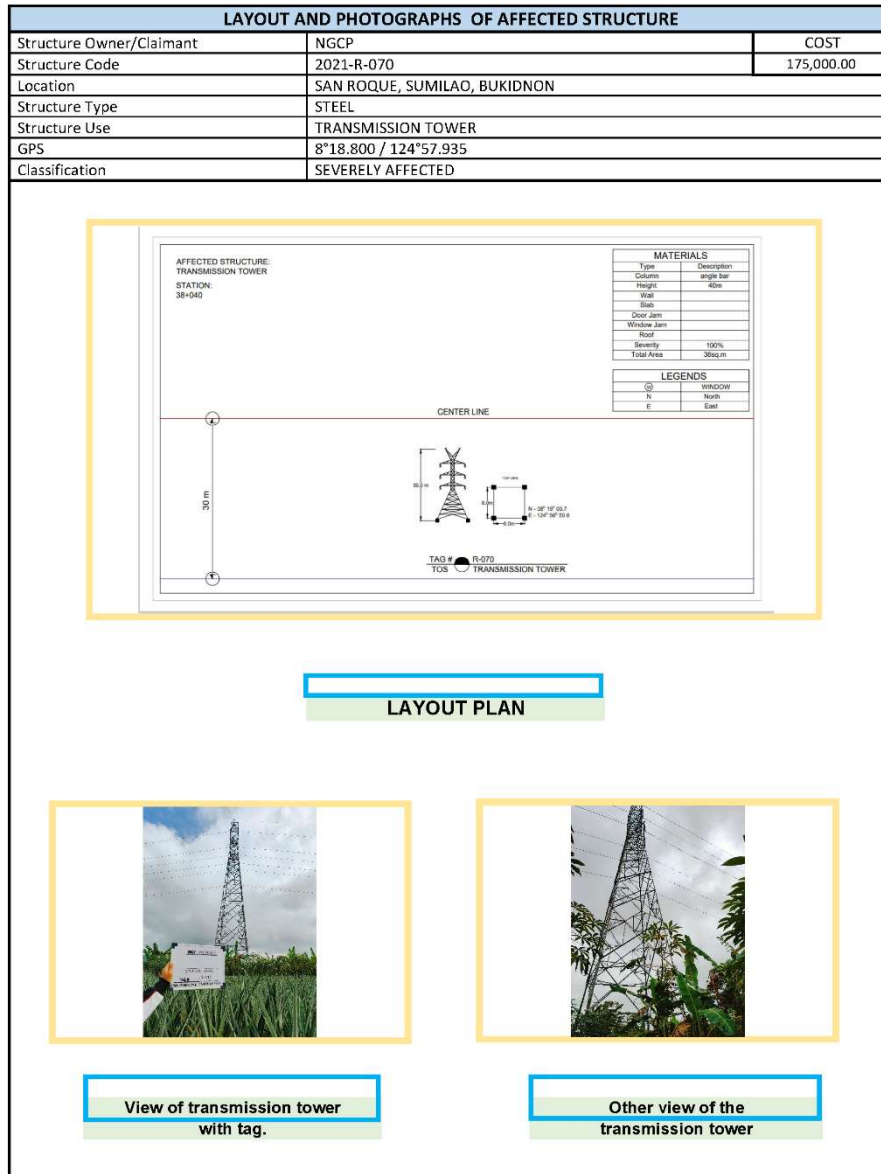
View of cottage with tag.



Other view of the cottage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





BACK VIEW
CR



BACK VIEW
RESIDENTIAL



Left Side View



Rear View

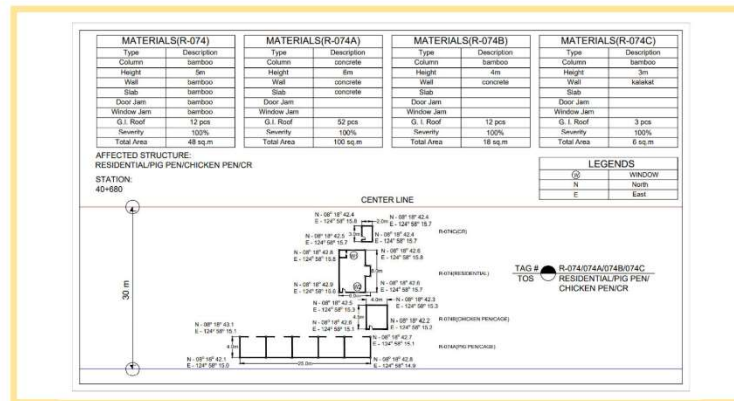


Interior View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HEINRICH, WILLIAMS DALAGUIADO	COST
Structure Code	2021-R-074	412,600.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE, CAGES & CR	
GPS	8°18'42.9N / 124°58'15.6E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



tagging with owner
Residential



tagging with owner
Cage



front view - residential



Left view
cage

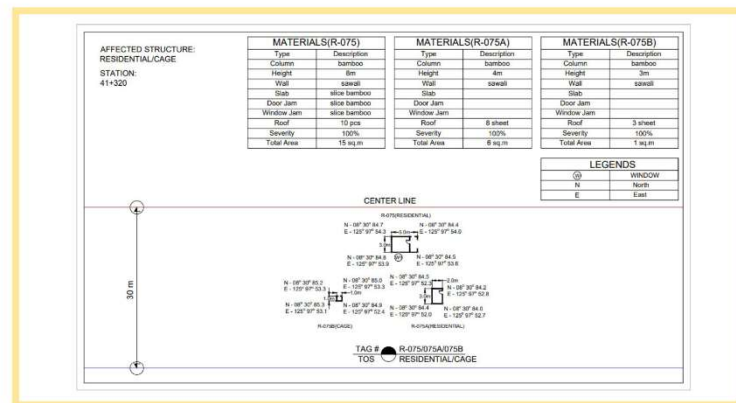


rear view
Cage

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ONLAY, RAYMOND PACAMALAN	COST
Structure Code	2021-R-075	46,500.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSES	
GPS	8°18'42.9N / 124°58'15.6E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Front View
Residential

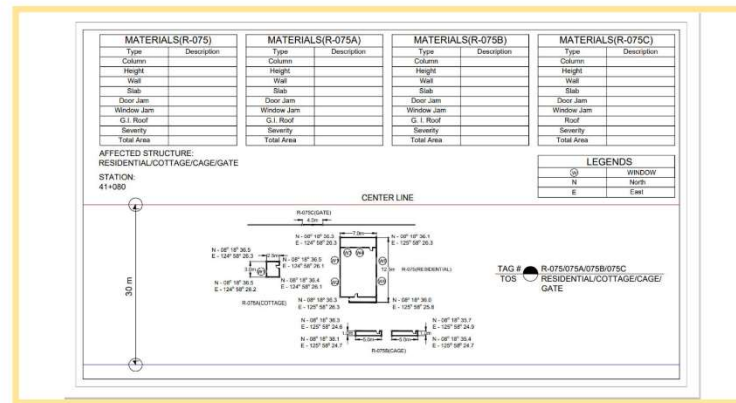


Front View
cage

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ROSALES, JOVANIE SAAMSON	COST
Structure Code	2021-R-076	813,750.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE, COTTAGE, CAGE & GATE	
GPS	8°18'36.3N / 124°58'26.3E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with owner
residential



tagging with owner
cottage



LEFT SIDE VIEW



STEEL GATE



REAR VIEW

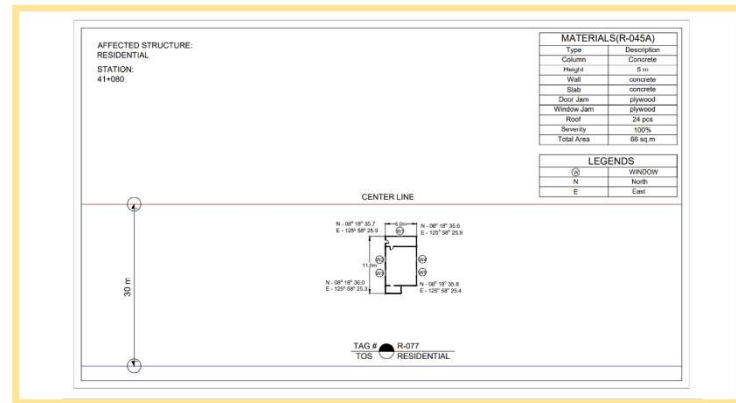


RIGHT/REAR VIEW

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	SERANTE, ELADIO JR. CABELIADAS	COST
Structure Code	2021-R-077	462,000.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE	
GPS	8°18'35.8N / 124°58'25.4E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Front view

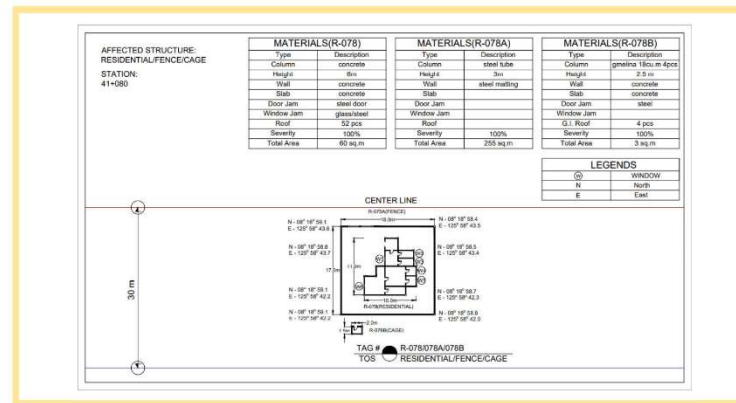


Left side view

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	PANES, RICKY PALMES	COST
Structure Code	2021-R-078	1,122,000.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE & FENCE	
GPS	8°18.595 / 124°58.431	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with owner
residential



tagging with owner
cottage



LEFT SIDE VIEW



RIGHT SIDE



REAR VIEW

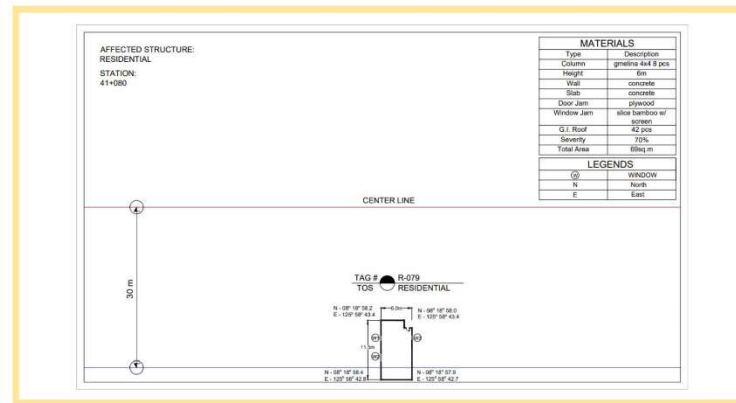


RIGHT/REAR VIEW

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BAHIAN, JUDITH TIPALAN	COST
Structure Code	2021-R-079	517,500.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE	
GPS	8°18.585 / 124°58.430	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Rear view



Front/right side view

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-080	40,320.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°18.582 / 124°58.433	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION: 41+080



CENTER LINE

TAG # R-080
TOS ELECTRIC POST

MATERIALS	
Type	Description
Column	Steel
Height	15m
Wall	
Slab	
Door Jam	
Window Jam	
G. I. Roof	
Severity	100%
Total Area	

LEGENDS	
(G)	WINDOW
N	North
E	East

LAYOUT PLAN



View of electric post with tag.

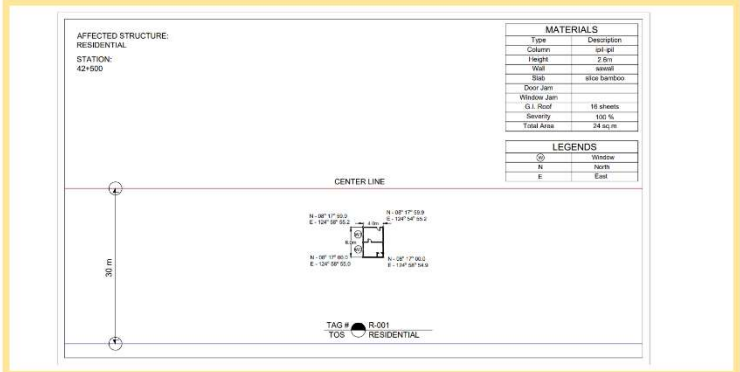


Full view of the electric post.


Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2021-R-001	83,811.60
Location	POBLACION, IMPASUG-ONG, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE	
GPS	8°17'59.9N / 124°58'55.2E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the affected structure.



Front/Left Side View



Right Side View



Right side view.



back side view.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	DESIRDO, JULITA	COST
Structure Code	2021-R-002	52,382.25
Location	POBLACION, IMPASUG-ONG, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	STORAGE	
GPS	8°17'59.9N / 124°58'55.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
44+400

CENTER LINE

30 m

3.0 m

3.0 m

TAG R-002
TOS RESIDENTIAL

MATERIALS	
Type	Description
Column	gal-gal
Roof	2.5m
Wall	aloe bamboo
Slab	aloe bamboo
Door Jam	
Window Jam	10 sheets
G.I. Roof	100 %
Severity	100 %
Total Area	15 sq.m

LEGENDS	
GO	Window
IN	Door
SE	East

LAYOUT PLAN

Tagging of the affected structure.

Front/Left Side View



Right Side View



Left side view.



back side view.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2021-R-003	26,191.13
Location	LA FURTONA, IMPASUG-ONG, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	STORAGE	
GPS	8°16'38.1" / 124°59'58.9"	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
COTTAGE
STATION:
47+340

CENTER LINE

TAG # 18-003
TOB COTTAGE

MATERIALS	
Type	Description
Column	bamboo
Height	4m
Wall	wall
Slab	slice bamboo
Door Jam	wall
Window Jam	slice bamboo
G.T. Roof	metal
Security	100%
Total Area	7.5 sq.m

LEGENDS	
(O)	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the affected structure.

Front/Left Side View



Right Side View



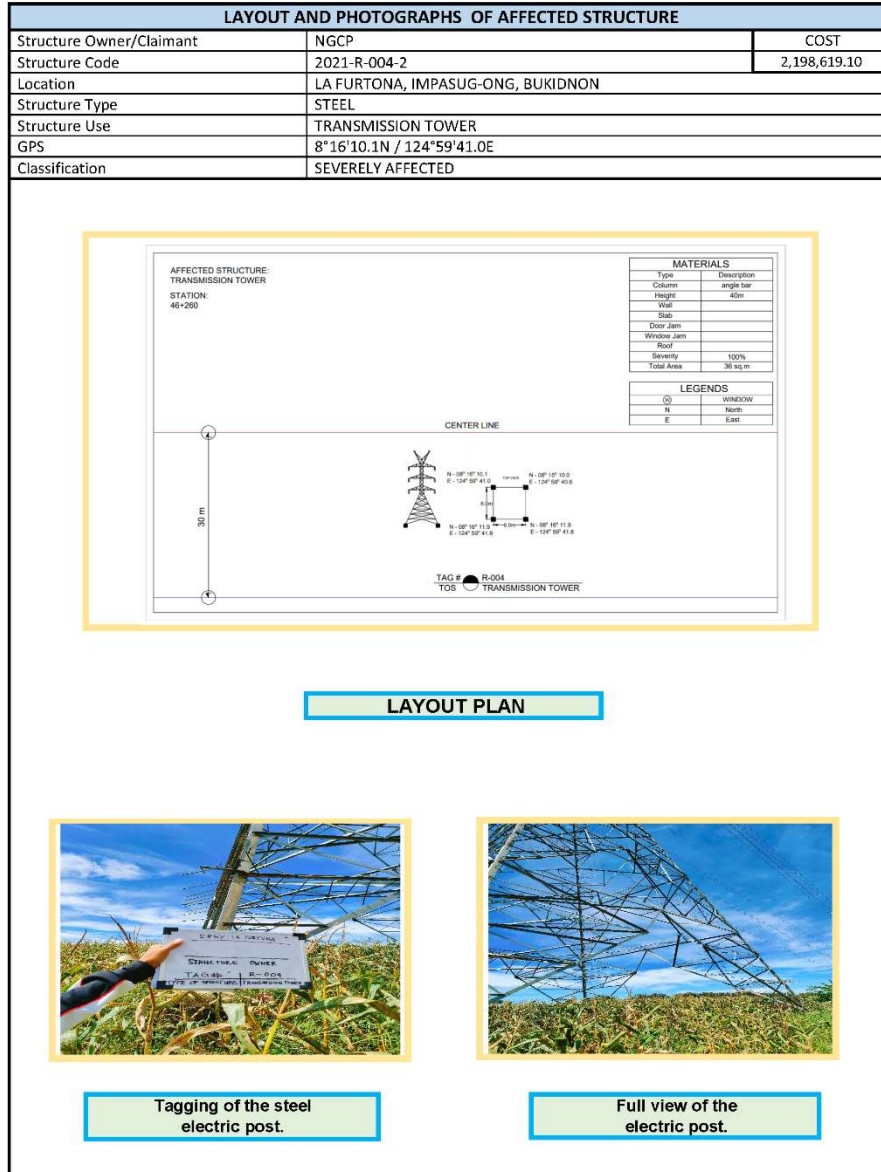
Right side view.



back side view.

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TOMINAO, JOSEPHINE UNDURAN	COST
Structure Code	2021-R-005	304,000.00
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE	
GPS	8°15'32.6N / 125°0'35.1E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION: 48+040

CENTER LINE

TAG # R.005
TOS RESIDENTIAL

MATERIALS	
Type	Description
Column	coco lumber
Height	6m
Wall	concrete
Slab	concrete
Door Jam	82"x60"
Window Jam	60"x60"
C/F Roof	25 sheets
Severity	100%
Total Area	40 sq.m

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

House tagging with the owner.

Front Side View



Front/Right Side View



Back Side View



Left side view

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ARCELLA, JOEL ROA	COST
Structure Code	2021-R-006	141,643.60
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°15'32.5N / 125°0'35.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
48+060

CENTER LINE

TAG # R-006
TOB RESIDENTIAL

MATERIALS	
Type	Description
Column	Cement
Height	4m
Wall	hardflex 12 pcs
Slab	concrete
Door Jam	slip bamboo
Window Jam	hardflex
C.T. Roof	10 sheets
Severity	100%
Total Area	36 sq.m

LEGENDS	
CS	WINDOW
N	North
E	East

LAYOUT PLAN

House tagging w/ the owner.

Front Side View



Left/Front Side View



Right Side View



Back/Left Side View



Inside view of the house.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	PADOLI, RAMONITO FERNANDEZ	COST
Structure Code	2021-R-007	182,113.20
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	SEMI-CONCRETE	
Structure Use	HOUSE	
GPS	8°15'32.2N / 125°0'35.1E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
48+060

CENTER LINE

30 m

10.3m

10.3m

TAG # R-007
TOS RESIDENTIAL

MATERIALS	
Type	Description
Column	coconut lumber
Height	4m
Wall	concrete
Slab	concrete
Door Jam	plywood
Window Jam	slice bamboo
Cl. Roof	28 shingle
Severity	100%
Total Area	72 sq.m

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Structure tagging w/ the owner.

Front/Right Side View



Back/Left Side View



Right Side View



Back Side View



Kitchen and Dining Room

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-008-2	132,300.00
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	STAGE	
GPS	8°15'37.7N / 125°0'29.6E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
STAGE
STATION:
48+060

MATERIALS	
Type	Description
Columns	
Height	
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severely	100%
Total Area	

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the structure.

Frontal View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TINOBALE, ELMER DALIGDIG	COST
Structure Code	2021-R-009-2	244,450.50
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE, STORAGE & CAGE	
GPS	8°15'37.1N / 125°0'29.0E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL/STORE/CAGE
STATION:
48+080

MATERIALS(R-009)	
Type	Description
Column	concrete
Height	6m
Wall	concrete
Slab	concrete
Door Jam	plywood
Window Jam	plywood
C.I. Roof	24 pcs
Severity	100%
Total Area	70 sq.m

MATERIALS(R-009A)	
Type	Description
Column	
Height	
Wall	
Slab	
Door Jam	
Window Jam	
C.I. Roof	
Severity	
Total Area	

MATERIALS(R-009B)	
Type	Description
Column	
Height	
Wall	
Slab	
Door Jam	
Window Jam	
C.I. Roof	
Severity	
Total Area	

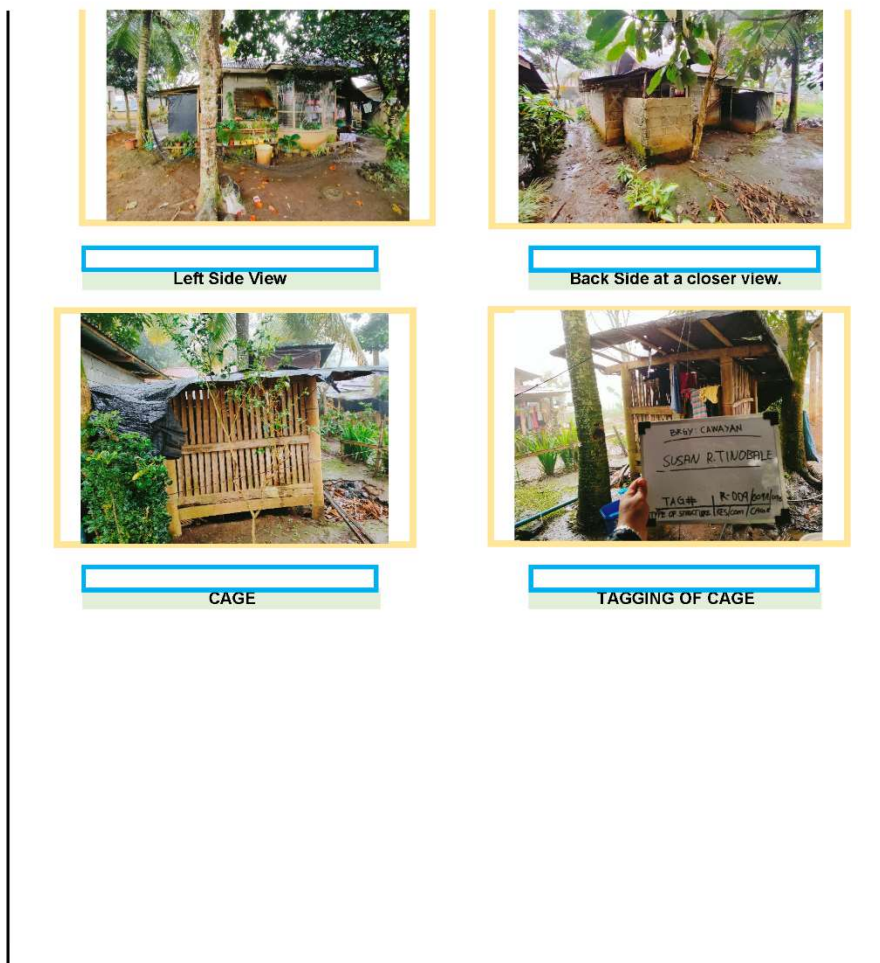
LEGENDS

⊙	WINDOW
N	North
E	East

LAYOUT PLAN

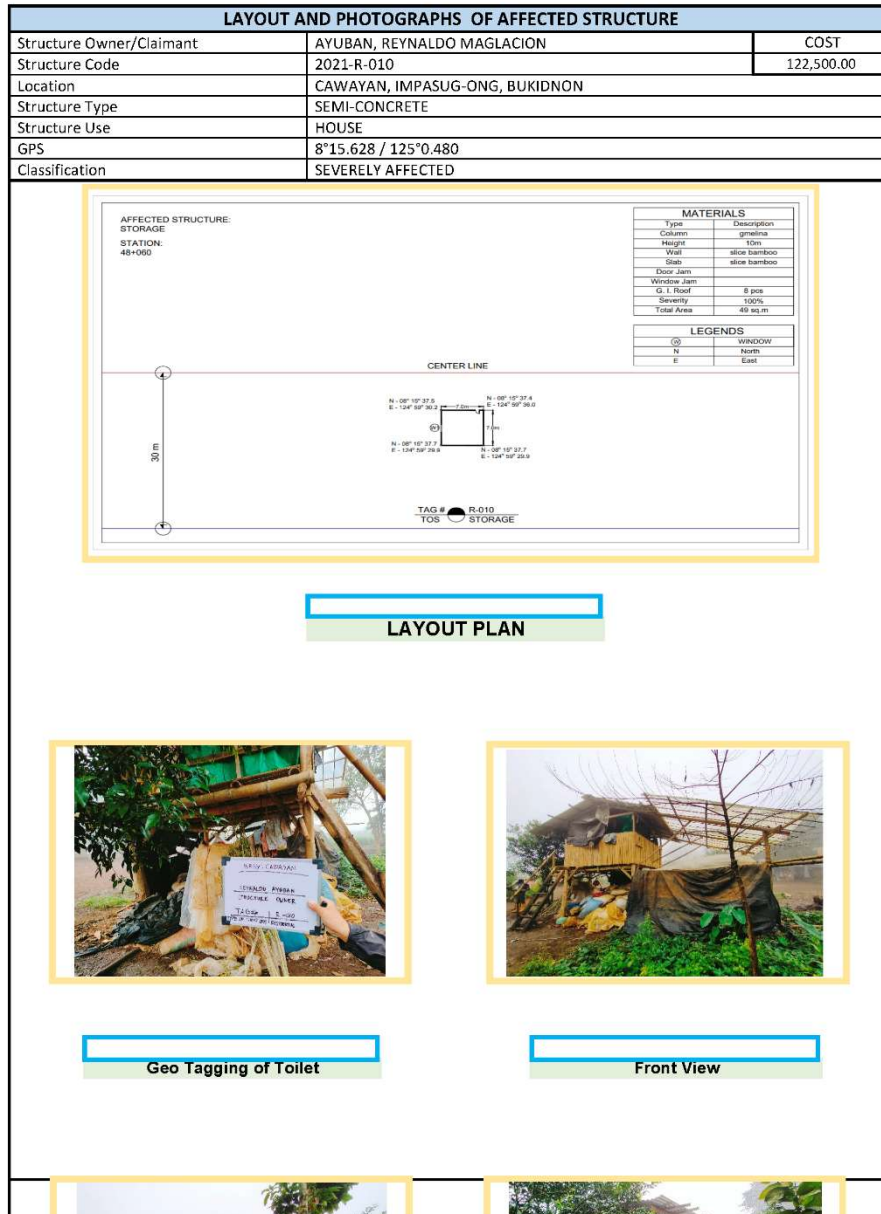
Tagging with Home owner

Front View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



Back Side at a closer view.

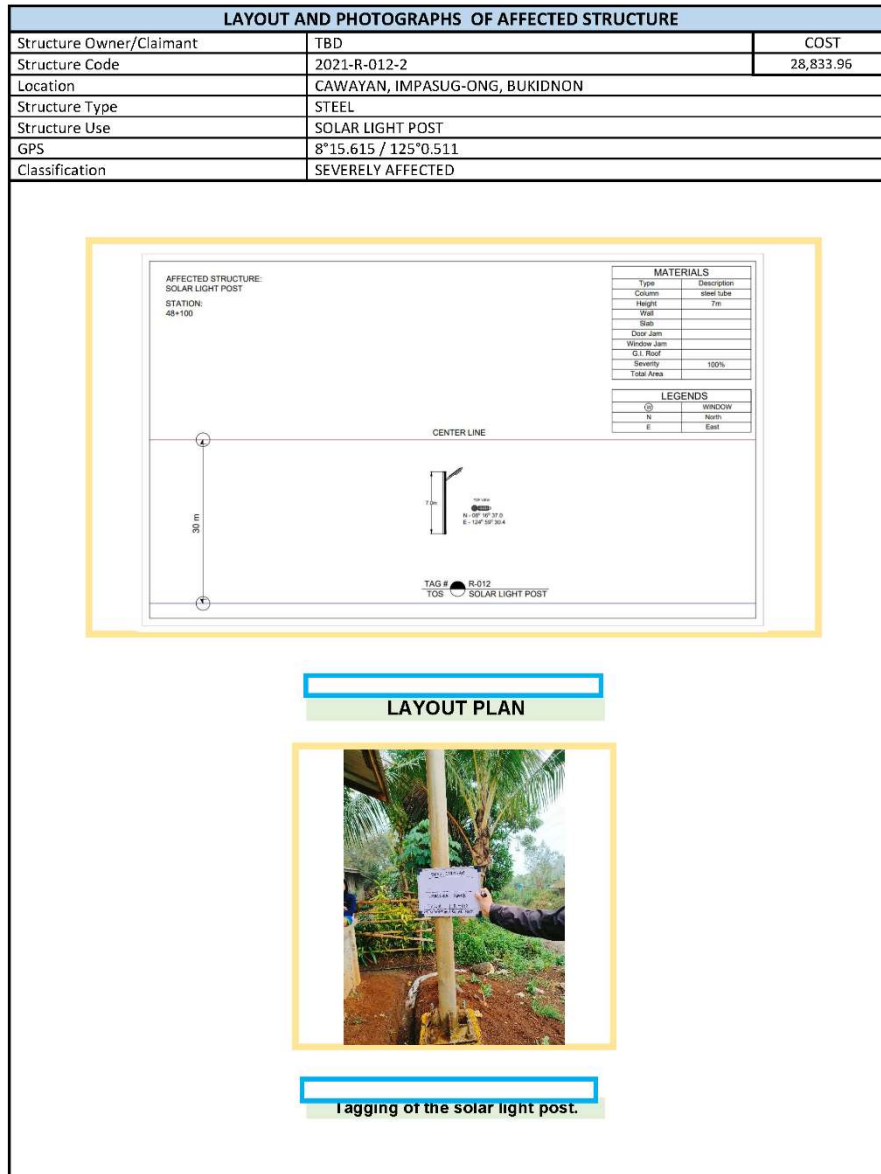
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



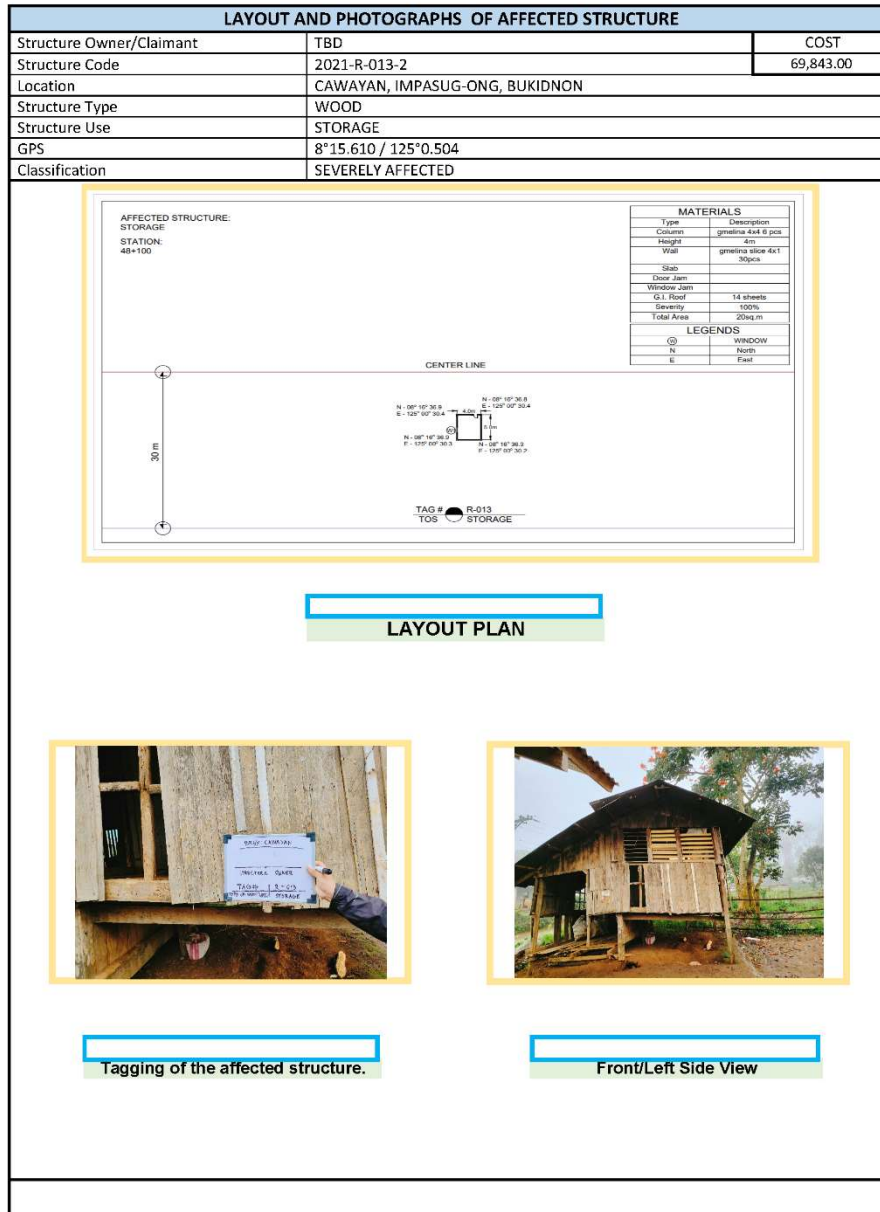
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



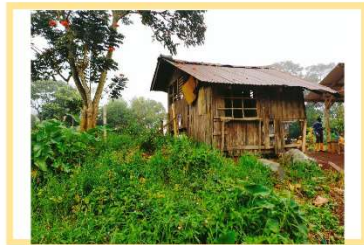
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

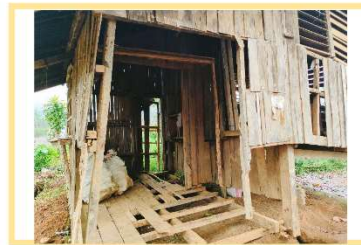




Right Side View



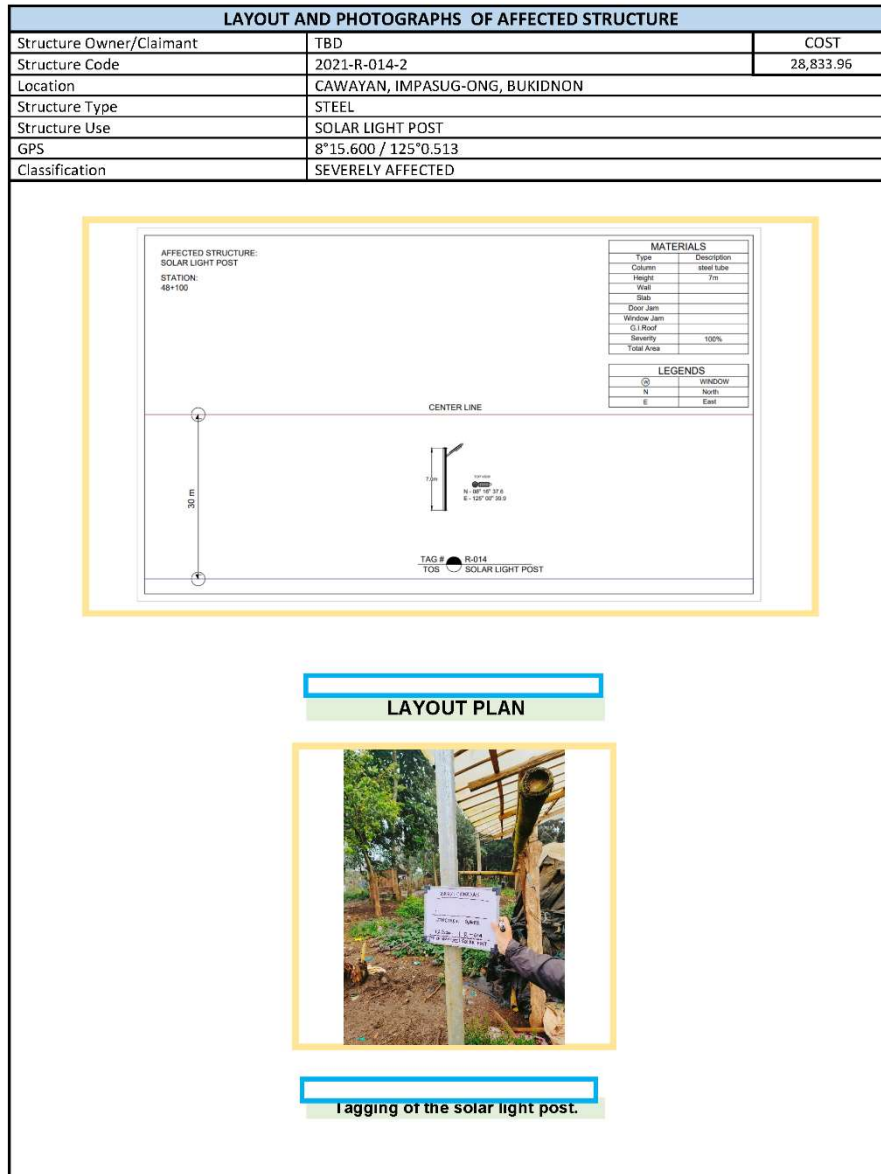
Left side view.



Closer side view.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HINONGSALAO, MARILOU N	COST
Structure Code	2021-R-015	202,544.70
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°15.600 / 125°0.515	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
48+120

CENTER LINE

TAG # R-015
TOS RESIDENTIAL

MATERIALS	
Type	Description
Column	galvanized steel pipe
Roof	5 m
Wall	bamboo
Floor	slip bamboo
Door/Jam	bamboo
Window/Jam	slipwood
Oil Wood	20 square
Severity	100%
Total Area	58 sqm

LEGENDS	
Symbol	Description
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the affected structure.

Front/Left Side View



Right Side View



Right side view.



Storage back side view.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-016	35,000.00
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°15.604 / 125°0.510	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:
45+120

MATERIALS	
Type	Description
Column	steel tube
Height	8m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severity	100%
Total Area	

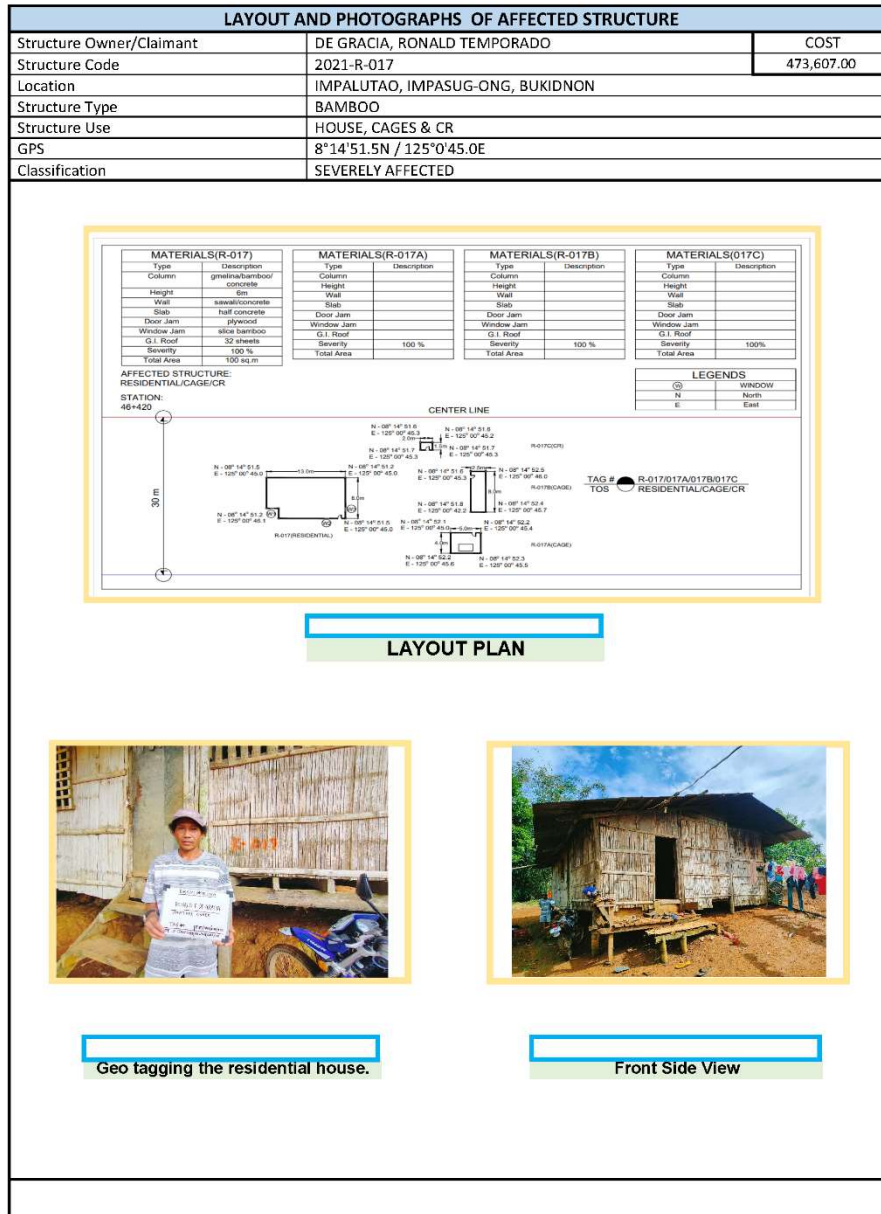
LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the Electrical post.

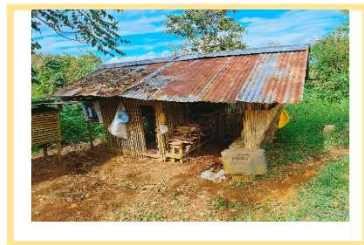
Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Left / Front View



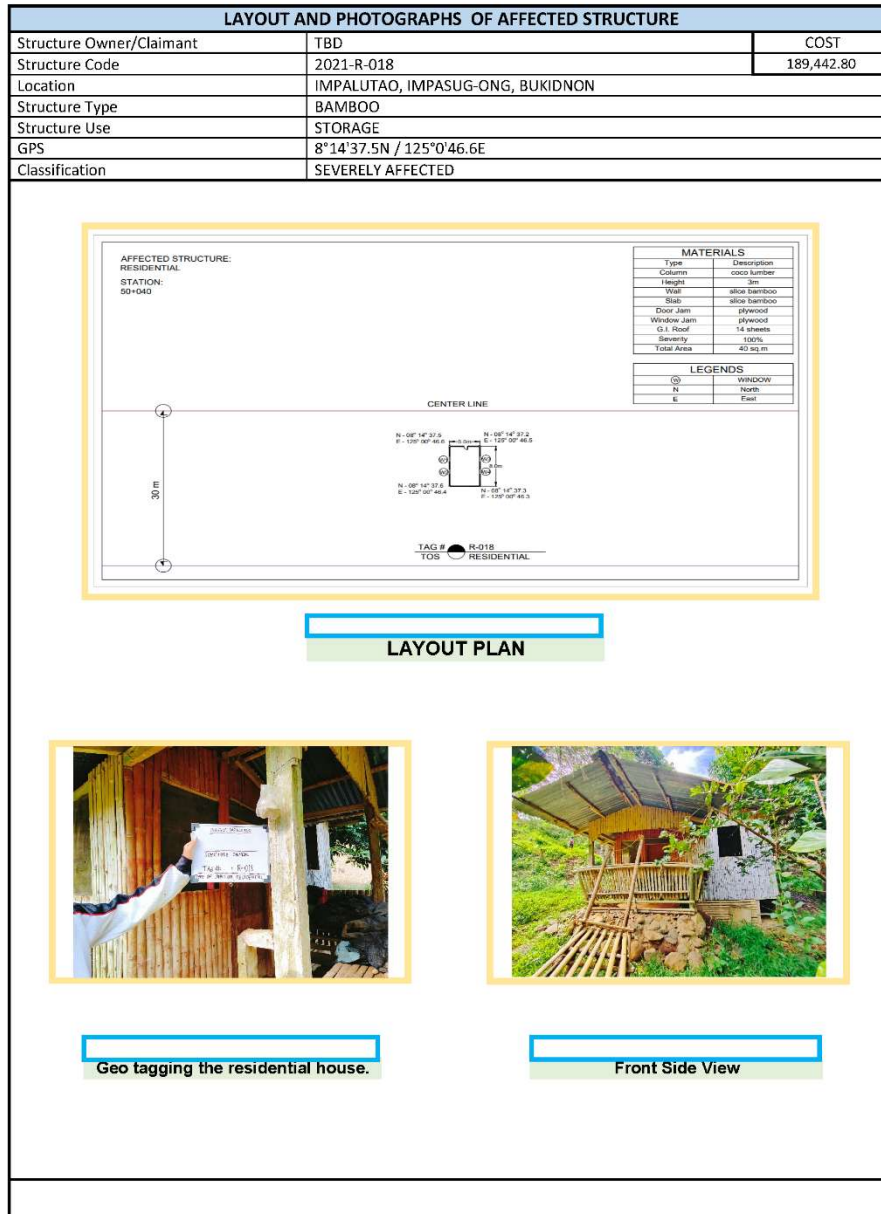
Front / Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left / Front View



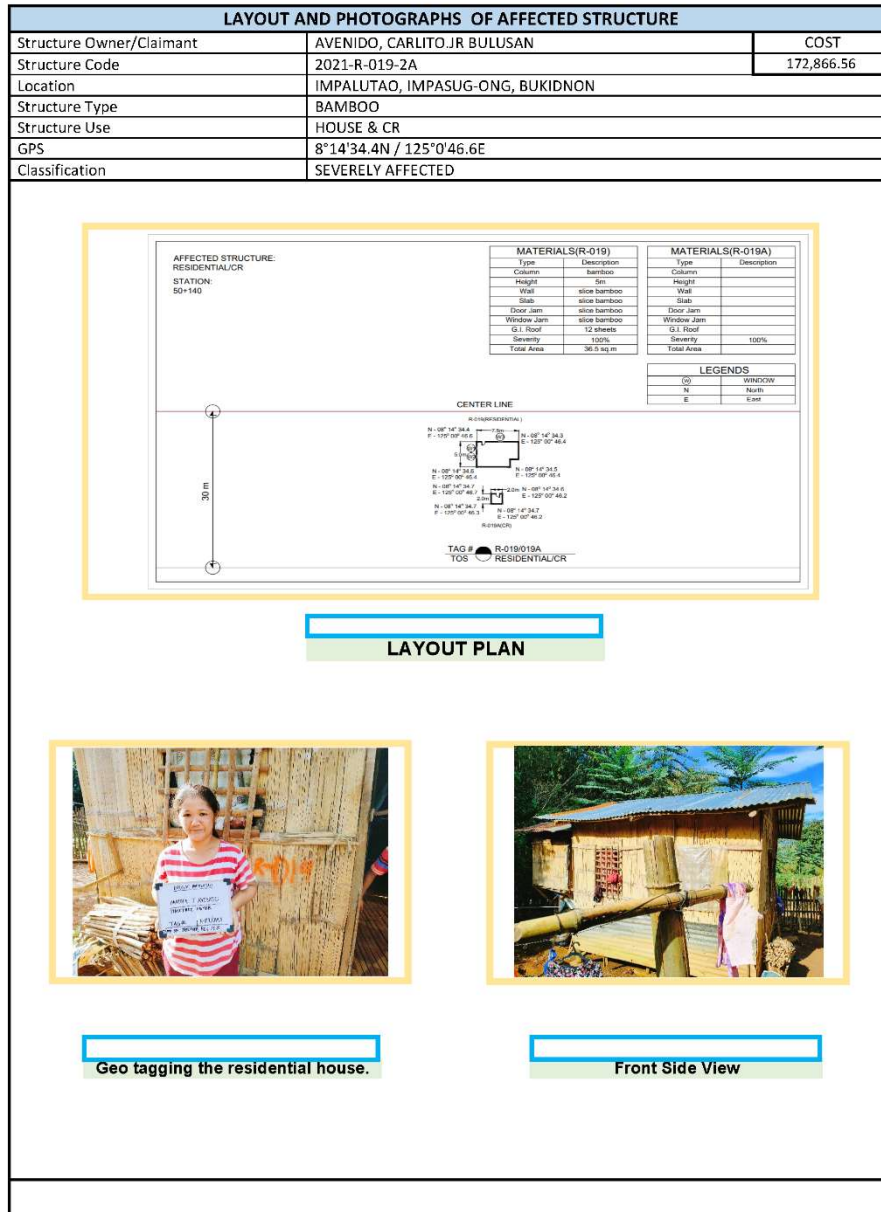
Front / Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Left / Front View



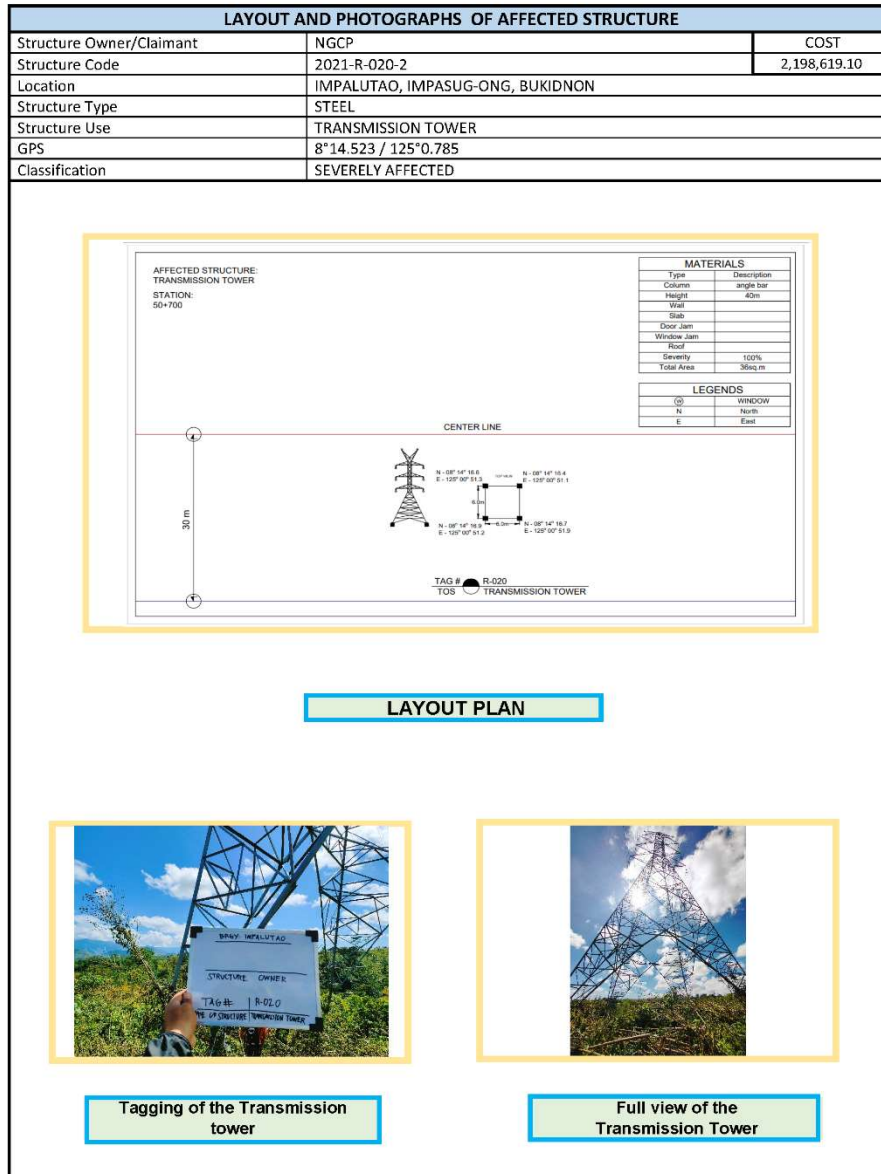
Front / Right Side View



Back Side View

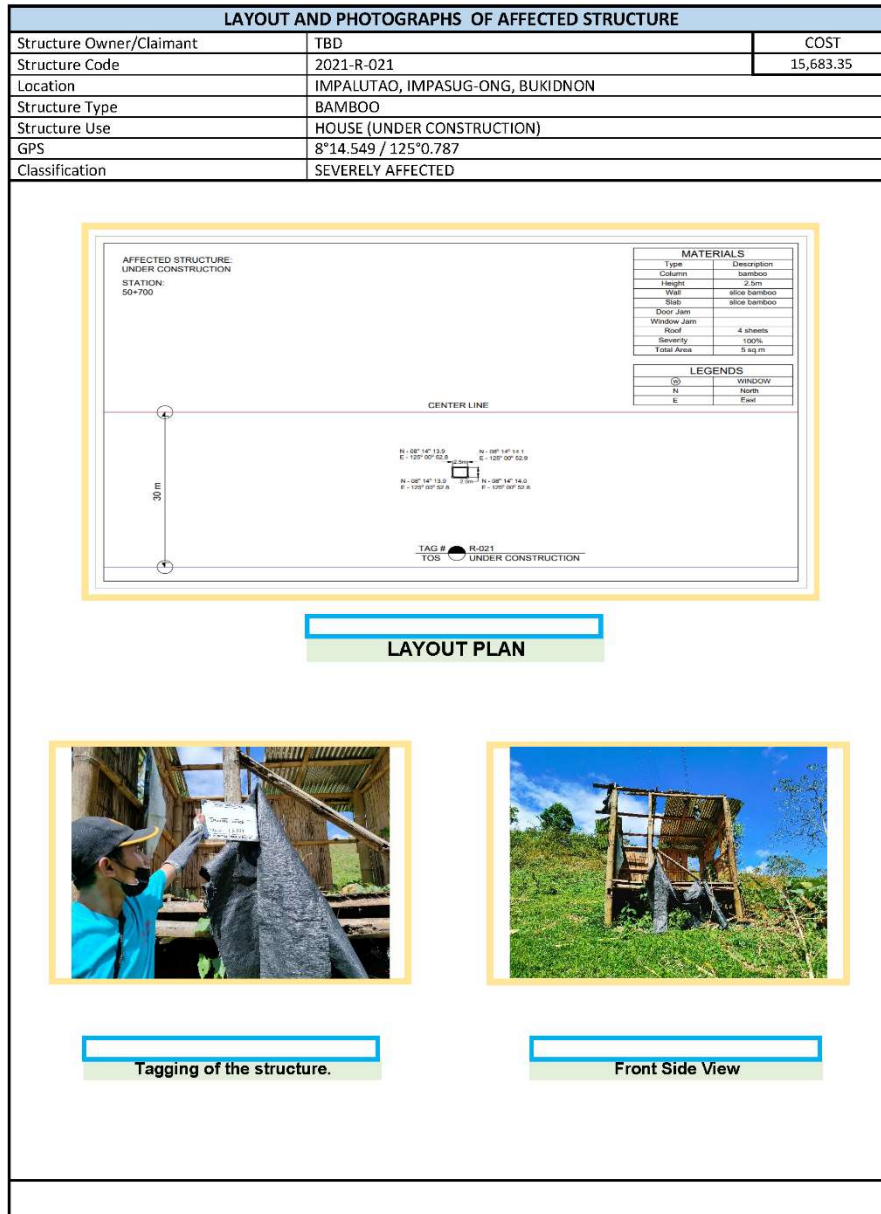
Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



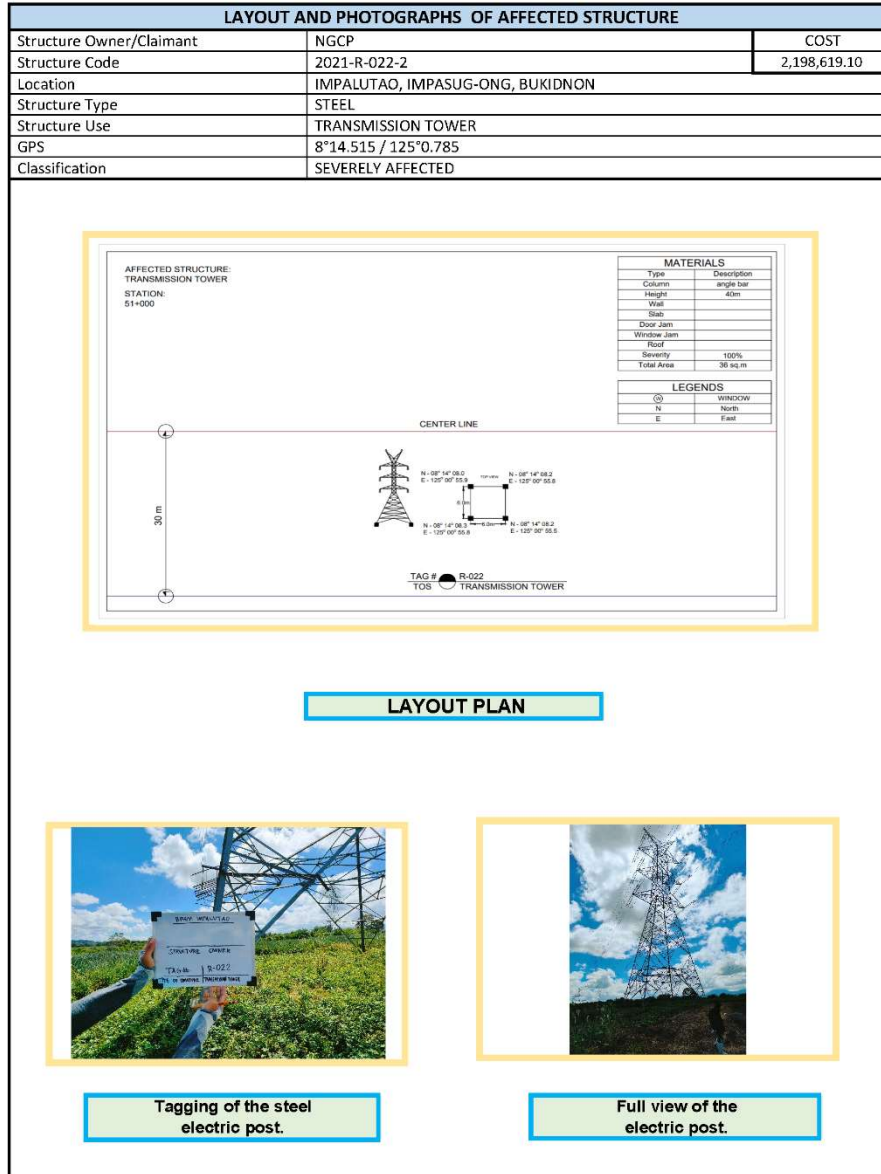
Right Side View



Back Side View

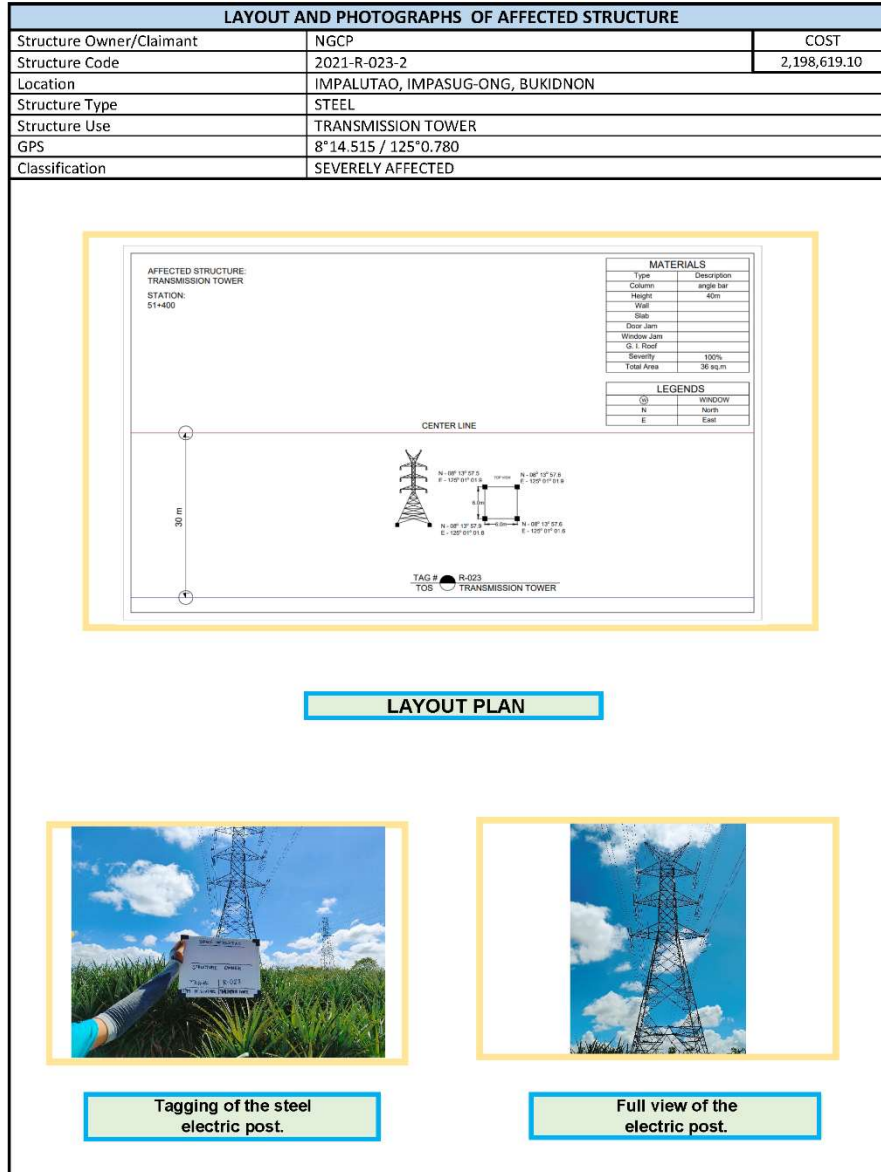
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2021-R-024-2	94,721.40
Location	IMPALUTAO, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°13'26.0N / 125°1'21.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
52+540

MATERIALS	
Type	Description
Column	baun 22cm Ø pole
Roof	4m
Wall	ssawal
Door	slice bamboo
Door Jam	
Window Jam	14 sheet
Roof	
Severely	100%
Total Area	20 sq.m

LEGENDS	
GO	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging the house

Front Side View



Left/Front Side View



Other shot for the Left/Front view.



Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-025-2	4,000.00
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	BRIDGE	
GPS	8°12'58.9N / 125°1'43.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
BAMBOO BRIDGE
STATION:
53+600

CENTER LINE

PERSPECTIVE

N - 08° 12' 58.9
E - 125° 01' 43.5

TAG # R.025
TOS BAMBOO BRIDGE

MATERIALS-Bamboo

Type	Description
Column	
Height	
Wall	
Slab	
Door Jam	
Window Jam	
Roof	
Severely	100%
Total Area	

LEGENDS

⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the fence.


Full view of the fence.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-026-2	20,499.15
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°12'48.2N / 125°1'59.2E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:
53+160



CENTER LINE


30m

TAG # R-026
TOS ELECTRIC POST


MATERIALS	
Type	Description
Columns	Concrete
Height	
Wall	
Slab	
Door Jamb	
Window Jamb	
Roof	
Severity	100%
Total Area	

LEGENDS	
GO	Window
N	North
E	East

LAYOUT PLAN



Structure tagging



Other side of the picture

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-027-2	20,499.15
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°12'48.5N / 125°1'58.8E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC POST
STATION:
S4+160

CENTER LINE

30 m

TAG # R-027
TOS ELECTRIC POST

MATERIALS	
Type	Description
Column	concrete
Height	
Wall	
Slab	
Door/Jam	
Window/Jam	
G.I. Rod	
Severely	100%
Total Area	

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Structure tagging

Other side of the picture

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2021-R-028-2	6,200.00
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	STEEL	
Structure Use	SIGNBOARD	
GPS	8°12'48.7N / 125°1'58.4E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
SIGNBOARD
STATION:
54+160



CENTER LINE


PERSPECTIVE

TAG # R-028
TOS SIGNBOARD


MATERIALS	
Type	Description
Column	3 steel tube
Height	3.5m
Wall	
Roof	
Door Jam	
Window Jam	
G.I. Rod	
Severely	100%
Total Area	1 sq.m

LEGENDS	
(□)	WINDOW
N	North
E	East

LAYOUT PLAN



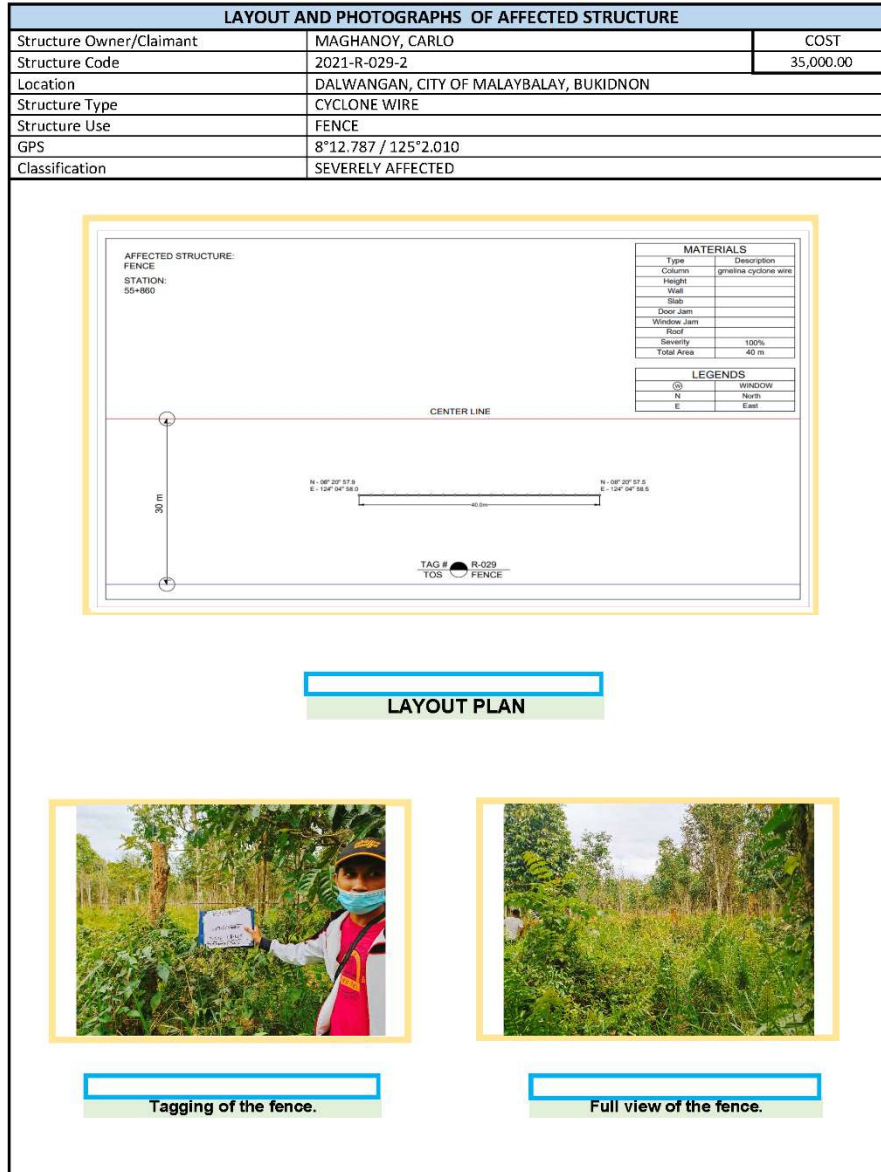
Tagging of the structure.



Front Side View

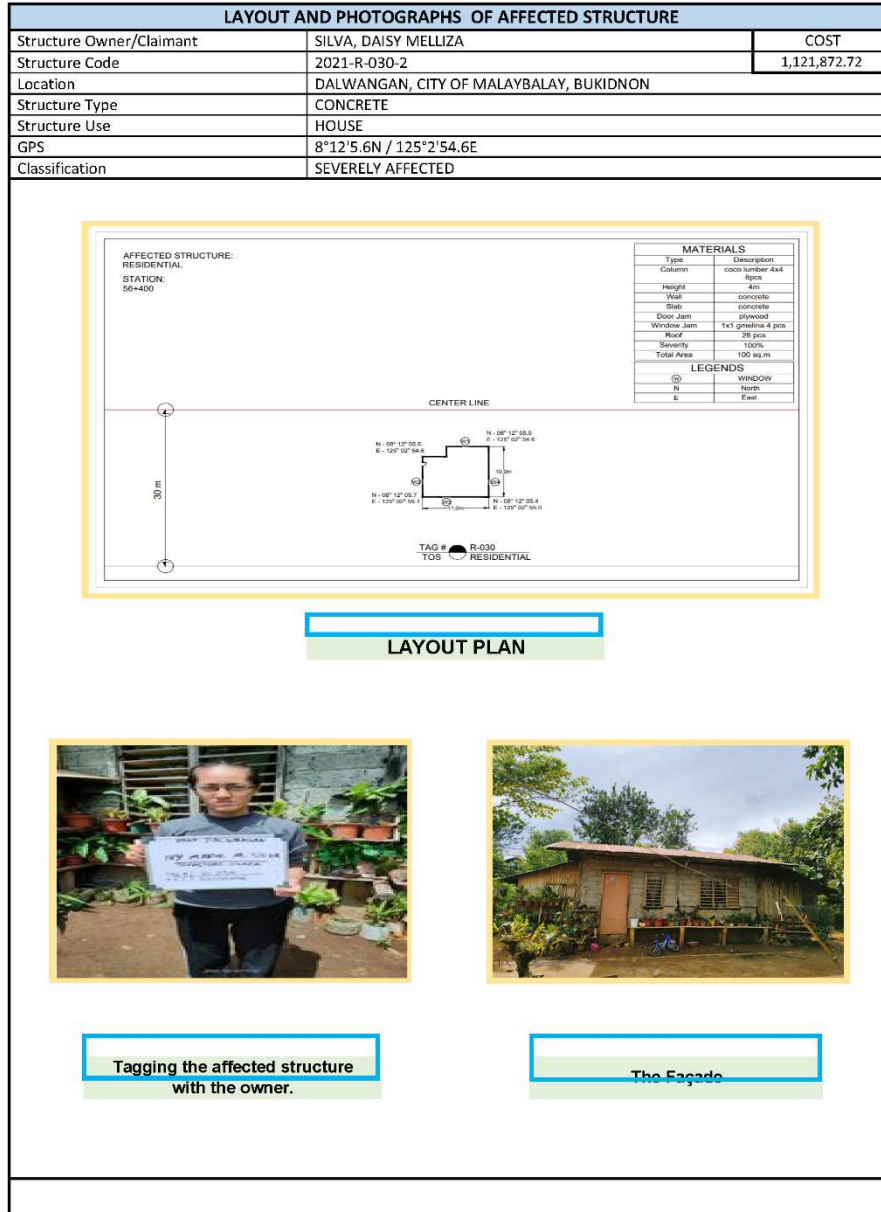
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





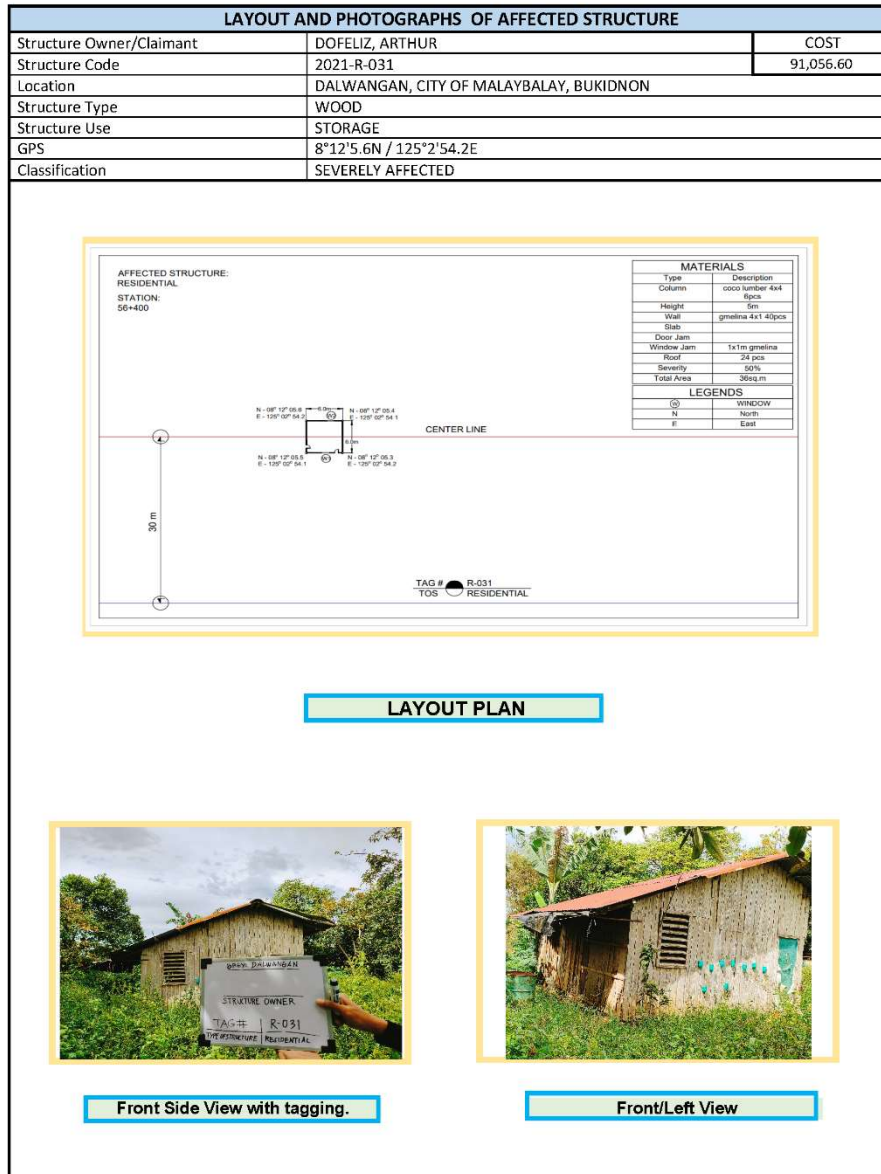
Left Side View



Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-032-2	28,833.96
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°12'5.6N / 125°2'54.9E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC SERVICE POST
STATION:
56+400

CENTER LINE

TAG # R-032
TOS ELECTRIC SERVICE POST

MATERIALS	
Type	Description
Column	steel tube
Height	6m
Wall	
Slab	
Door Jam	
Window Jam	
Roof	
Severely	100%
Total Area	

LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the electric post.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-R-033-2	28,833.96
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°12'5.3N / 125°2'55.0E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
ELECTRIC SERVICE POST
STATION:
56+420

MATERIALS	
Type	Description
Column	steel tube
Height	6m
Wall	
Slab	
Door Jam	
Window Jam	
Roof	
Severity	100%
Total Area	

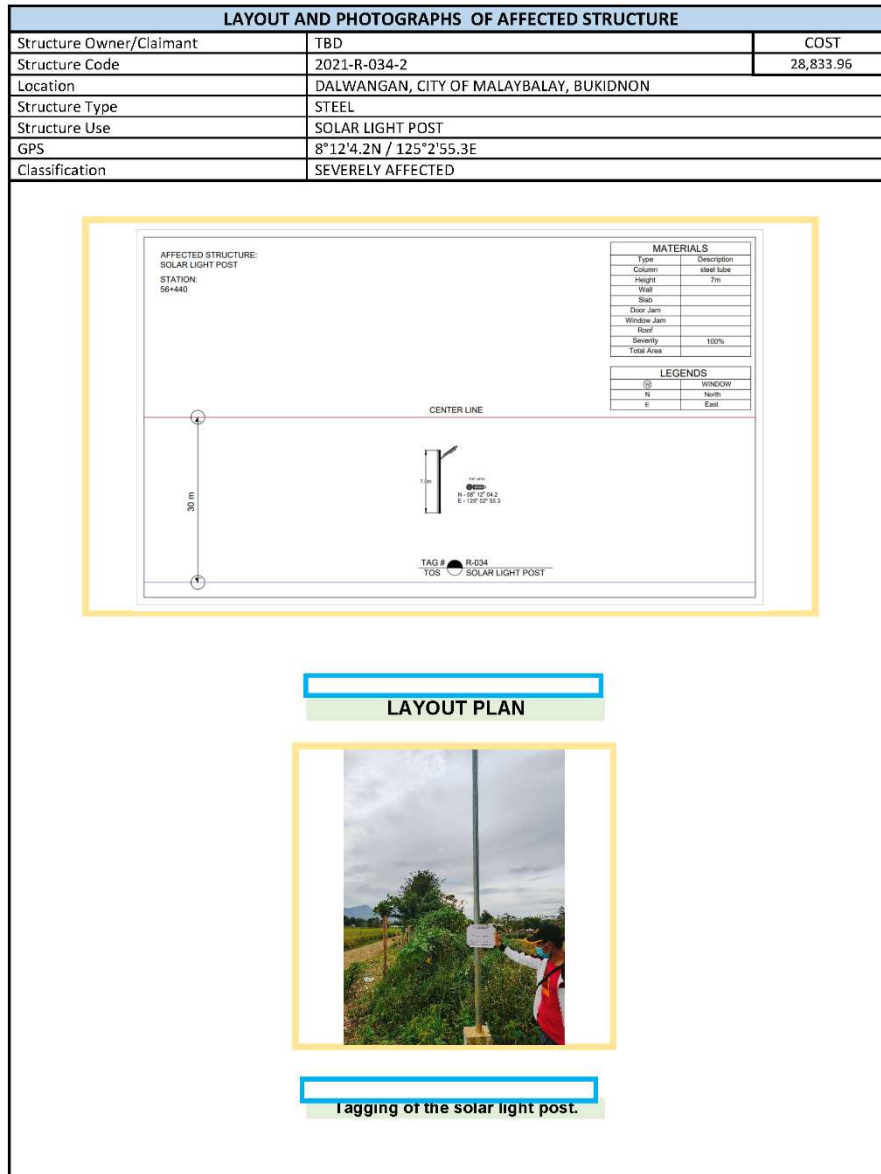
LEGENDS	
OS	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging of the electric post.

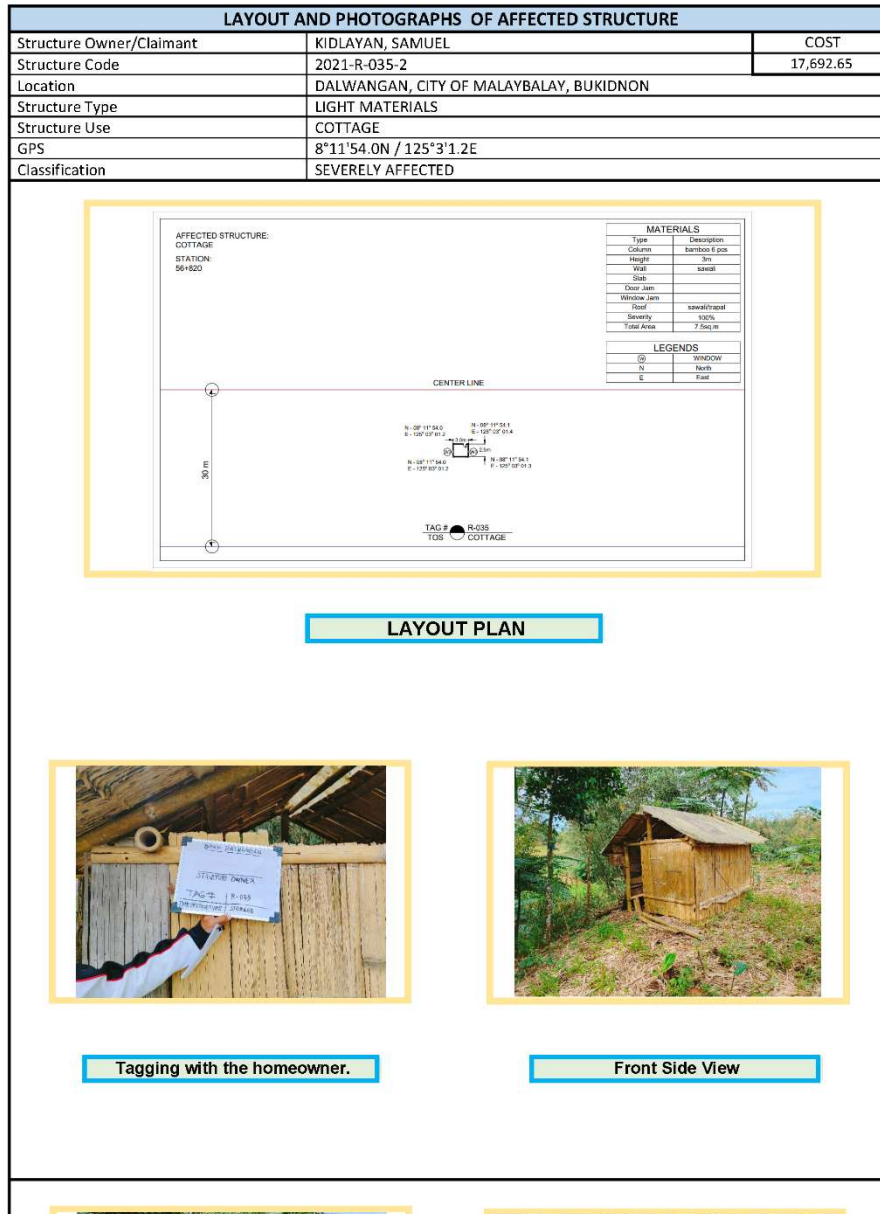
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

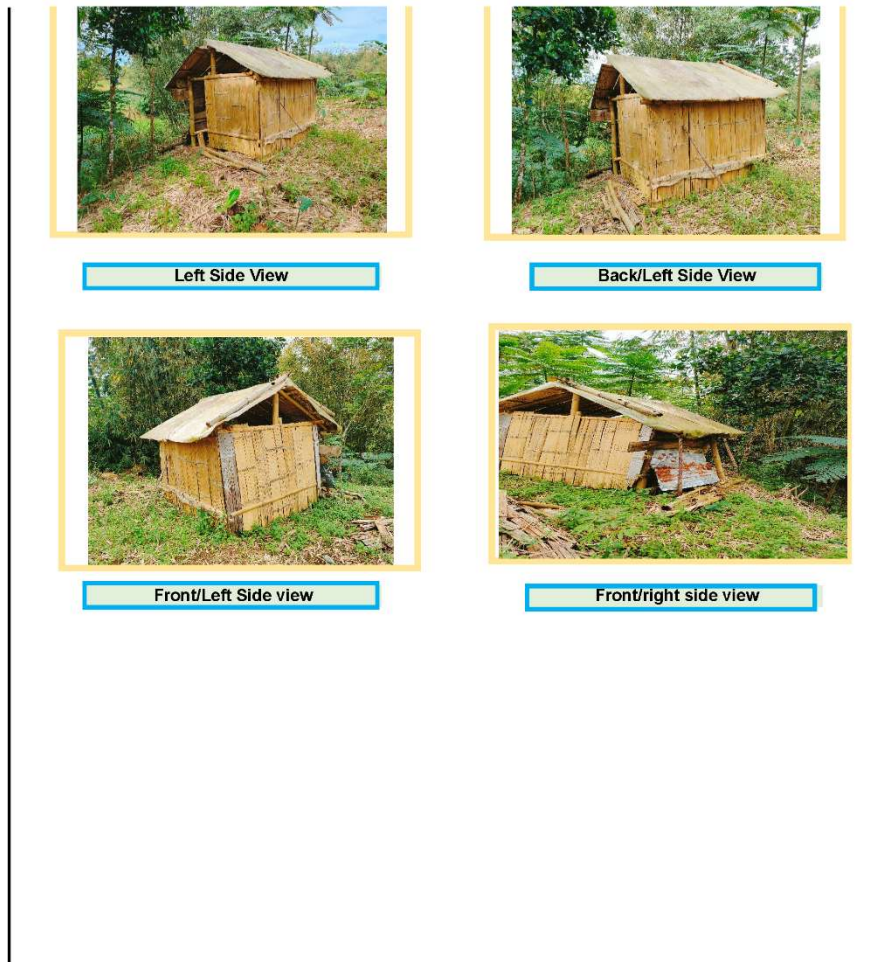
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

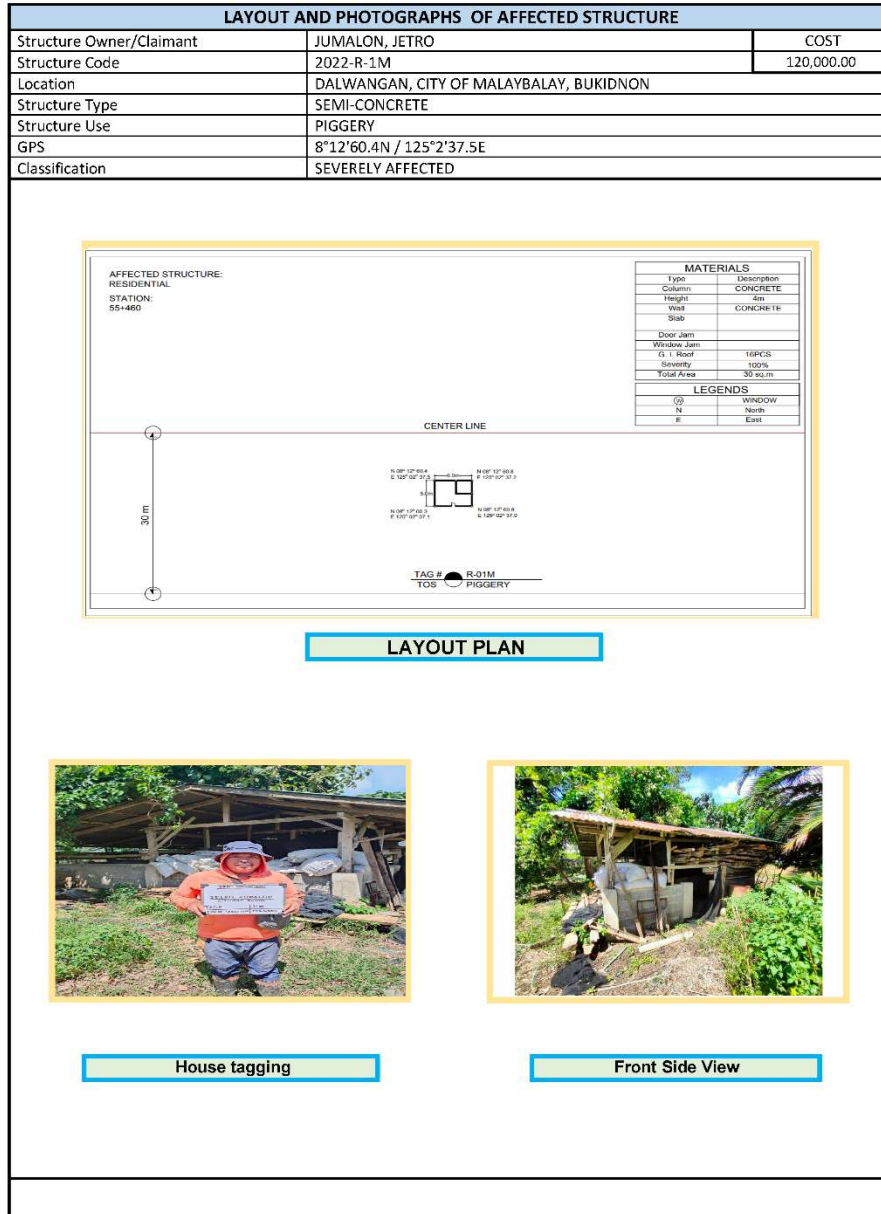
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Back side View



Interior View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	JUMALON, JETRO	COST
Structure Code	2022-R-2M	133,948.50
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	BUNK HOUSE & FENCE	
GPS	8°12.075 / 125°2.925	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
55+400

MATERIALS(R-02M)	
Type	Description
Column	coconut lumber
Height	4.5m
Wall	slice bamboo
Slab	slice bamboo
Door Jam	slice bamboo
Window Jam	slice bamboo
G. I. Roof	16pcs
Severity	100%
Total Area	25 sq.m

MATERIALS(R-02M C.R.)	
Type	Description
Column	concrete
Height	4.5m
Wall	concrete
Slab	
Door Jam	
Window Jam	4pcs
G. I. Roof	12pcs
Severity	100%
Total Area	4 sq.m

MATERIALS(R-02MA)	
Type	Description
Column	coconut lumber half concrete
Height	4m
Wall	kalakut
Slab	kalakut
Door Jam	kalakut
Window Jam	kalakut
G. I. Roof	12pcs
Severity	100%
Total Area	12 sq.m

CENTER LINE

LEGENDS

(Q)	WINDOW
N	North
E	East

TAG # R-02M/R-02MA
TOS RESIDENTIAL

LAYOUT PLAN

Tagging of the Residential

Tagging of the fence.



Back side View



Front View



Left side View



Right View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2022-R-045	14,743.88
Location	KALASUNGAY, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	COTTAGE	
GPS	8°9'74.6N / 125°6'14.5E	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
62+050

CENTER LINE

TAG # R-045
TOS COTTAGE

MATERIALS	
Type	Description
Column	granite
Height	5m
Wall	sewall
Slab	
Door Jam	
Window Jam	
ES: 1. Road	
Severity	100%
Total Area	8.25 sq.m

LEGENDS	
(□)	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging the structure
with the homeowner.

Front Side View



Left Side View



Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	MARANGIT, PETCHIE BALANSAG	COST
Structure Code	2022-R-035	34,598.40
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°11.858 / 125°3.047	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION: 57+240

MATERIALS	
Type	bamboo
Column	5m
Height	5m
Wall	bamboo
Slab	
Door Jam	
Window Jam	
G. I. Roof	metal
Severity	100%
Total Area	24 sq.m

LEGENDS	
(O)	WINDOW
N	North
E	East

LAYOUT PLAN

Tagging with the homeowner.

Front Side View



Left Side View



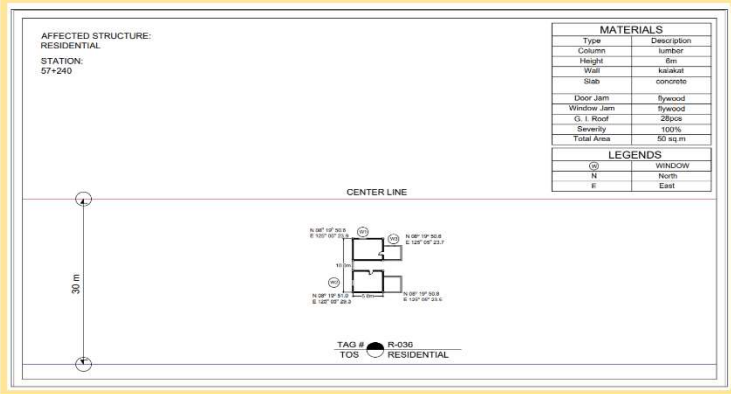
Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ASONG, MELODY DAJAY	COST
Structure Code	2022-R-036	130,000.00
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°11.848 / 125°3.051	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION: 57+240




CENTER LINE

TAG # R-036
TOS RESIDENTIAL


Type	Description
Column	lumber
Height	6m
Wall	kasakit
Slab	concrete
Door Jam	lywood
Window Jam	lywood
G. I. Roof	26gpc
Security	100%
Total Area	50 sq.m

LEGENDS	
(□)	WINDOW
N	North
E	East

LAYOUT PLAN



Tagging of the Residential



Tagging of the fence.



Back side View



Front View



Left side View



Right View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	PASKO, THELMA	COST
Structure Code	2022-R-037	28,800.00
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°11.837 / 125°3.066	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION: ST-240

CENTER LINE

30 m

4 m

TAG # R-037
TOS RESIDENTIAL

MATERIALS	
Type	Description
Column	Bamboo
Height	5m
Wall	Sawali
Slab	
Door Jam	Ryewood
Window Jam	slice bamboo
G. F. Roof	20%
Seventy	100%
Total Area	18 sq.m

LEGENDS	
(O)	WINDOW
R	Roof
E	East

LAYOUT PLAN

Tagging the affected structure.

Front Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	VILLAR	COST
Structure Code	2022-R-038	66,000.00
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE	
GPS	8°11.756 / 125°3.114	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
ST-280

CENTER LINE

TAG # R-038
TOS FENCE

MATERIALS	
Type	Description
Column	concrete/alambre
Height	2m
Wall	
Slab	
Door Jam	
Window Jam	
G. L. Road	
Severity	100%
Total Area	

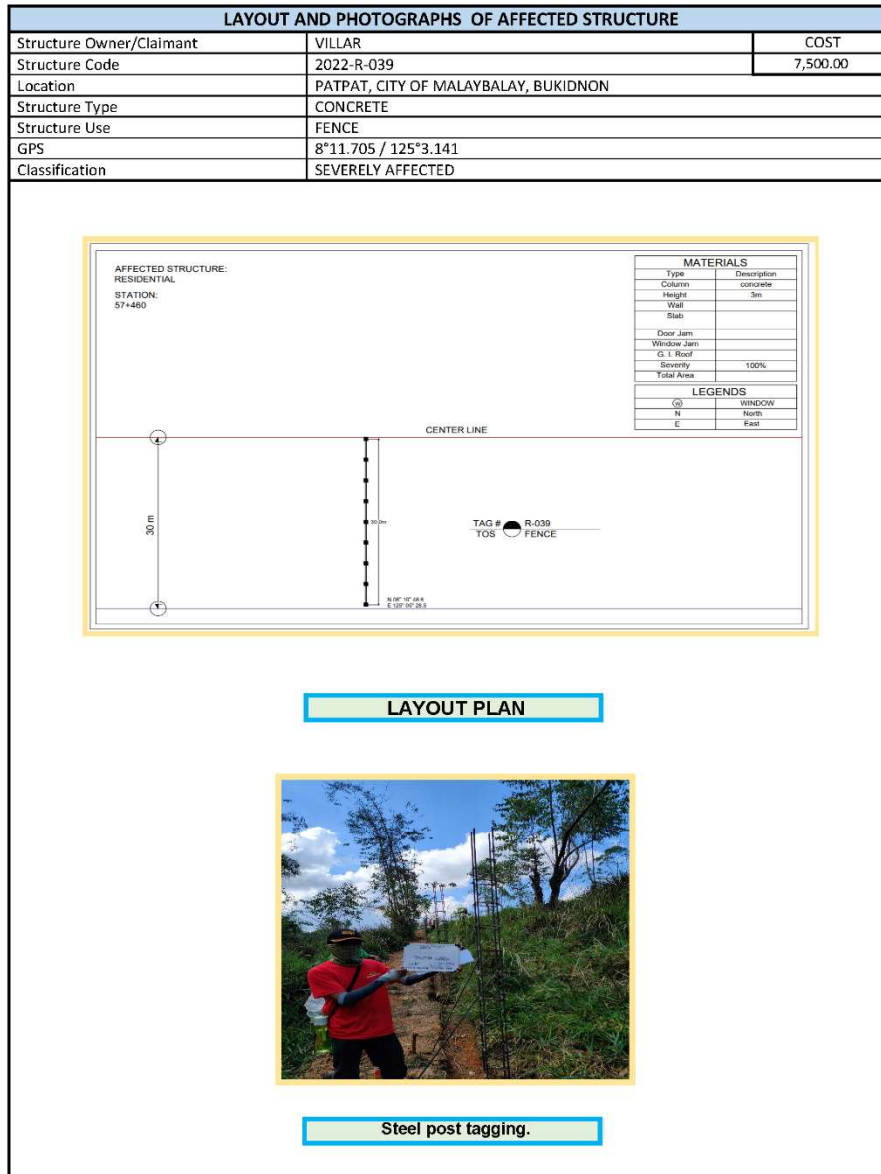
LEGENDS	
Symbol	Description
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

Electric post tagging.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	RAMOS, SONNY	COST
Structure Code	2022-R-040	66,000.00
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE	
GPS	8°10.337 / 125°3.605	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
57+500

CENTER LINE

30 m

10 m

TAG # R-040
TOS FENCE

MATERIALS	
Type	Description
Column	concrete
Height	2m
Wall	roof
Slab	
Door Jam	
Window Jam	
G. I. Roof	
Severity	100%
Total Area	

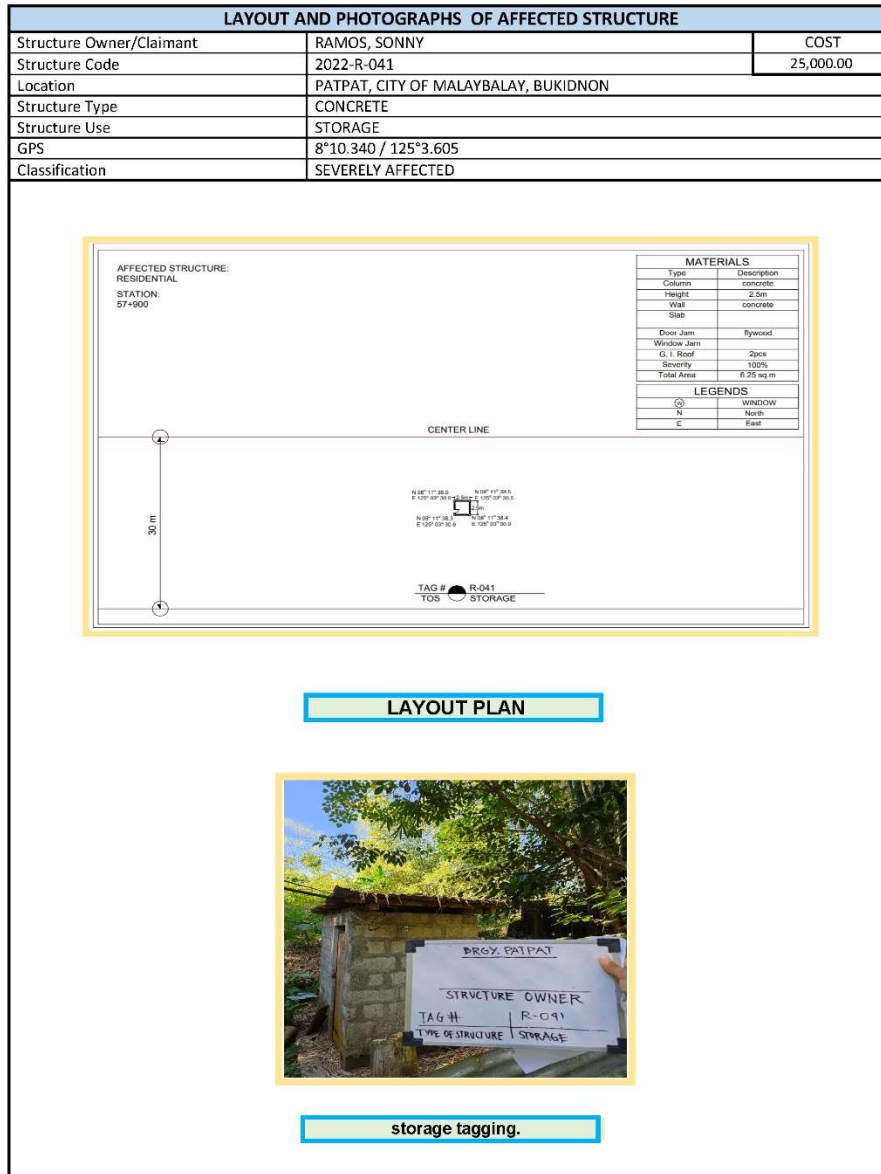
LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

fence tagging.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	YABO, JOSEPH	COST
Structure Code	2022-R-043	66,000.00
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	FENCE	
GPS	8°10.330 / 125°3.607	
Classification	SEVERELY AFFECTED	

AFFECTED STRUCTURE:
RESIDENTIAL
STATION:
58+340

MATERIALS	
Type	Description
Column	Bamboo
Height	2m
Wall	alambré
Slab	
Door Jam	
Window Jam	
G. I. Roof	
Severity	100%
Total Area	2400 sq.m

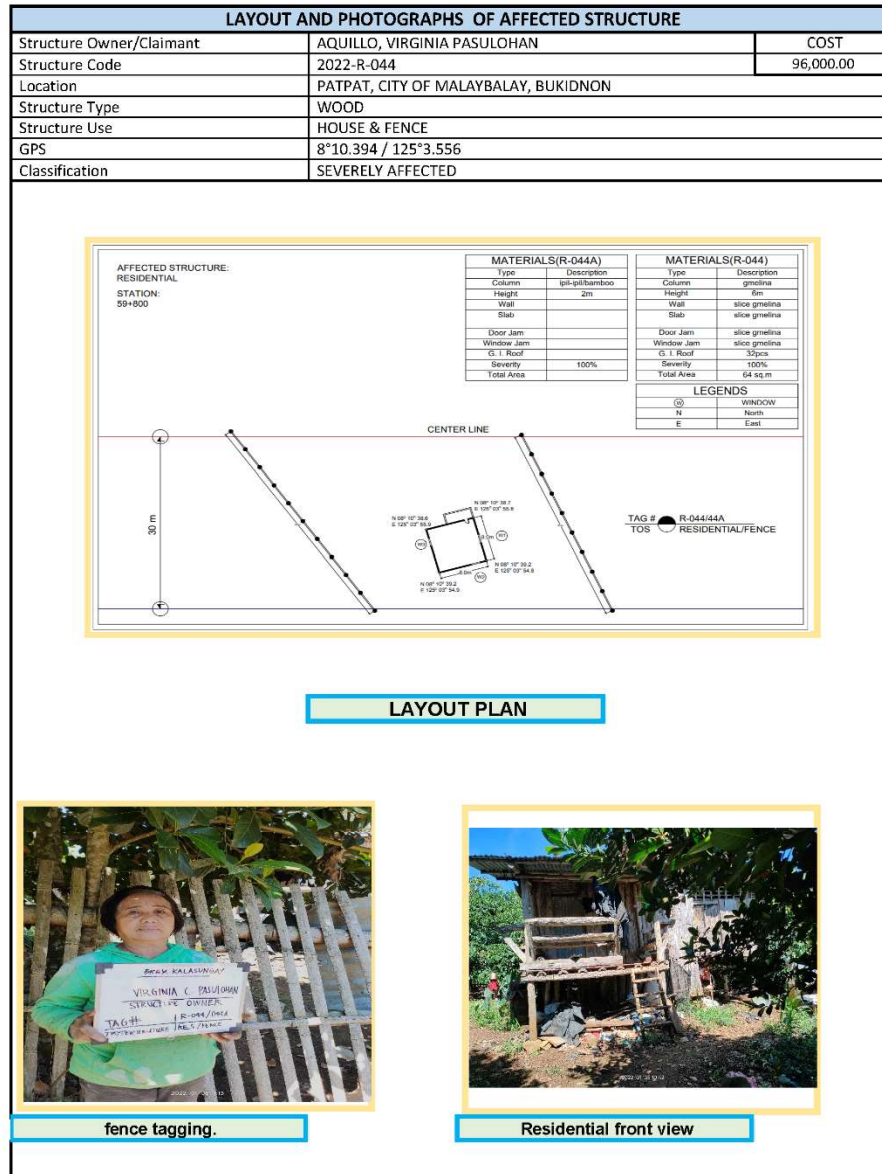
LEGENDS	
⊙	WINDOW
N	North
E	East

LAYOUT PLAN

fence tagging.

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

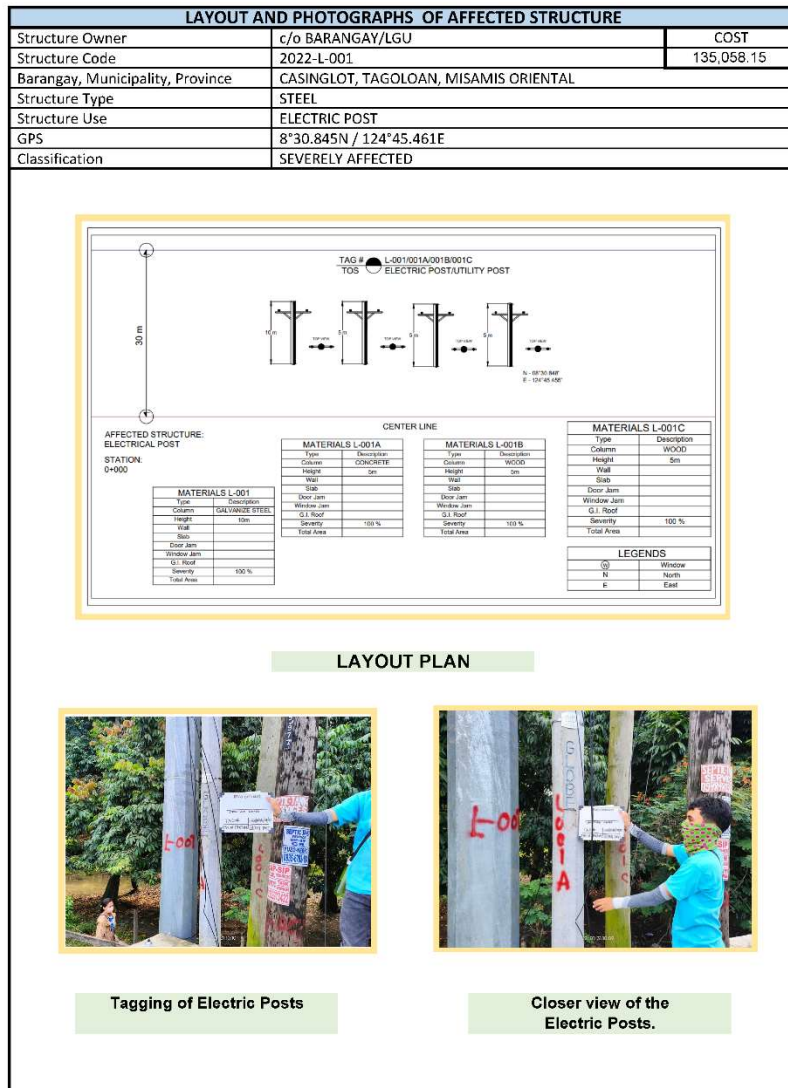
RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

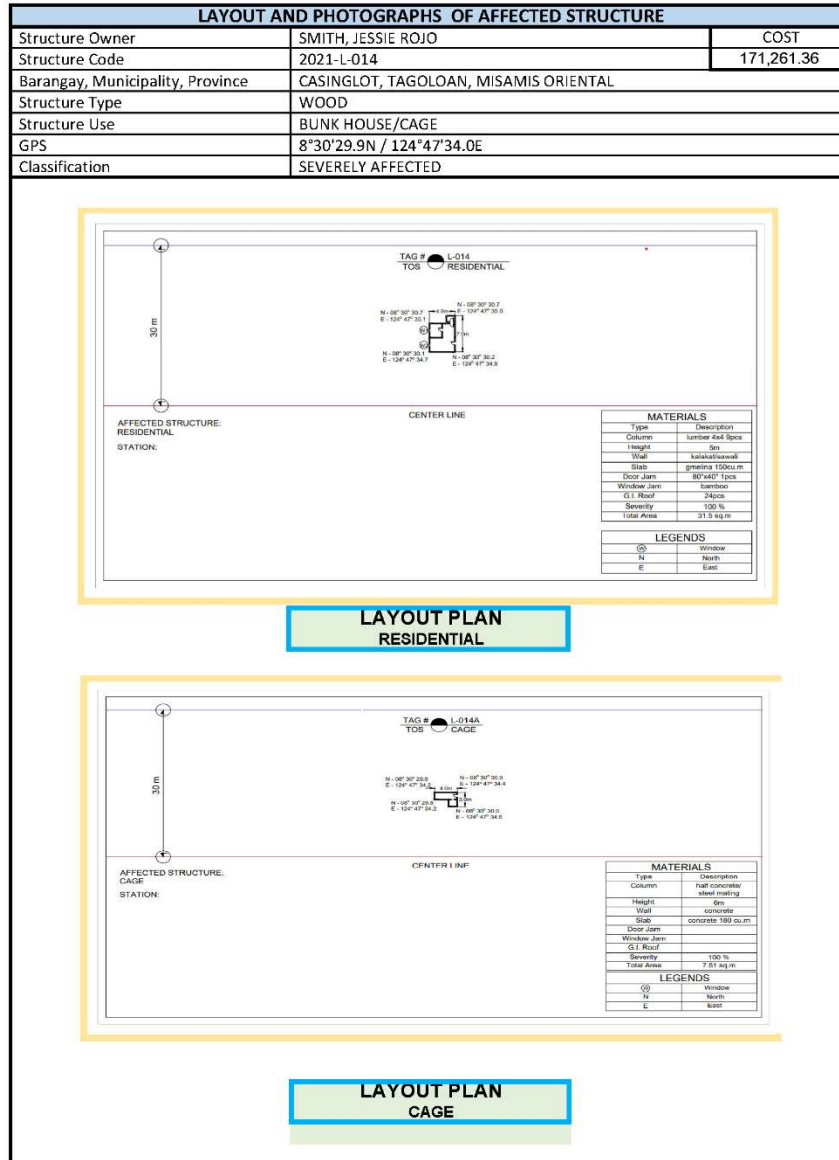
Structure with Pricing (Left Side)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





House tagging with the owner.



Front Side View



Right Side View



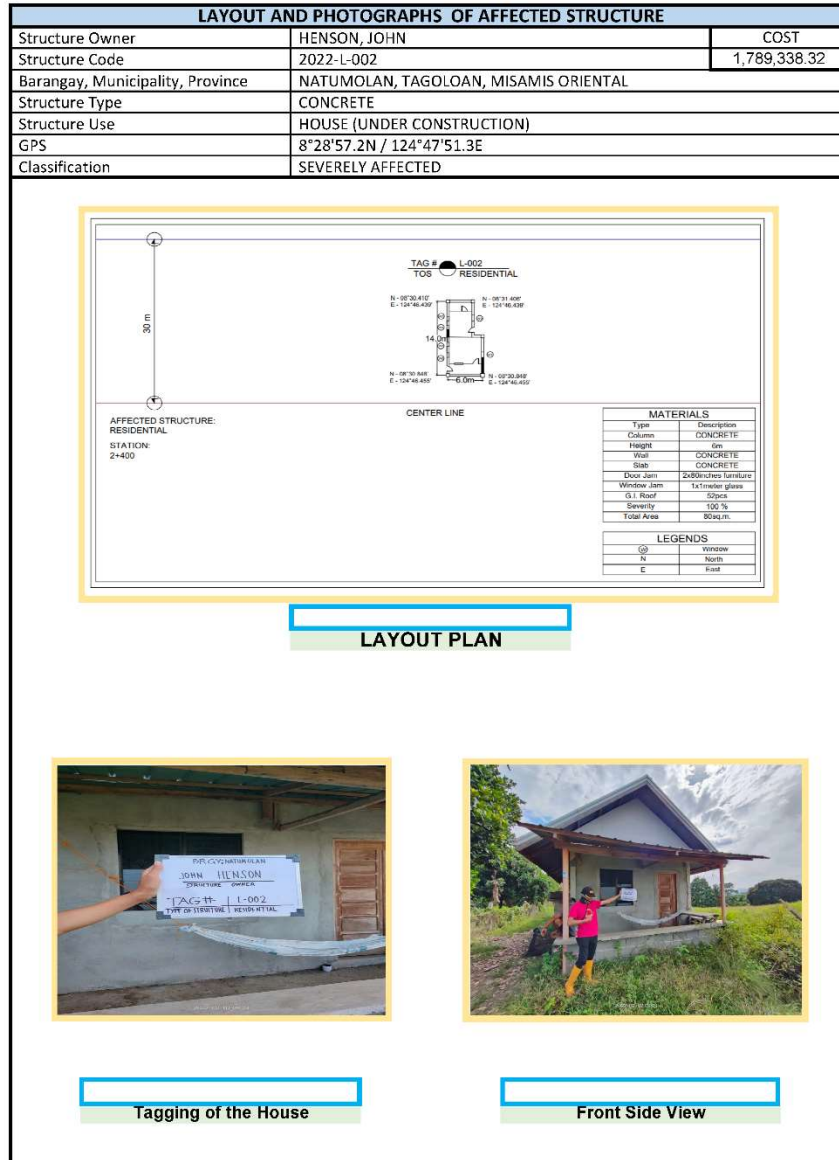
Back View



Cage Frontal View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left/Front Side View



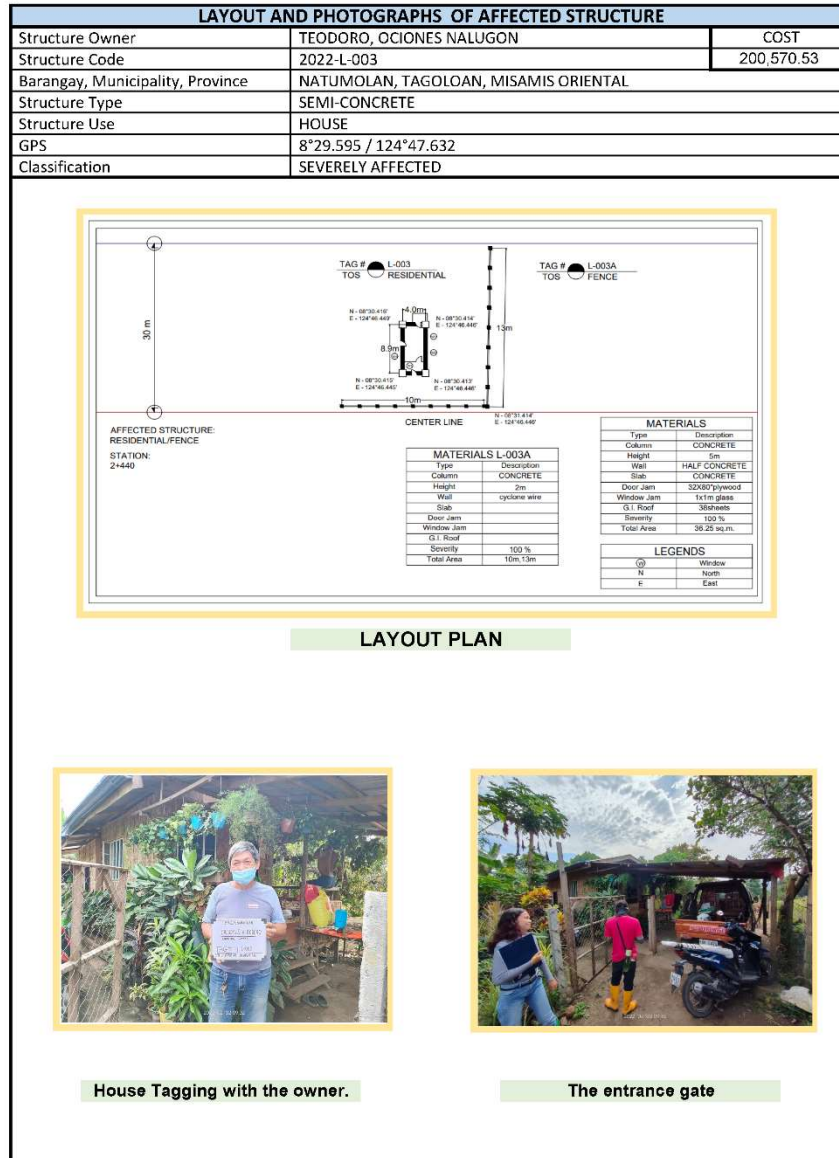
Right Side View



Back View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Front Side View



Left Side View



Dirty Kitchen



The Kitchen



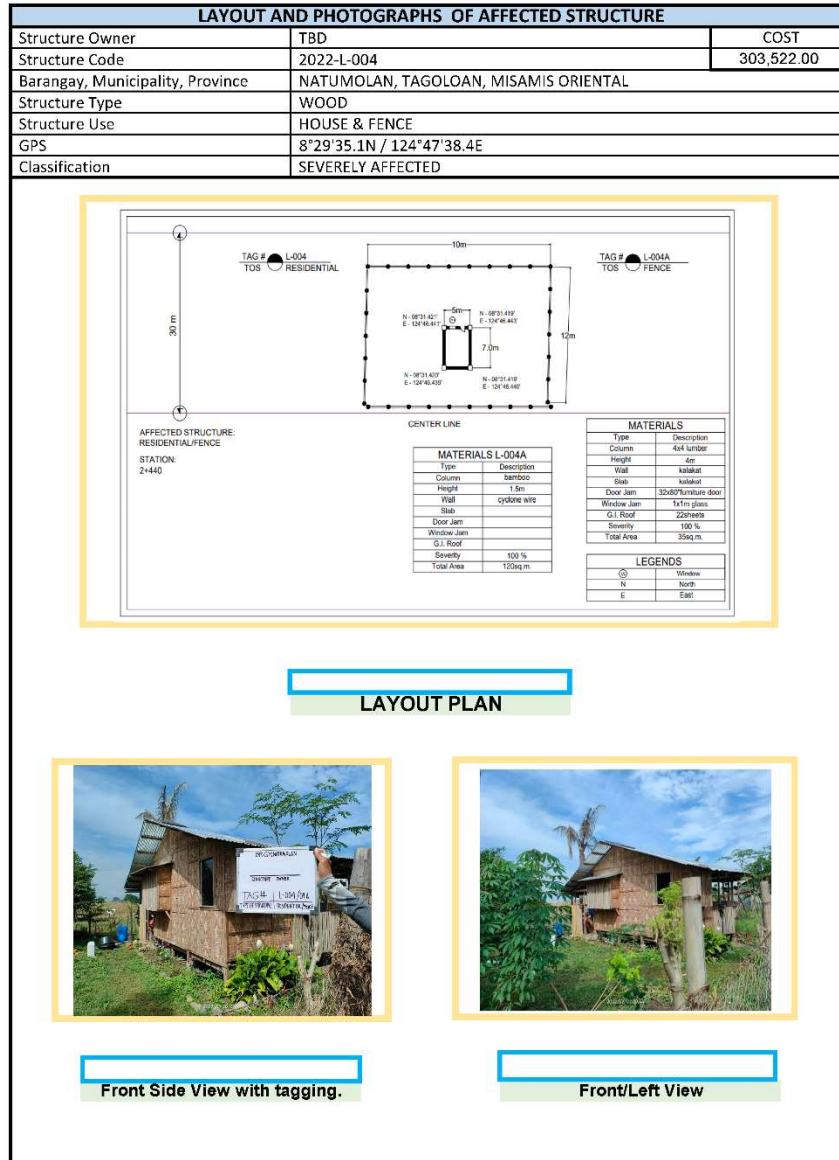
Living Room



Showing portion of the back.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

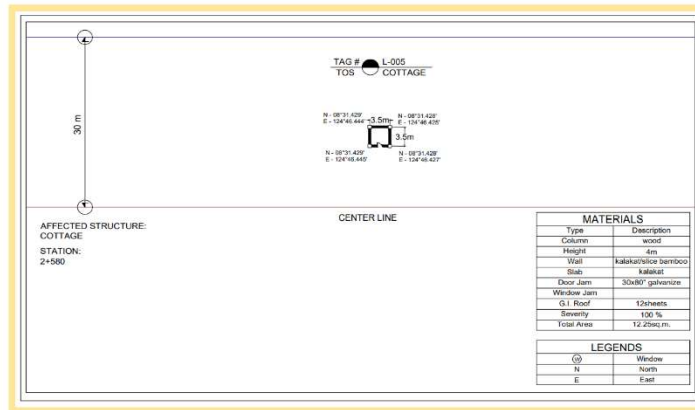
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGNO, TATA	COST
Structure Code	2022-L-005	56,597.32
Barangay, Municipality, Province	NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	COTTAGE	
GPS	8°29.633 / 124°47.614	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



**Front Side View
and tagging of the house.**



**Front Side View
showing left side of the house.**



Left Side View

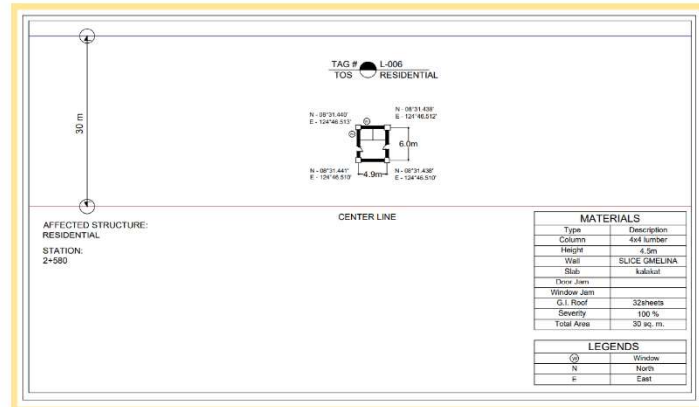


**Back and Left Side View
of the House.**

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	CADUNGOG, FRANCISCO LIPANG LIPANG	COST
Structure Code	2022-L-006	138,605.69
Barangay, Municipality, Province	NATUMOLAN, TAGOLOAN, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°29.598 / 124°47.634	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



**Tagging the house
with the owner.**



**Front Side View
with the owner and interviewer.**



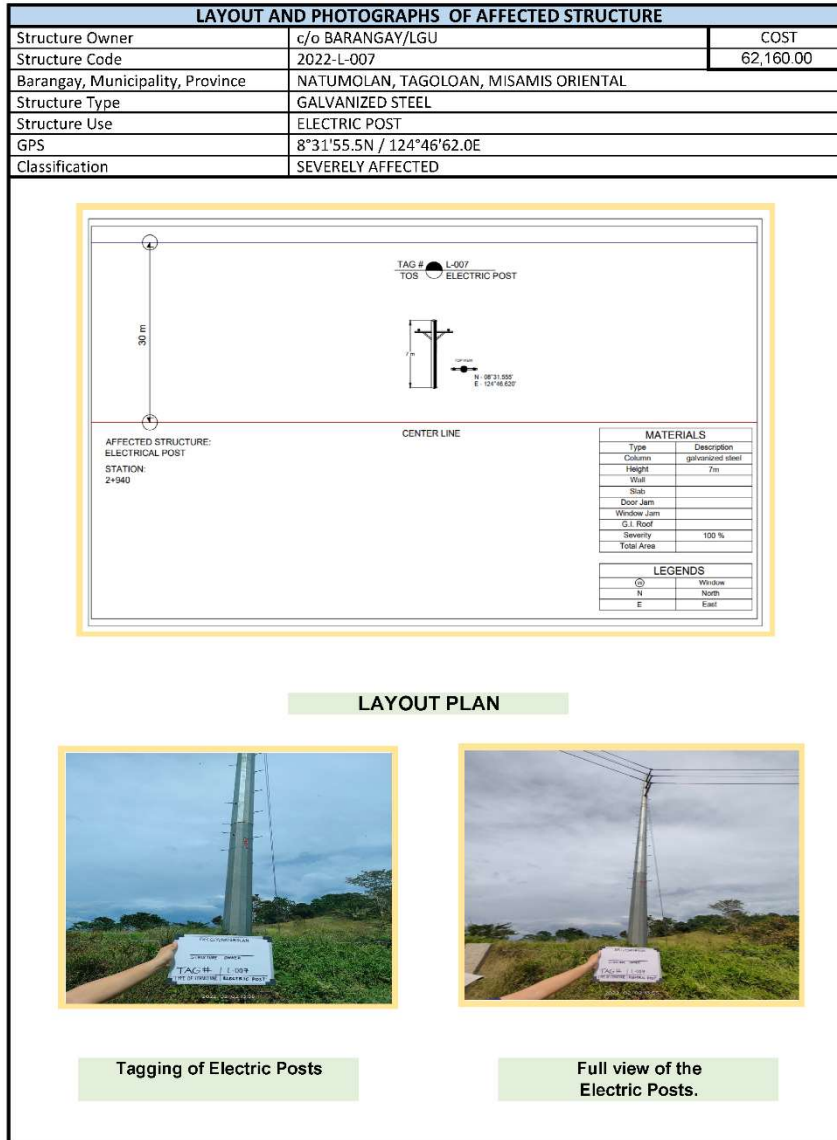
Front Side View



Right Side View

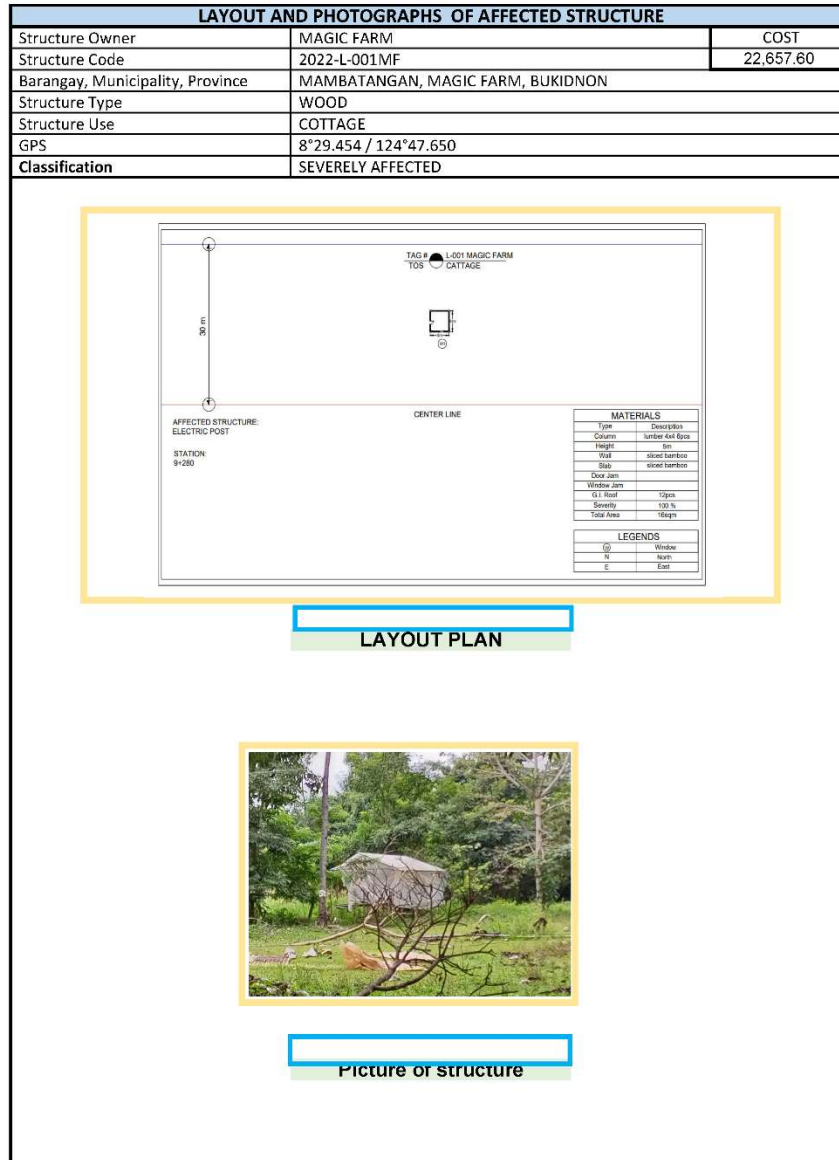
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

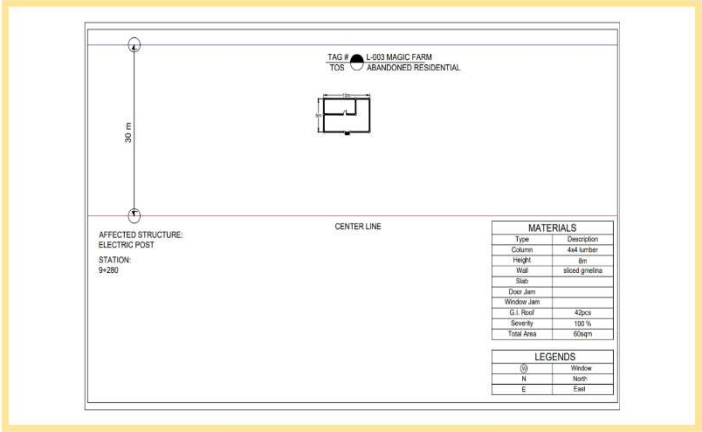
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGIC FARM	COST
Structure Code	2022-L-003MF	66,000.00
Barangay, Municipality, Province	MAMBATANGAN, MAGIC FARM, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°29.096 / 124°47.793	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



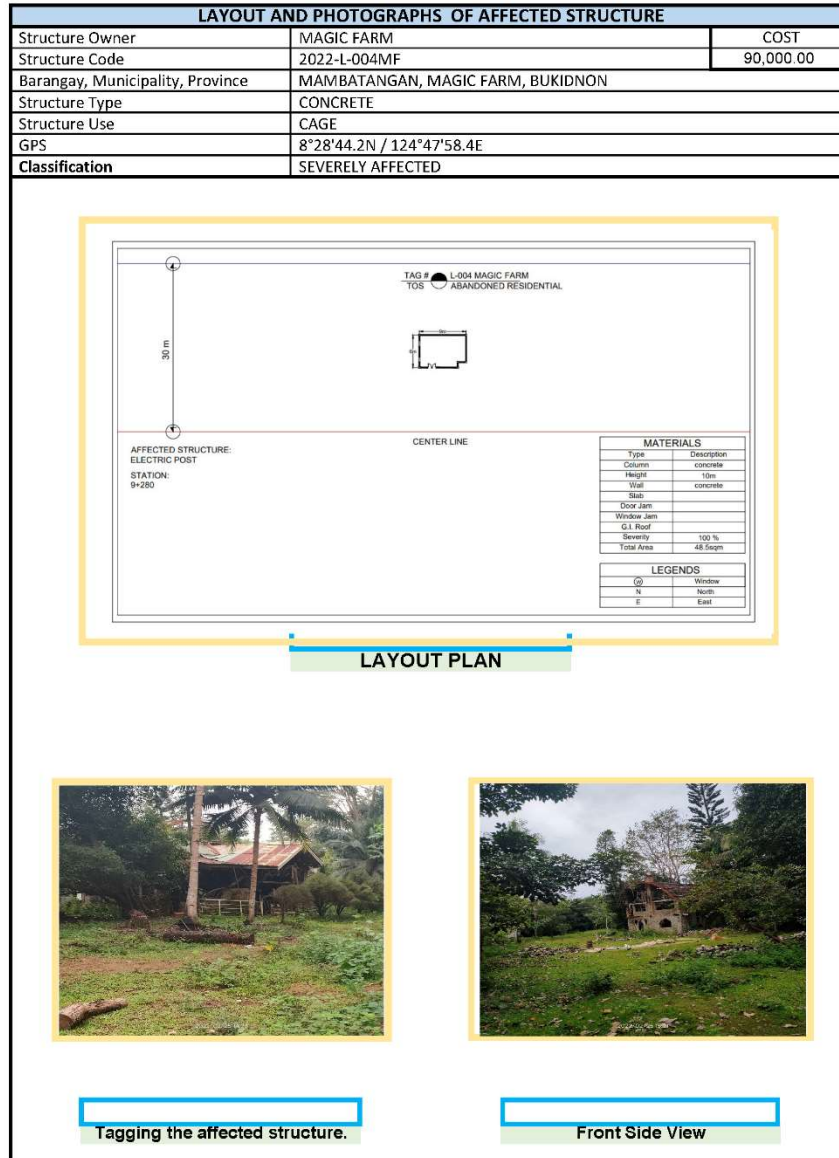
Tagging the affected structure.



Front Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

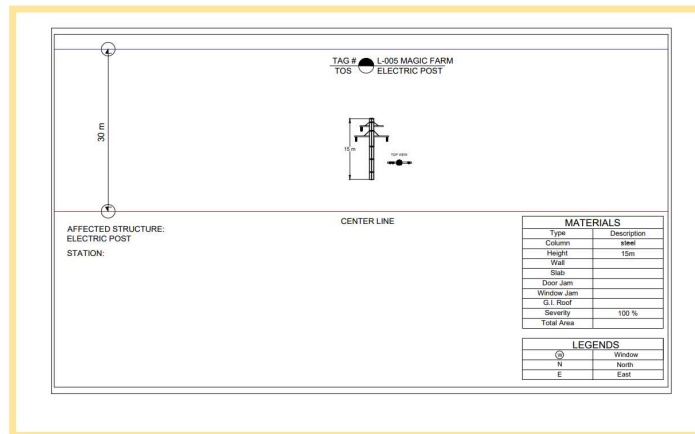
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



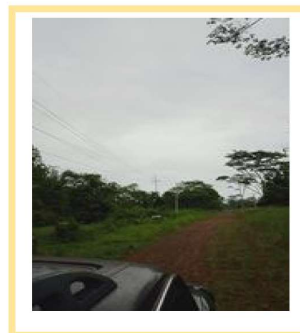
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGIC FARM	COST
Structure Code	2022-L-005MF	35,000.00
Barangay, Municipality, Province	MAMBATANGAN, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.704 / 124°48.007	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN

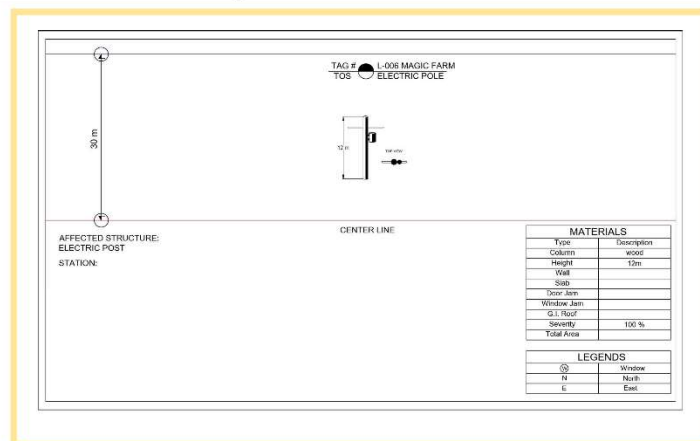


Tagging of the Electrical post

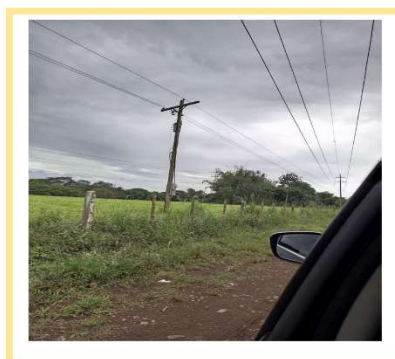
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGIC FARM	COST
Structure Code	2022-L-006MF	36,042.46
Barangay, Municipality, Province	MAMBATANGAN, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.785 / 124°47.970	
Classification	SEVERELY AFFECTED	



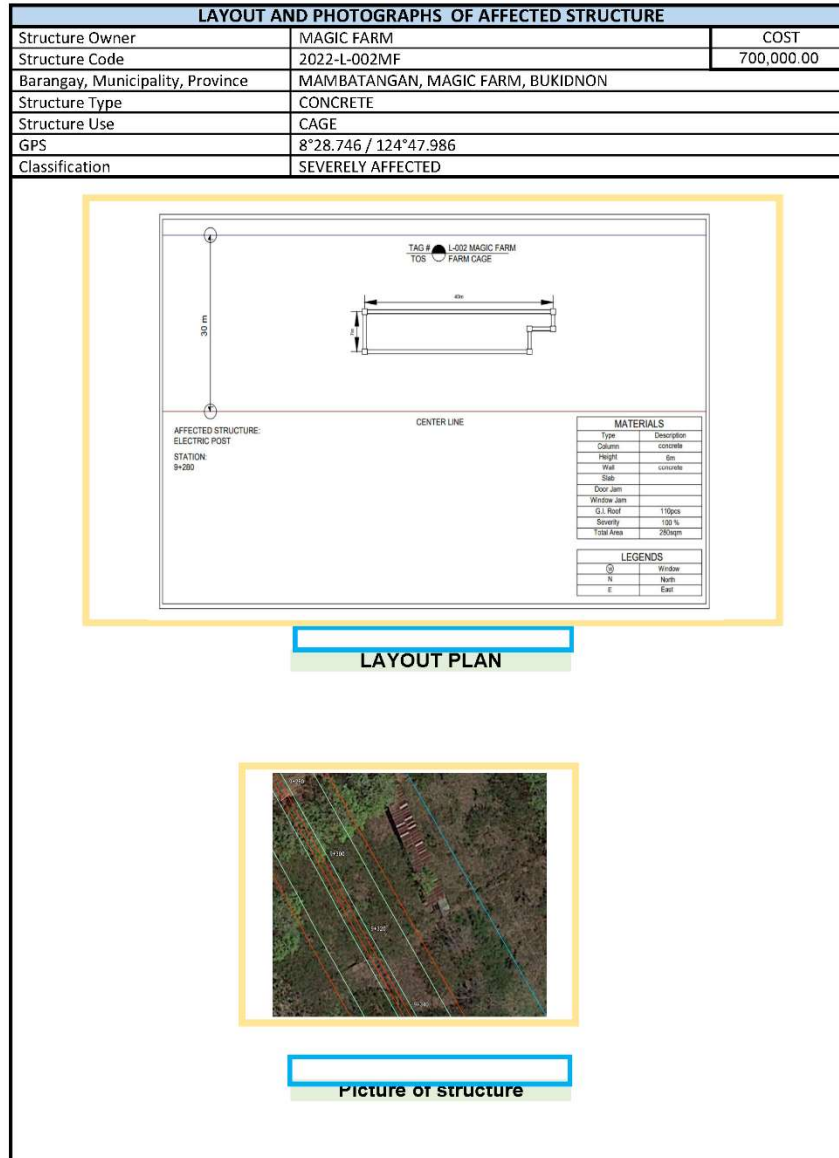
LAYOUT PLAN



**Tagging of the
wooden electric post**

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

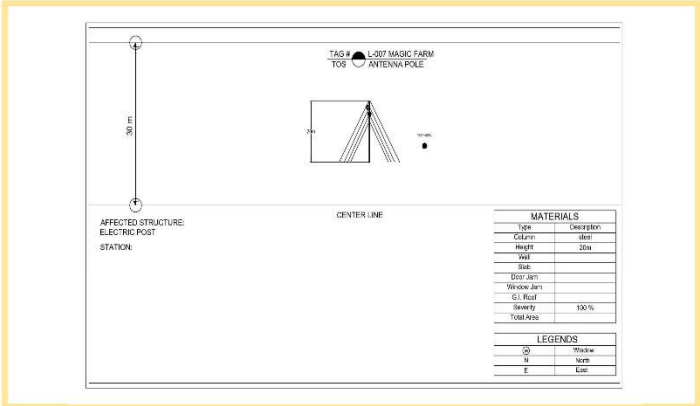
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGIC FARM	COST
Structure Code	2022-L-007MF	25,000.00
Barangay, Municipality, Province	MAMBATANGAN, MAGIC FARM, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°28'48.5N / 124°47'58.1E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN

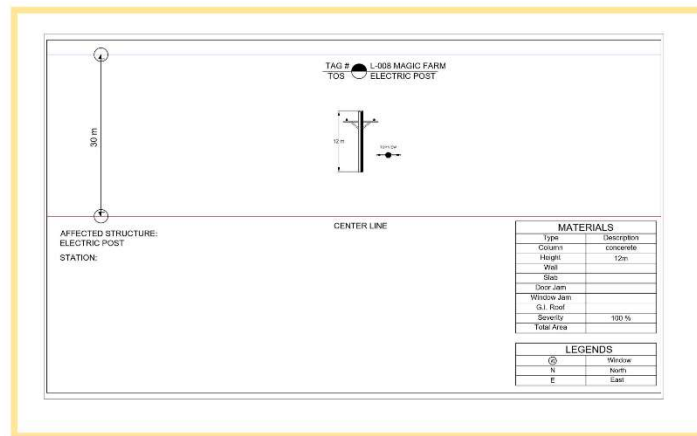


Picture of structure

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	MAGIC FARM	COST
Structure Code	2022-L-008MF	40,320.00
Barangay, Municipality, Province	MAMBATANGAN, MAGIC FARM, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°28.642 / 124°48.056	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



View of electric post

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	c/o BARANGAY/LGU	COST
Structure Code	2021-L-015	20,499.15
Barangay, Municipality, Province	MAMBATANGAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°28.337 / 124°48.169	
Classification	SEVERELY AFFECTED	

MATERIALS

Type	Description
Column	steel tube
Height	7m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severity	100 %
Total Area	

LEGENDS

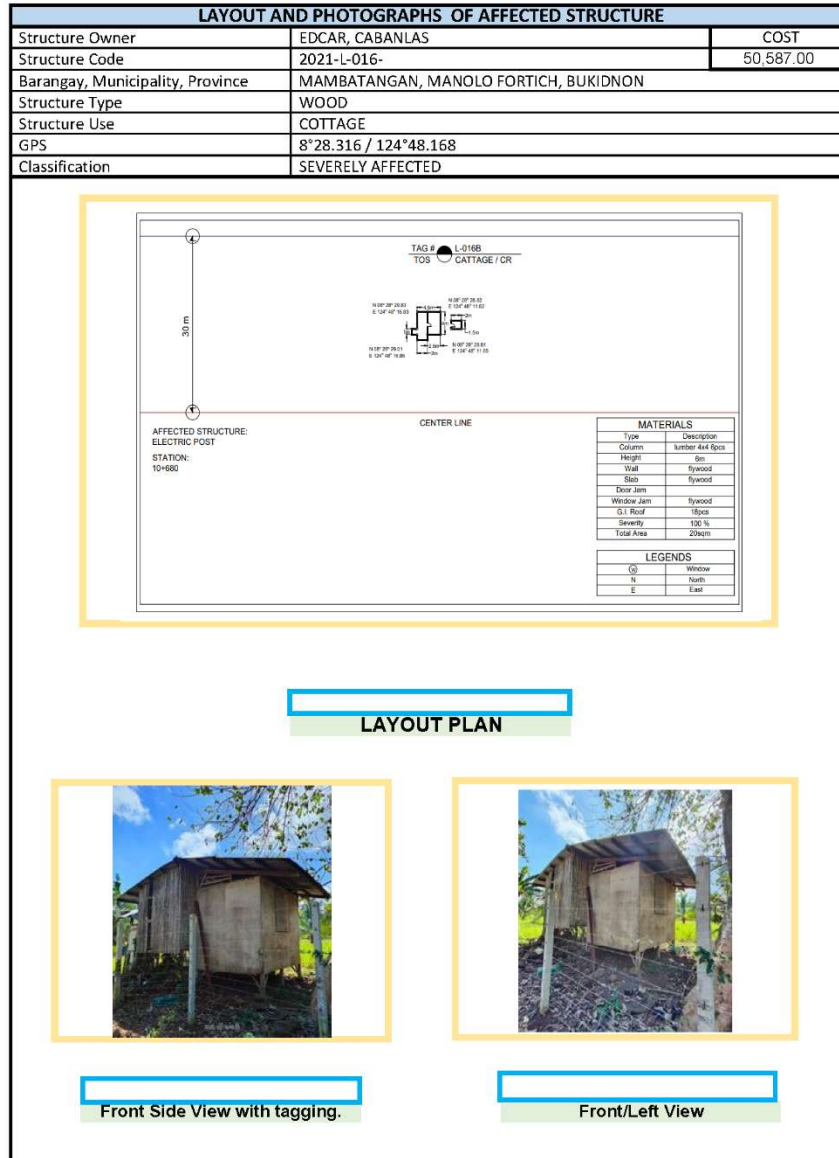
⊙	Window
N	North
E	East

LAYOUT PLAN

Tagging of electric post.

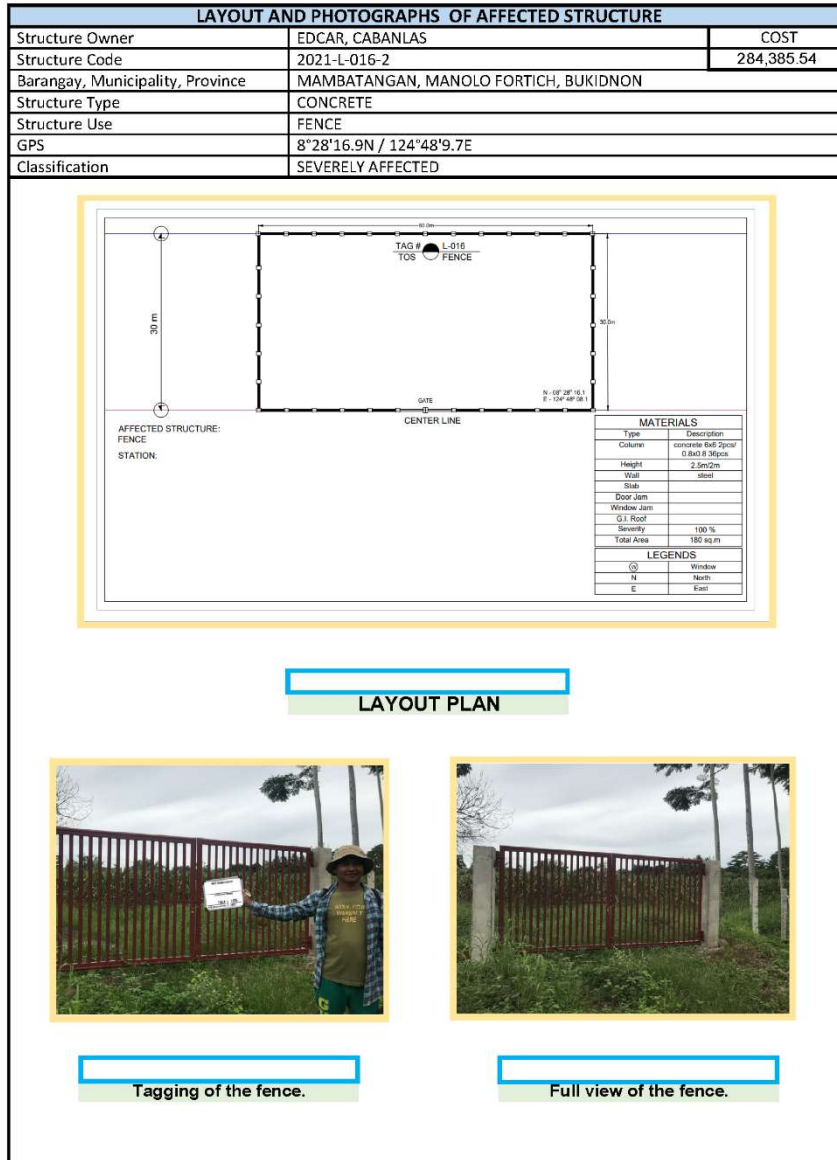
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

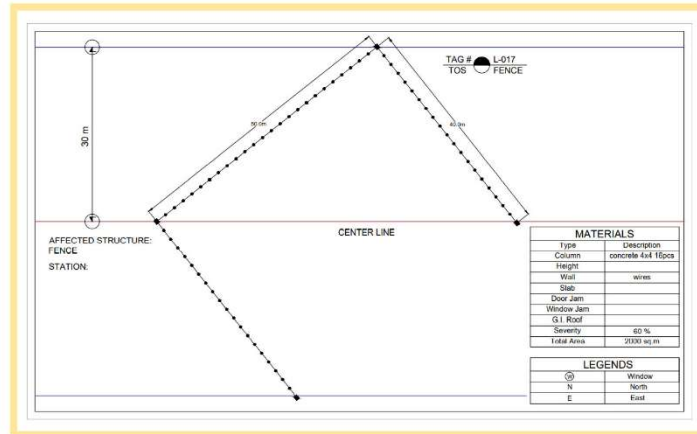
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	JOWAR, SINO	COST
Structure Code	2021-L-017	105,448.00
Barangay, Municipality, Province	MAMBATANGAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE	
GPS	8°28'16.7N / 124°48'9.2E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the fence.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	ESTARIS, ROGER	COST
Structure Code	2021-L-018-2	162,079.20
Barangay, Municipality, Province	MAMBATANGAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE & CAGE	
GPS	8°51'54.4N / 124°75'81.1E	
Classification	SEVERELY AFFECTED	

LAYOUT PLAN

Tagging of the property
with the owner.

Cage Picture



Picture showing cages from afar.



Some picture of cages.



Viewing the affected property
with pigs roaming around.



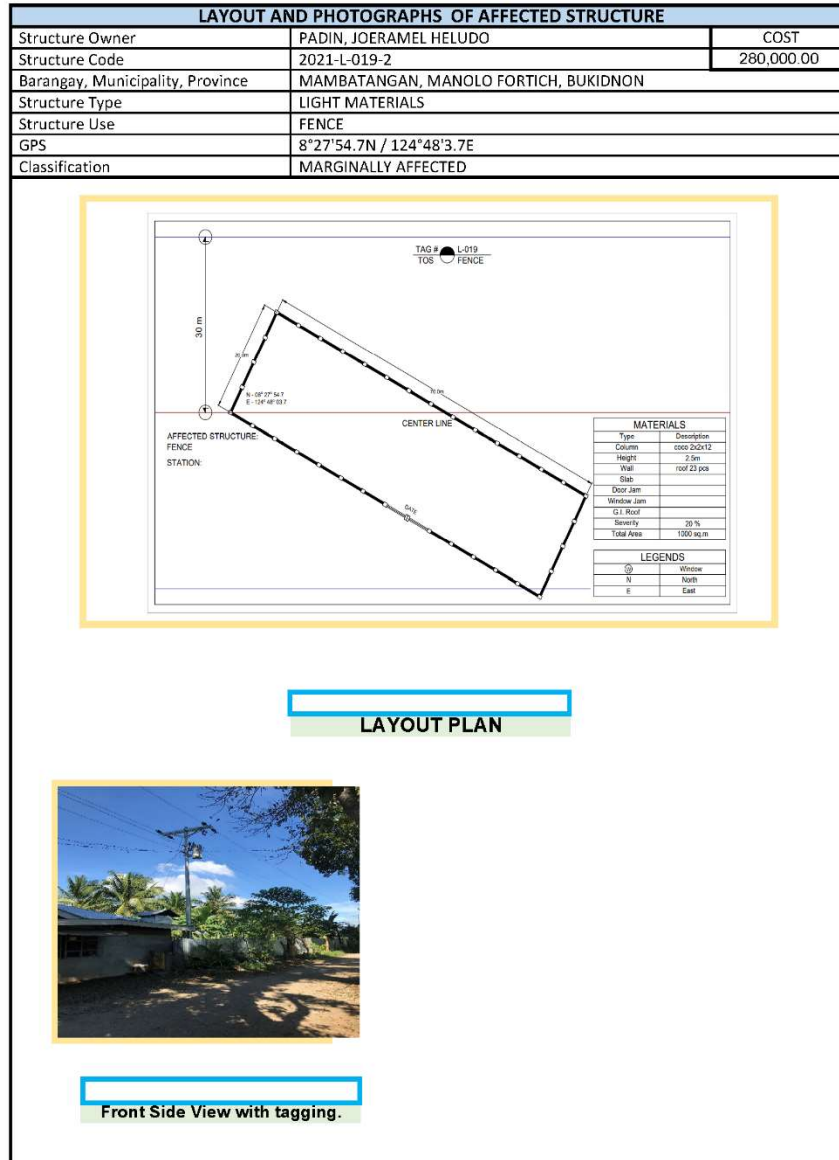
Another view of the property.



Cage at a closer view.

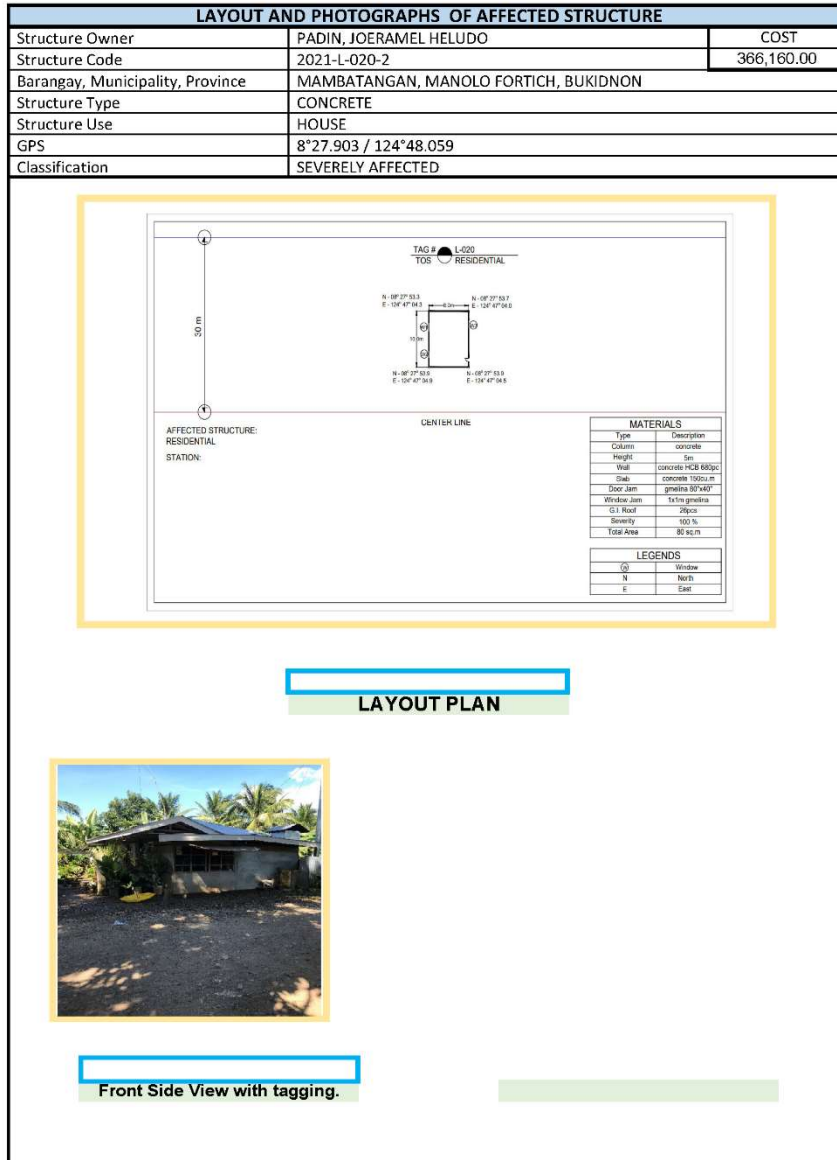
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



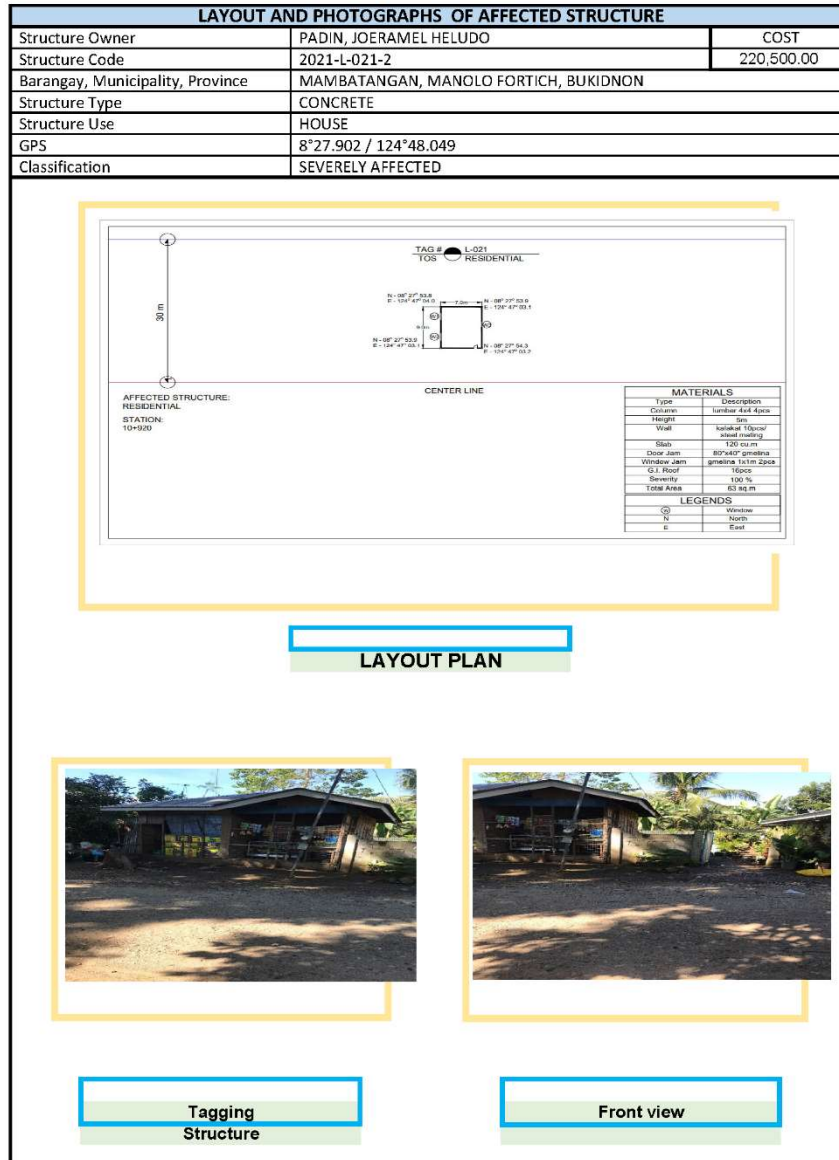
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





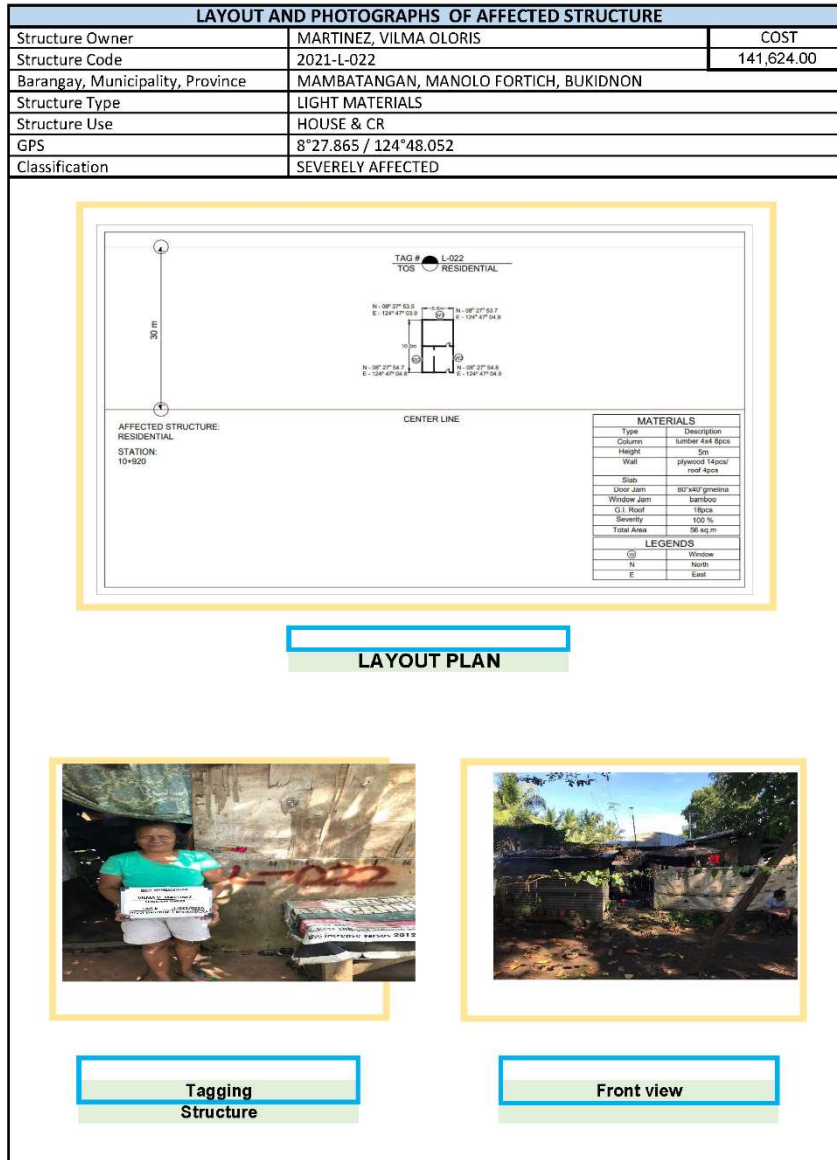
Right Side View



Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



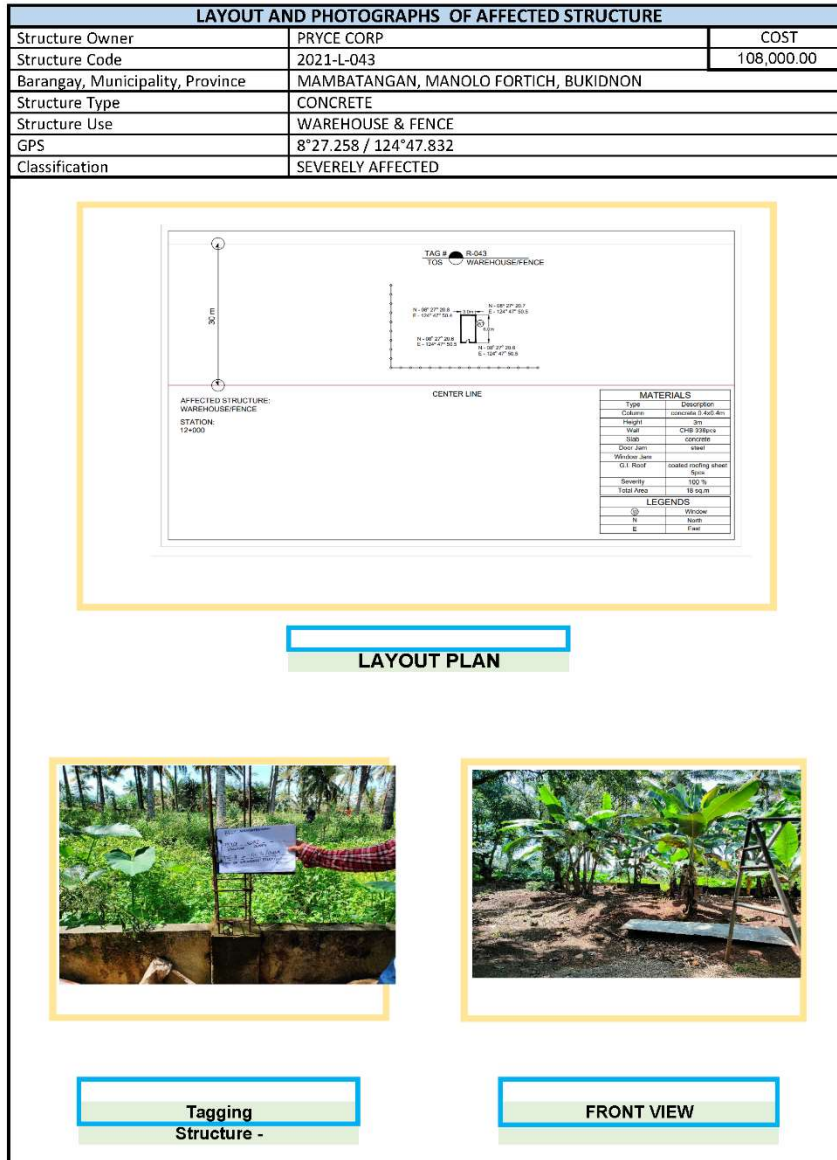
Back/Left Side View



INTERIOR VIEW

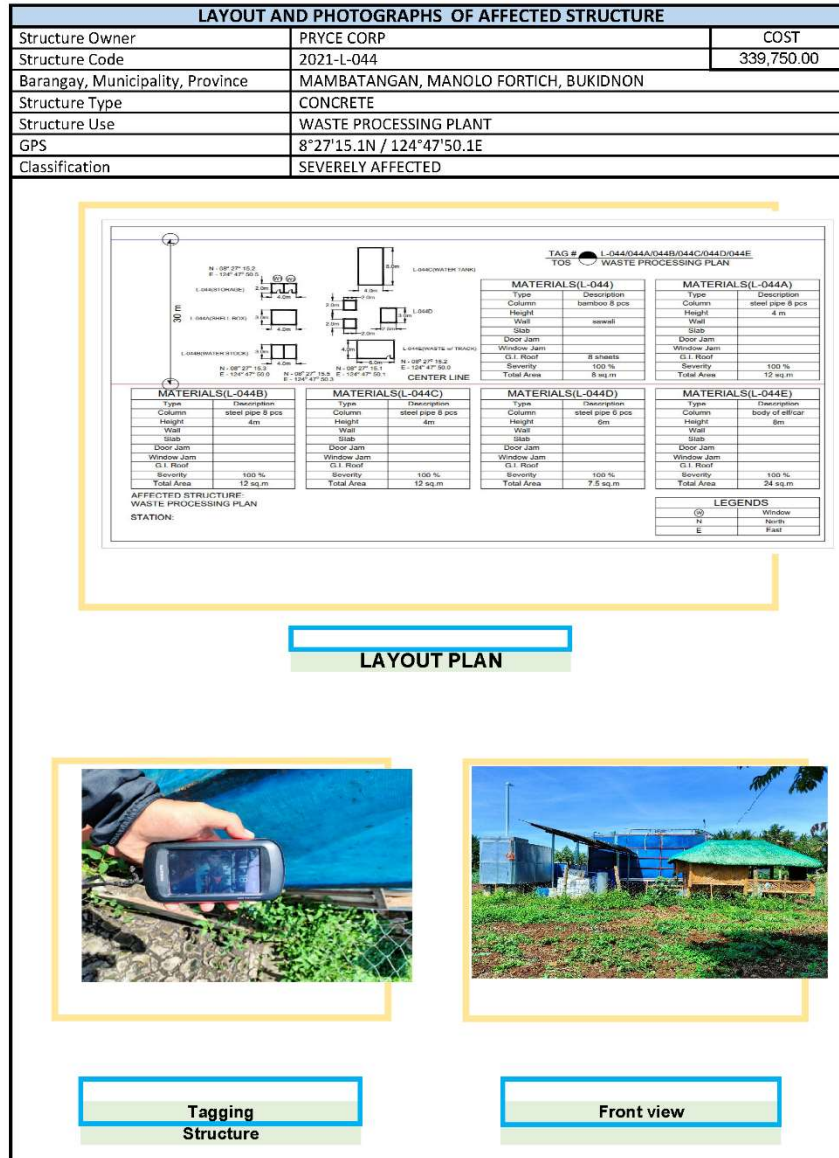
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



Back/Left Side View

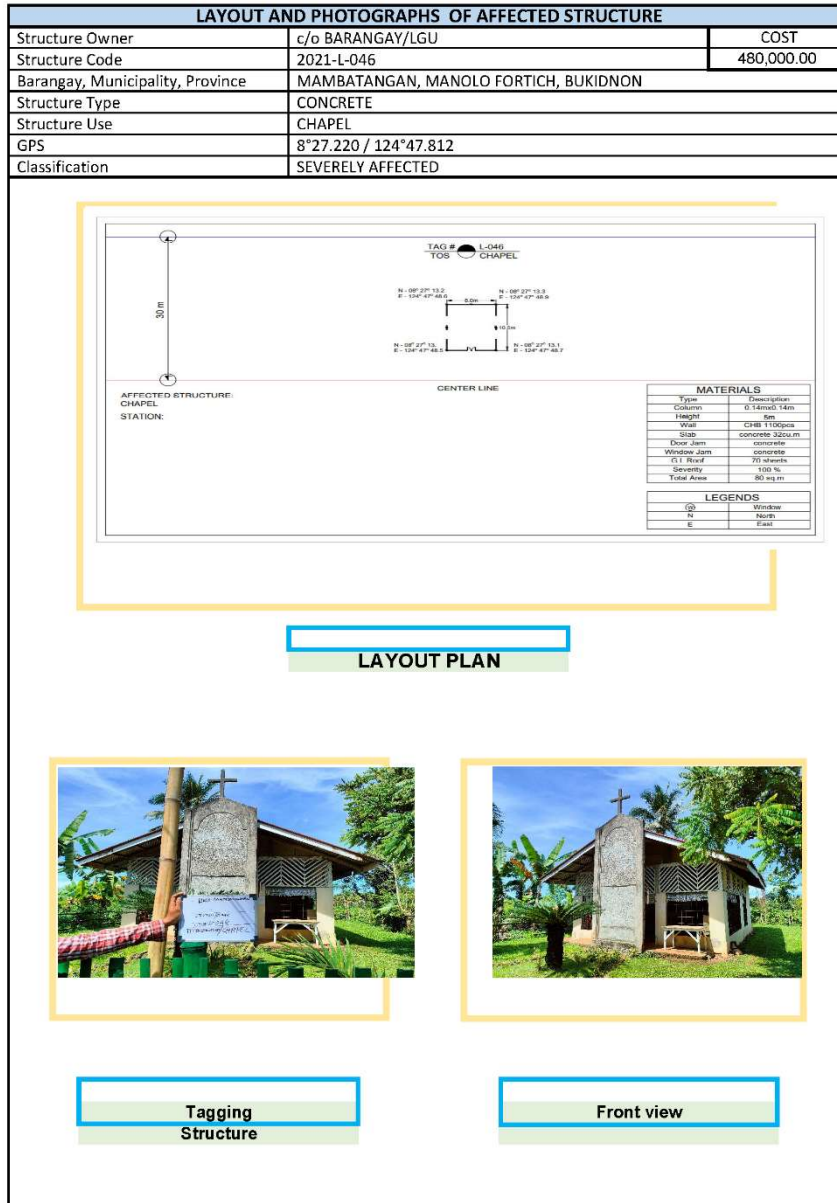
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View

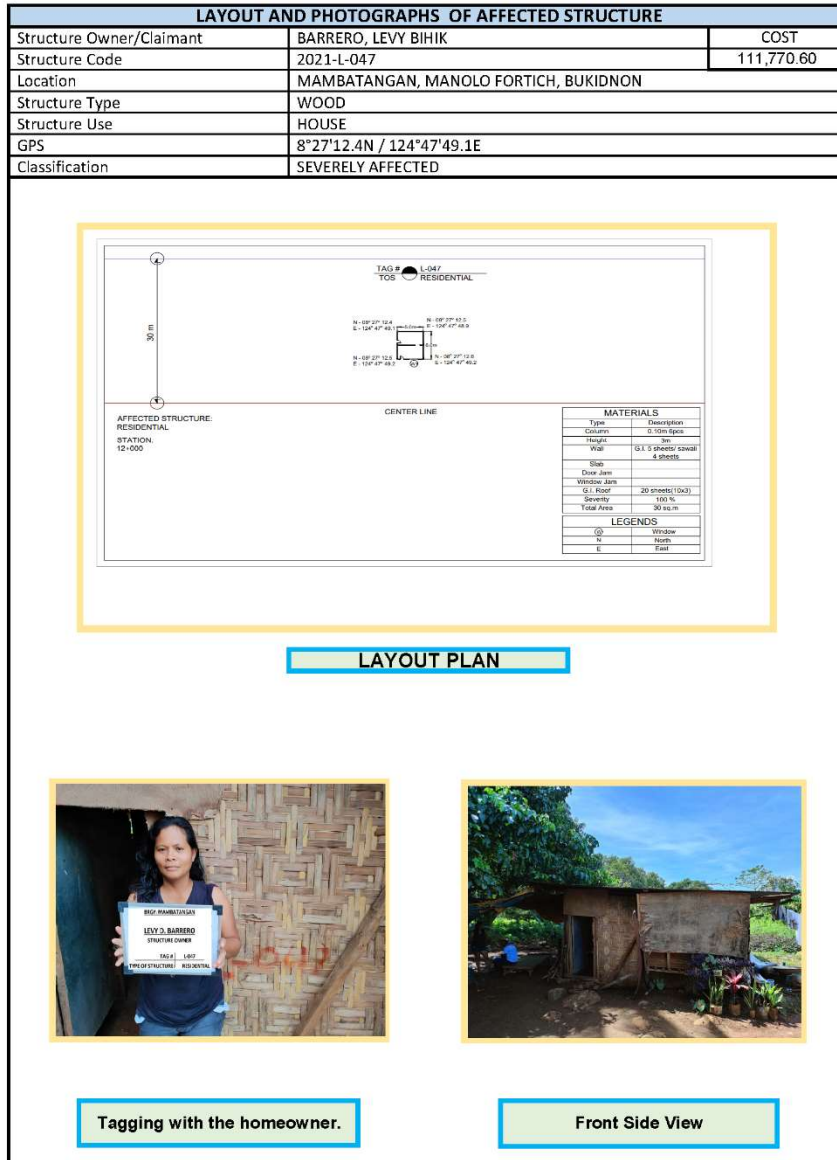


Back/Left Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



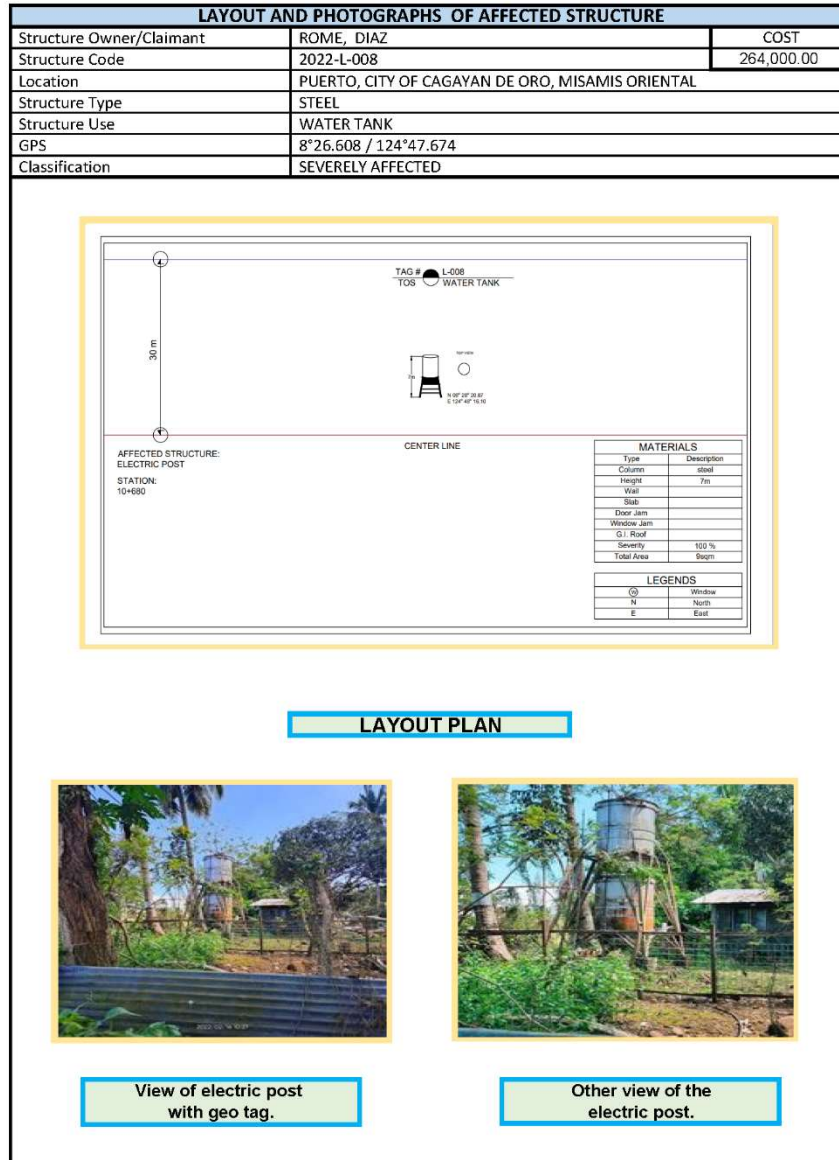
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

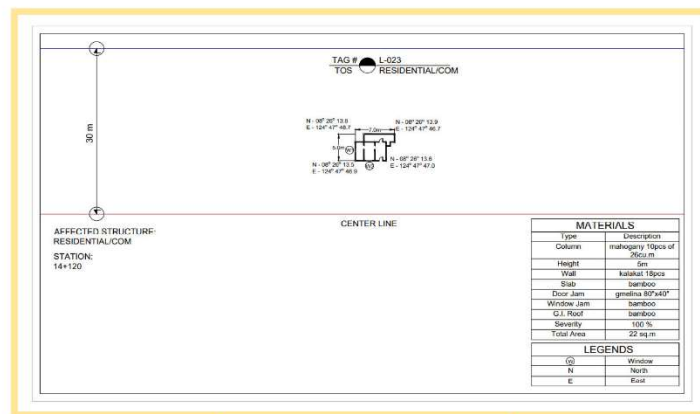
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	LARICAN, JOANA CABUNDUKAN	COST
Structure Code	2021-L-023	100,076.90
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE (WITH STORE)	
GPS	8°26'13.8N / 124°47'46.9E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



House tagging with the owner



Front Side View



Left/Front Side View



Left Side View



Front/Right Side View



Back View



Inside the house

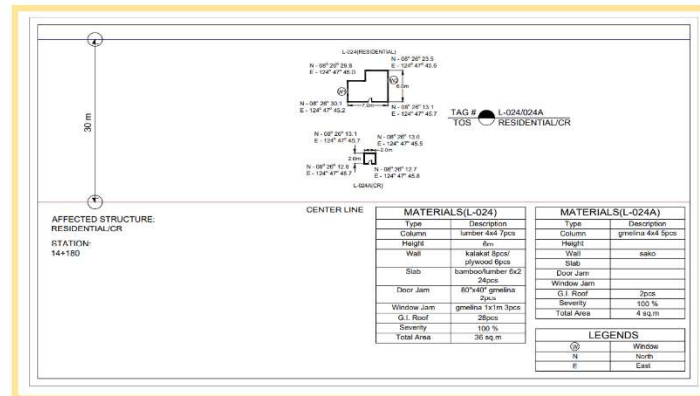


Inside view of Sari-sari store

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	LARICAN, ARSENEO BERENDES	COST
Structure Code	2021-L-024	149,672.68
Location	BALUBAL, CITY OF CAGAYAN DE ORO, MISAMIS ORIENTAL	
Structure Type	WOOD	
Structure Use	HOUSE & CR	
GPS	8°26.215 / 124°47.767	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with the homeowner



Front Side View



Left Side View



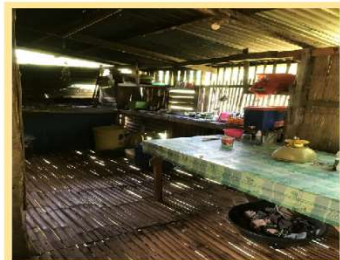
Right Side View



Back Side View



The Living Room



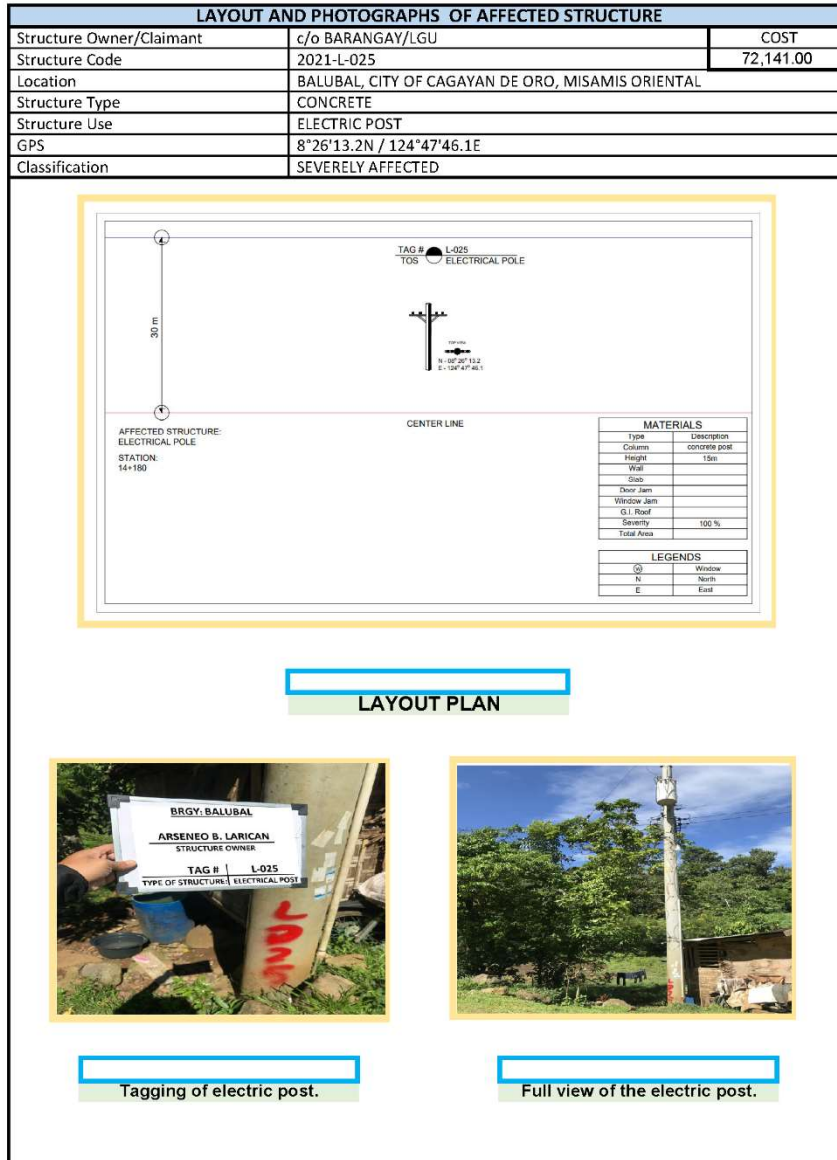
The Kitchen/Dining Room



The Toilet

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





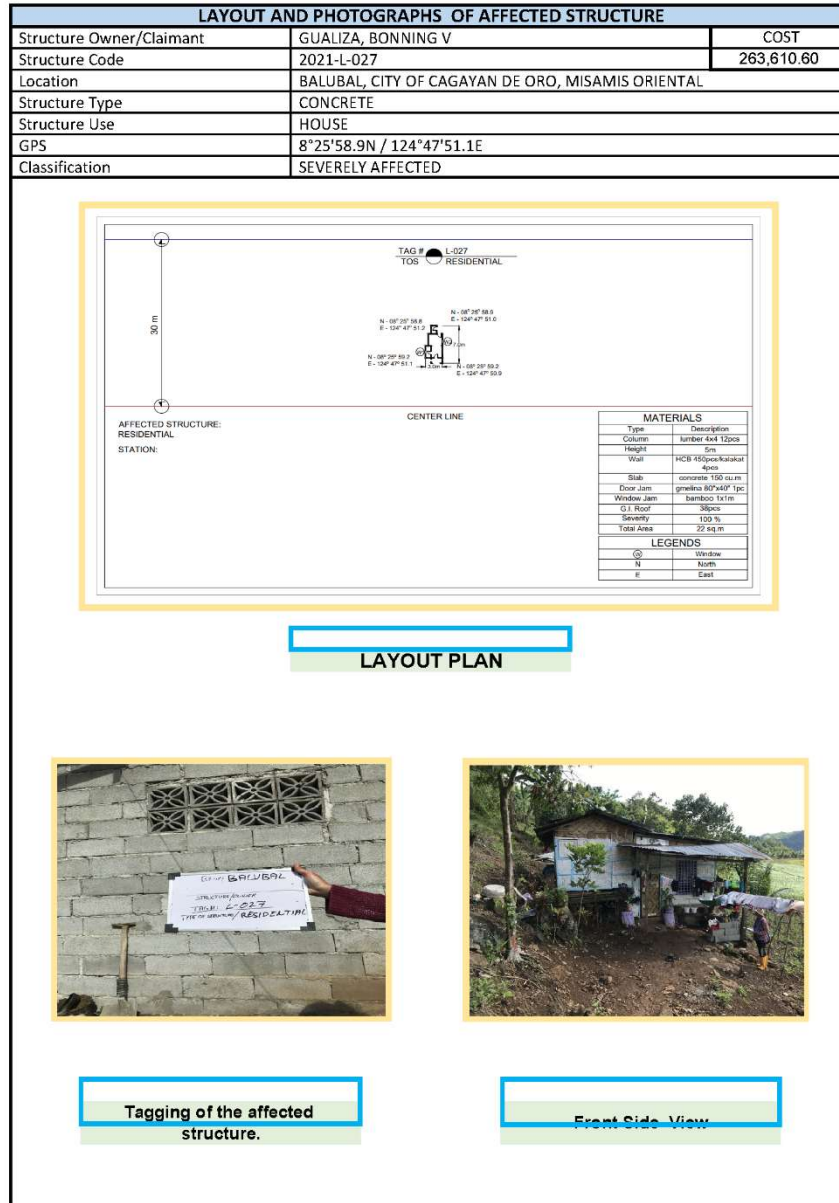
Right Side View



Right/Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Front View



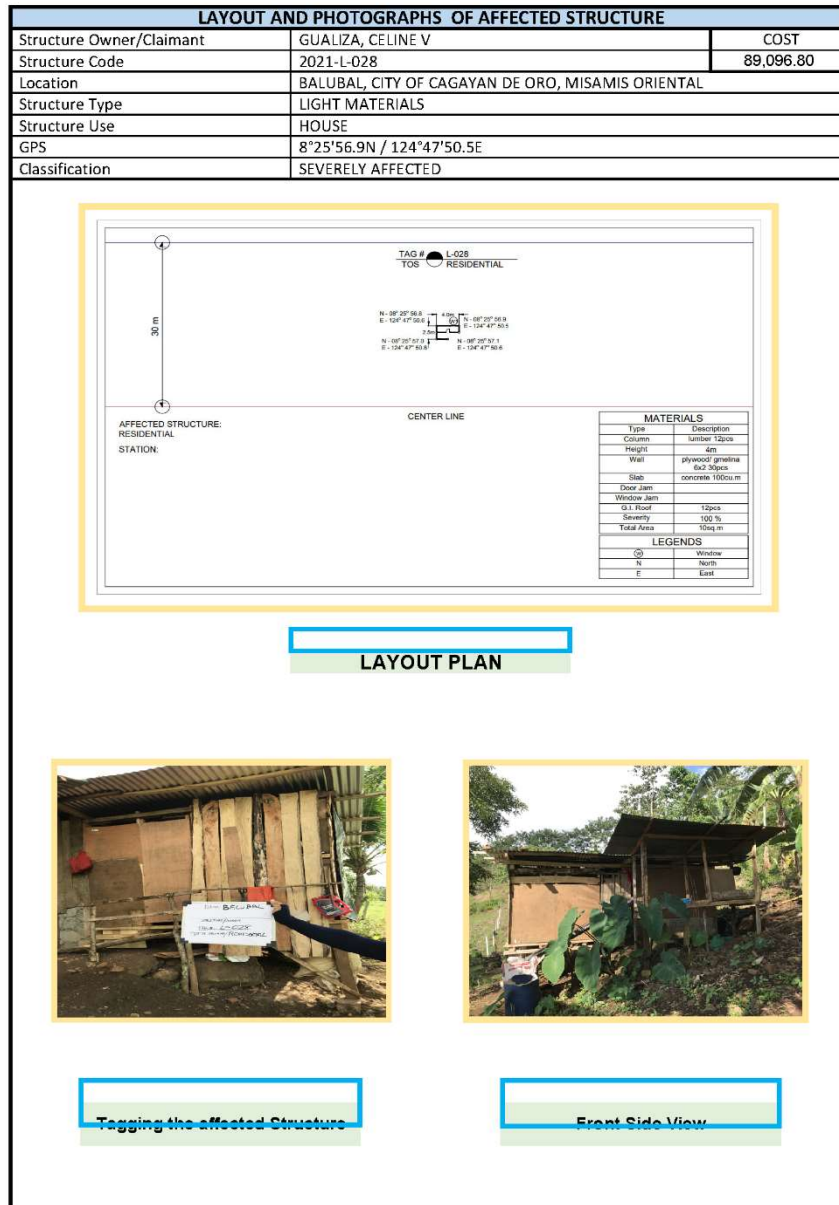
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





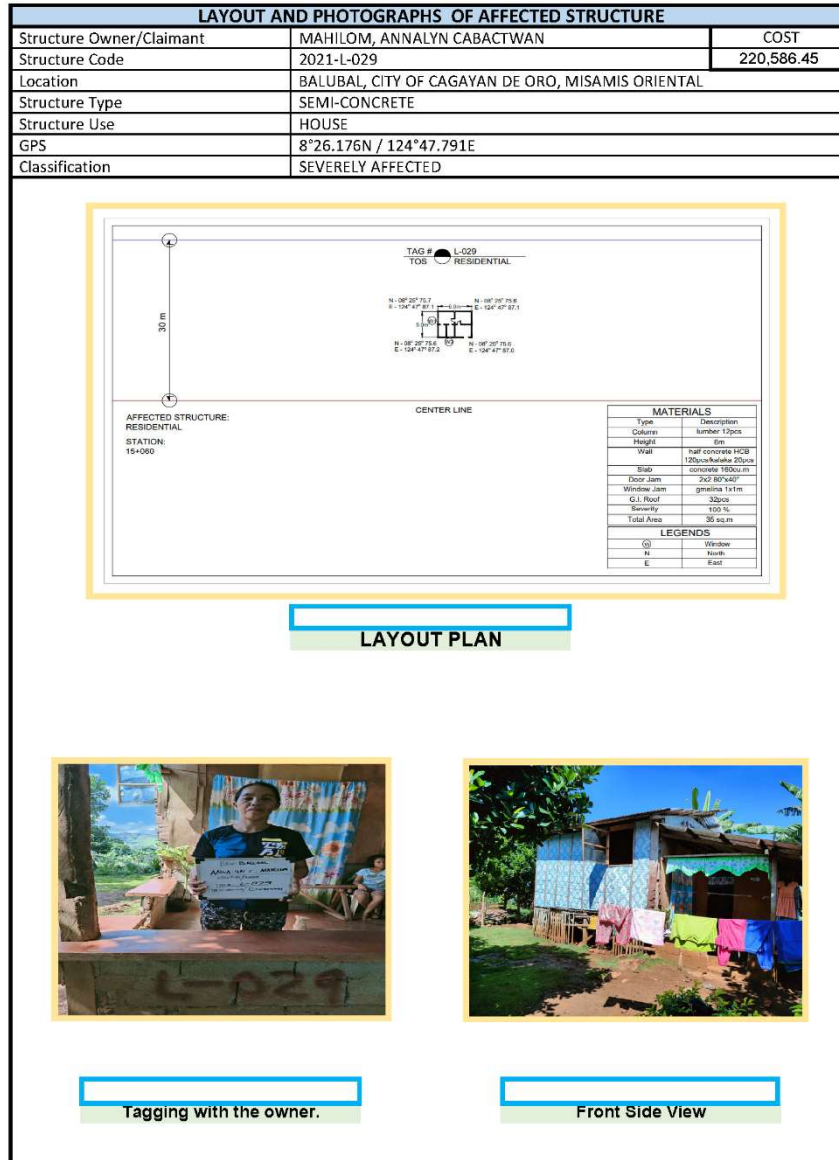
Left Side View



Front/Right View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left/Front Side View



Front/Right Side View



Right Side View



Back/Left View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Left/Front Side View



Right/Back Side View



Back Side View



Kitchen at a closer view



Right Side View of the kitchen.









Kitchen Right / Back Side View

PREPARATION OF RESETTLEMENT ACTION PLAN
FOR THE JICA PREPARATORY SURVEY ON CENTRAL MINDANAO HIGHWAY
CONSTRUCTION PROJECT
(CAGAYAN DE ORO - MALAYBALAY SECTION)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	Letty Horsa	COST
Structure Code	L-030	647,394.38
Barangay, Municipality, Province	Barangay Balubal, Cagayan de Oro City, Misamis Oriental	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Structure Type	Concrete/wood
Structure Use	Residential
Classification	SEVERELY DAMAGED
	
The Warehouse Front Side View	
	
The Warehouse Left Side View	
	
The Warehouse Right Side View	
	
Back Side View	
	
Tagging of the cage.	
	
Frontal View of the cage.	



Front Side View further to the right



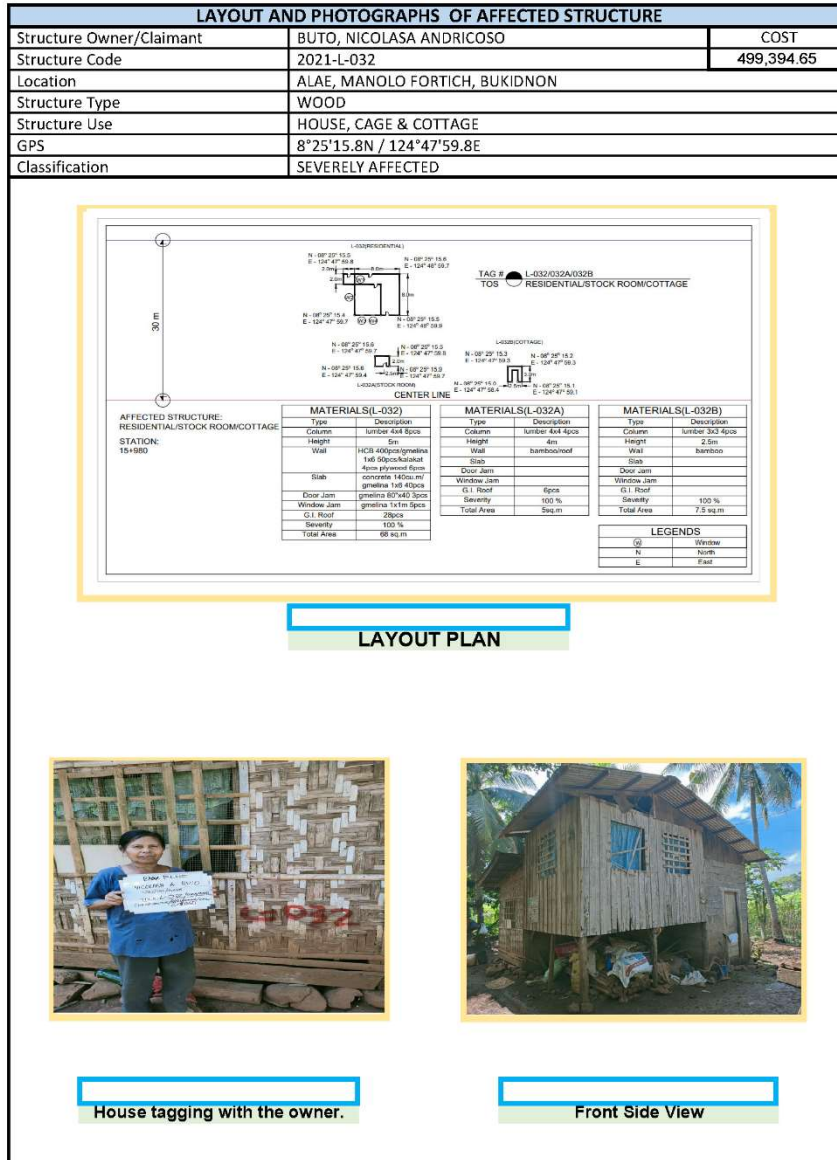
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



Left Side View



Right Side View



Back Side View



Insie View of the house



Cage tagging with the owner




Cottage front side view with tag

PREPARATION OF RESETTLEMENT ACTION PLAN
FOR THE JICA PREPARATORY SURVEY ON CENTRAL MINDANAO HIGHWAY
CONSTRUCTION PROJECT
(CAGAYAN DE ORO - MALAYBALAY SECTION)

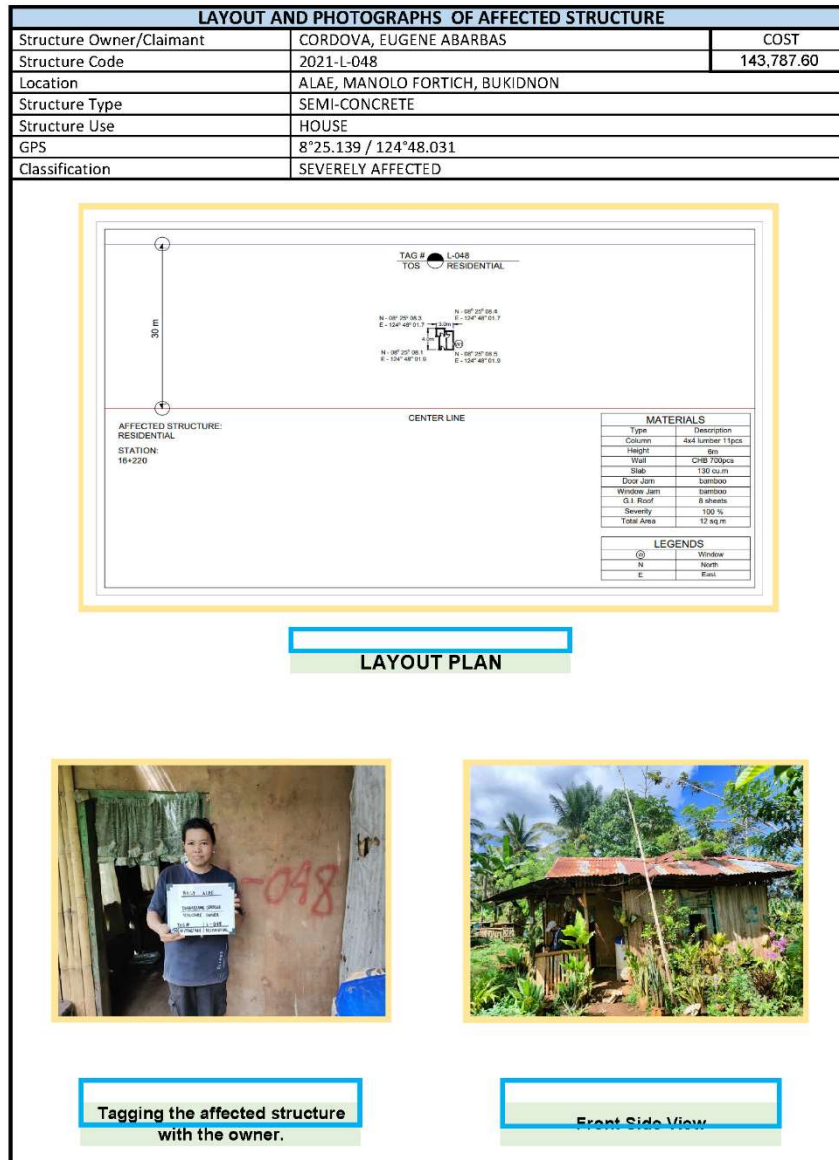
LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	Nicolasa A. Buto	COST
Structure Code	L-032	#####
Barangay, Municipality, Province	Barangay Alae, Manolo Fortich, Bukidnon	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Structure Type	Wood
Structure Use	Residential/Cottage/Cage
Classification	SEVERELY DAMAGED
<div>   </div> <div> <div>Front Side View of the Cottage</div> <div>Side view of the Cottage</div> </div>	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View
taken at an angle.



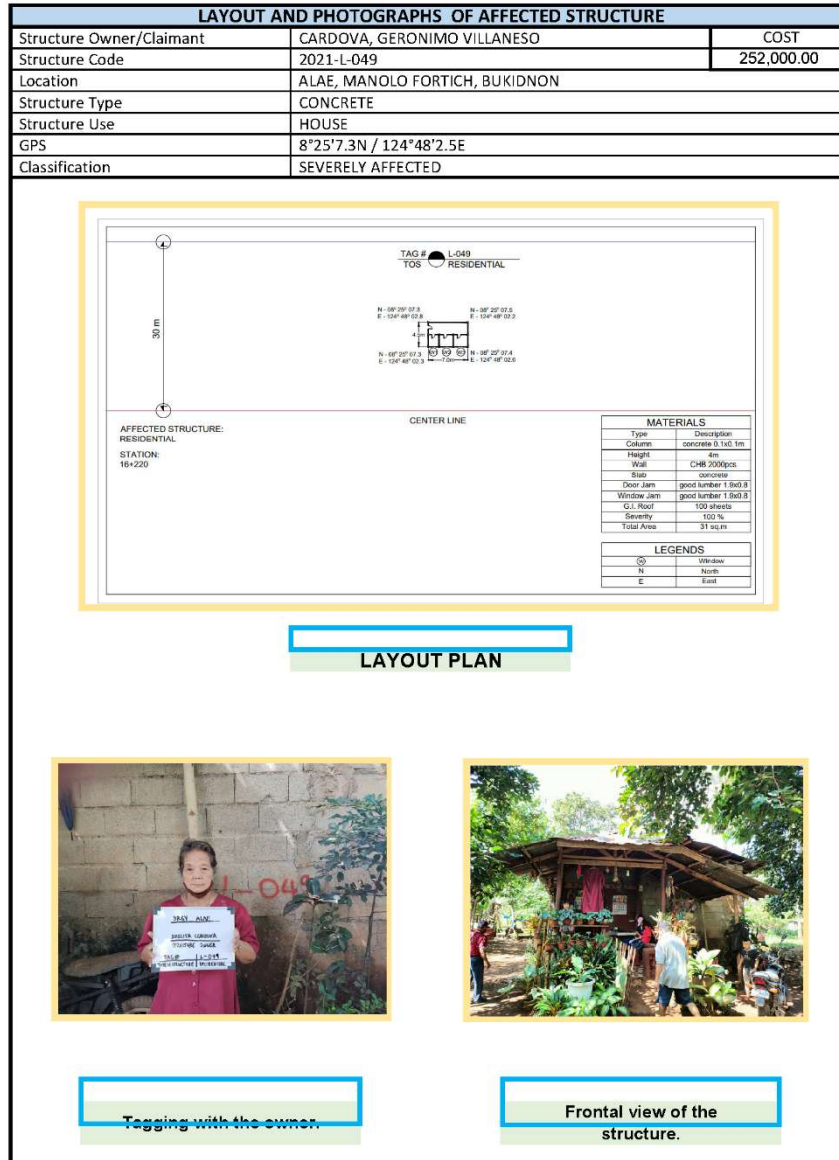
Right Side View



Back / Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



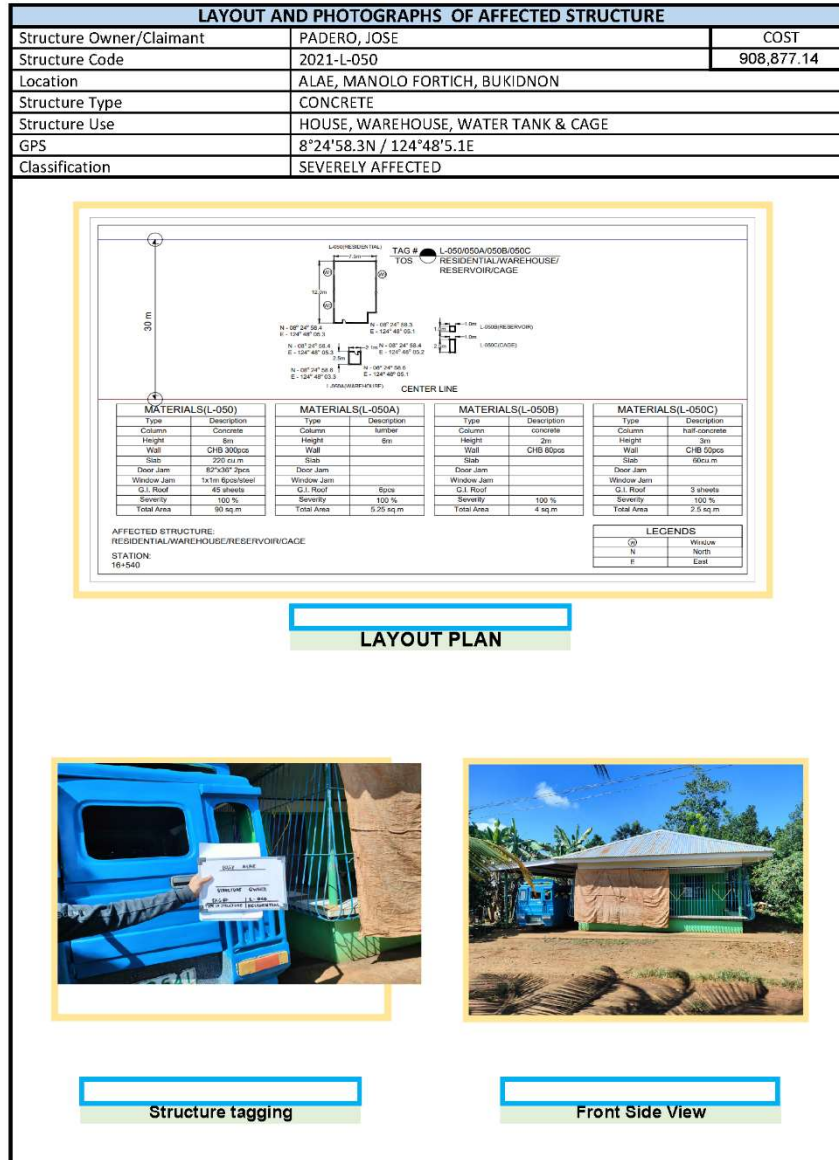
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Left/Front Side View



Right/Back View



Back Side View



The Warehouse



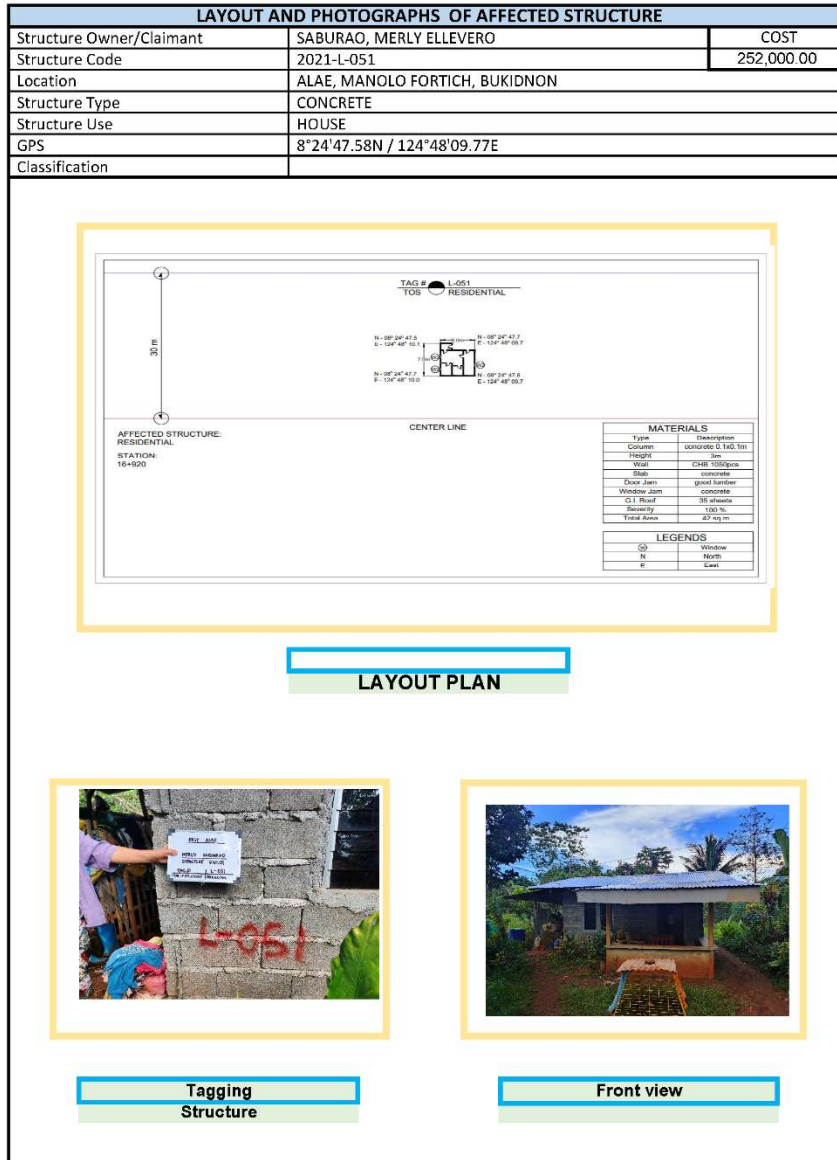
The Reservoir



The Cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View

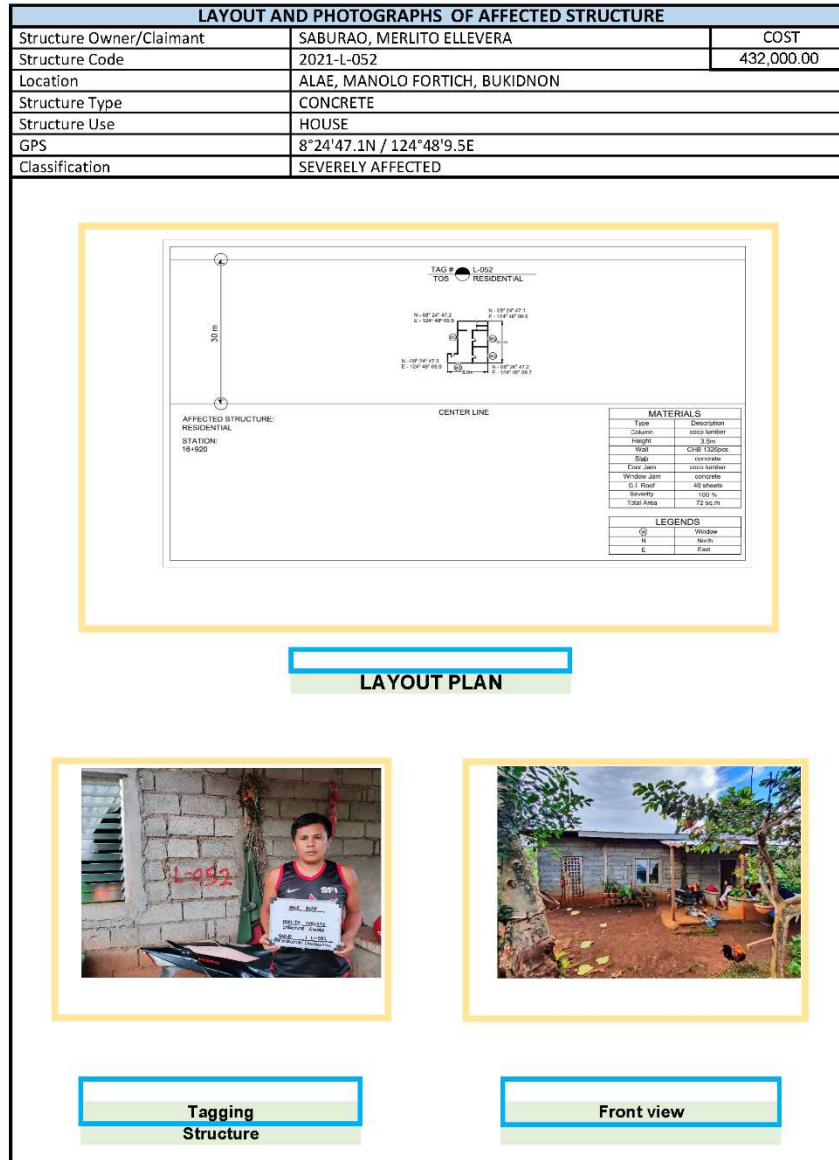


Back/Left Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View

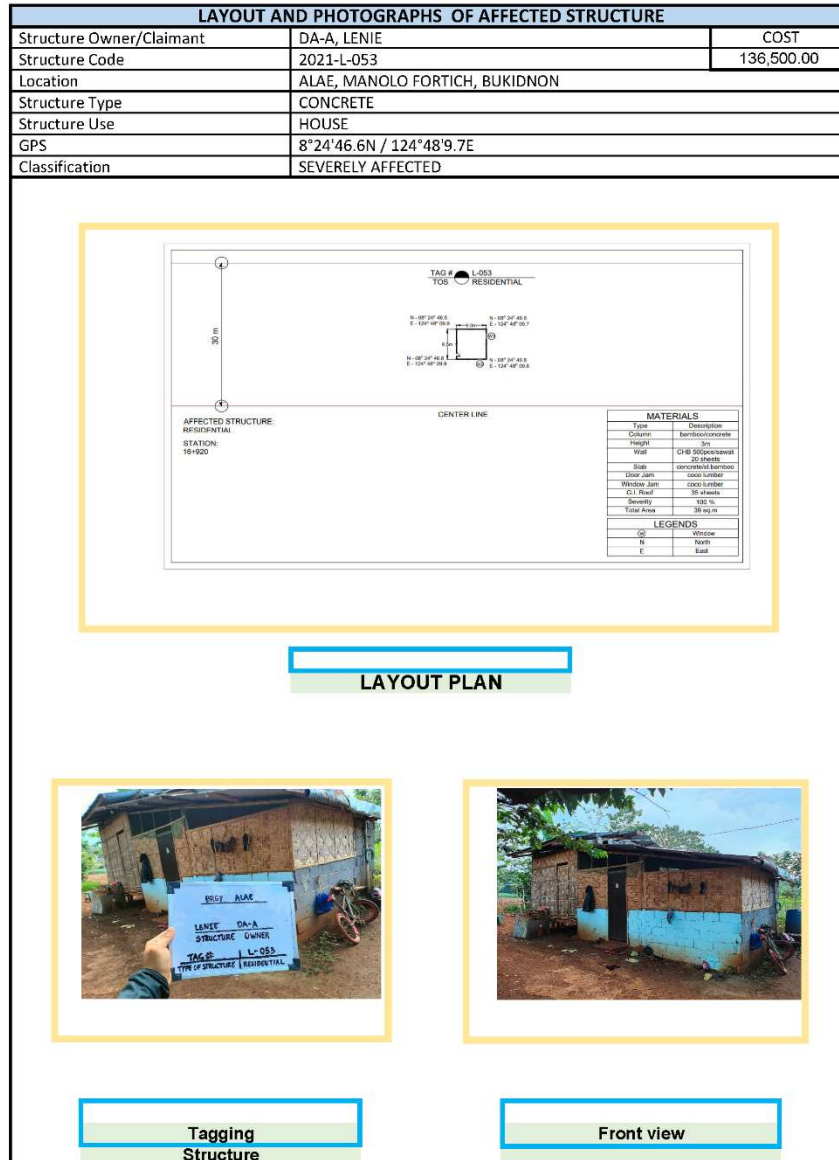


Back/Left Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View

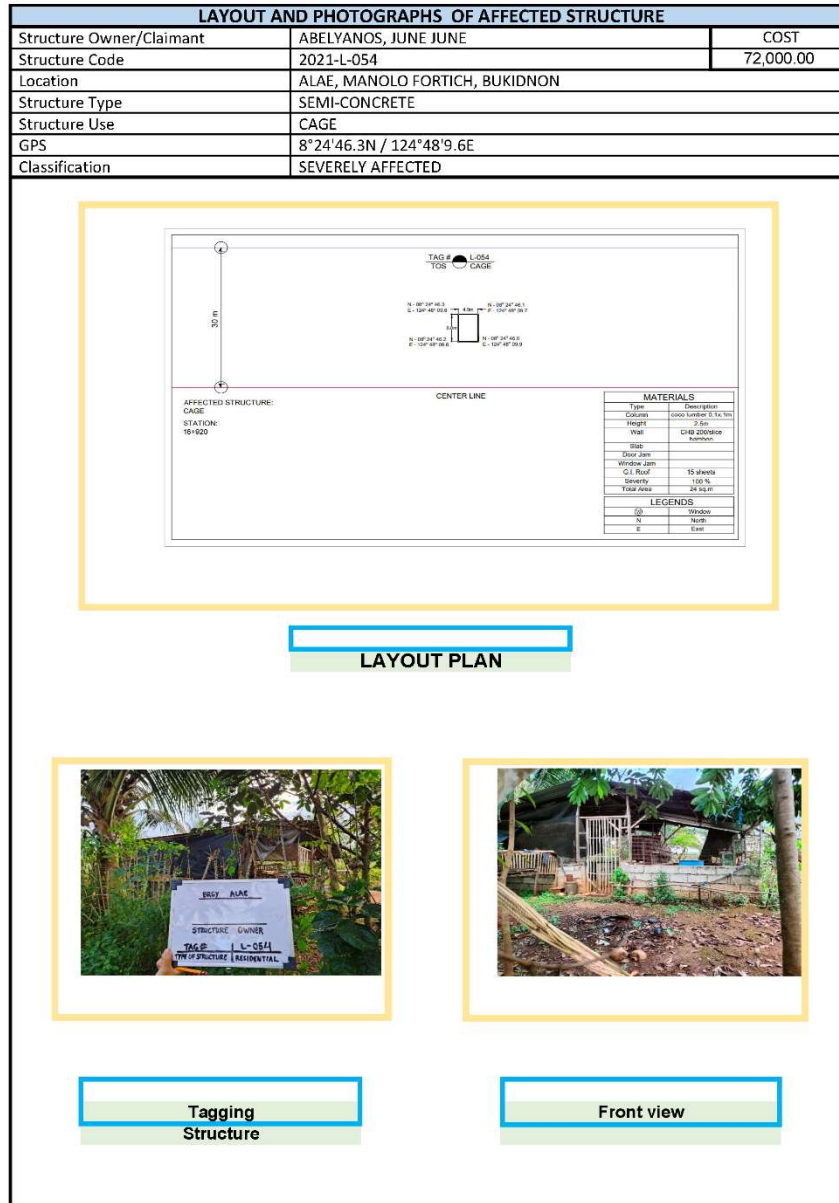


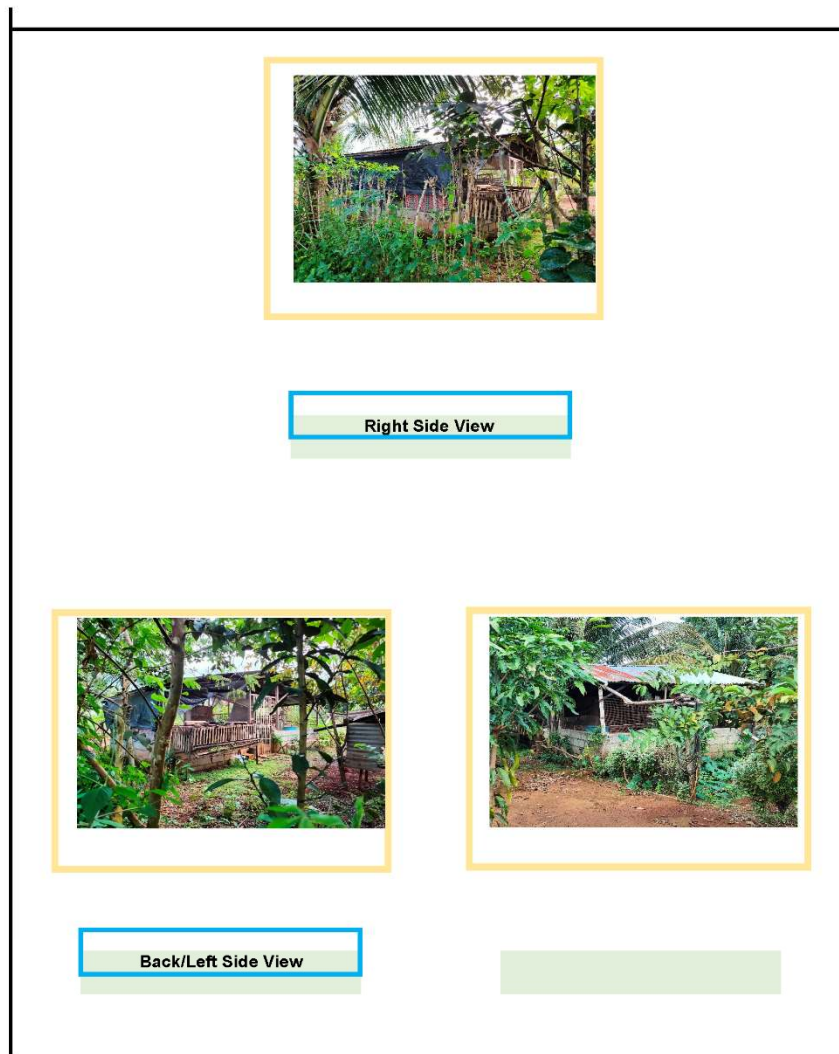
Back/Left Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

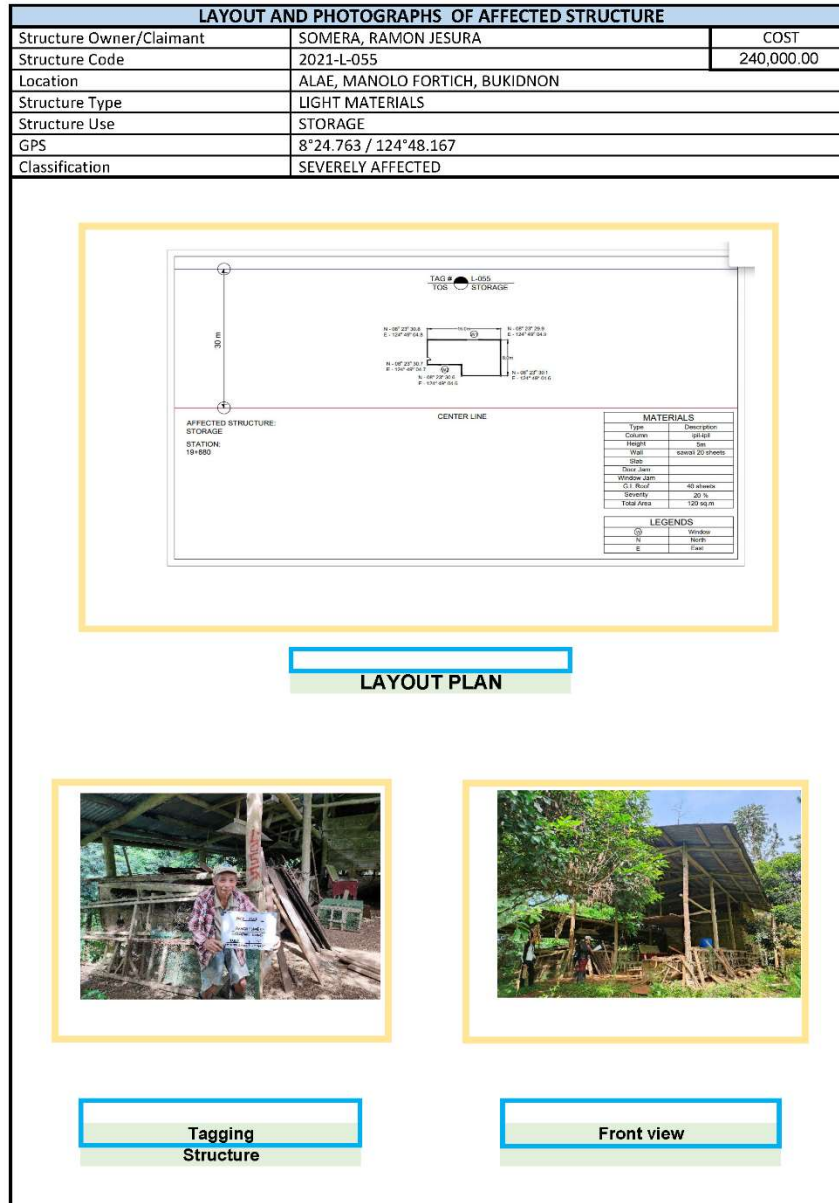
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



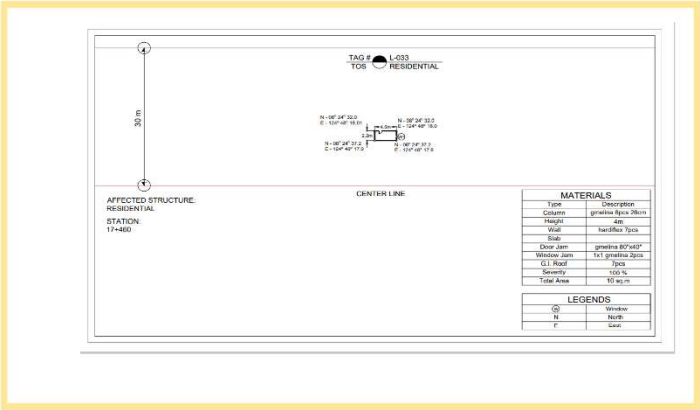
Back/Left Side View




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	OBOTA, CRISTOPER	COST
Structure Code	2021-L-033	25,000.00
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	WOOD	
Structure Use	STORAGE	
GPS	8°24'32.0N / 124°48'18.0E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging
Structure



Front view



Right Side View



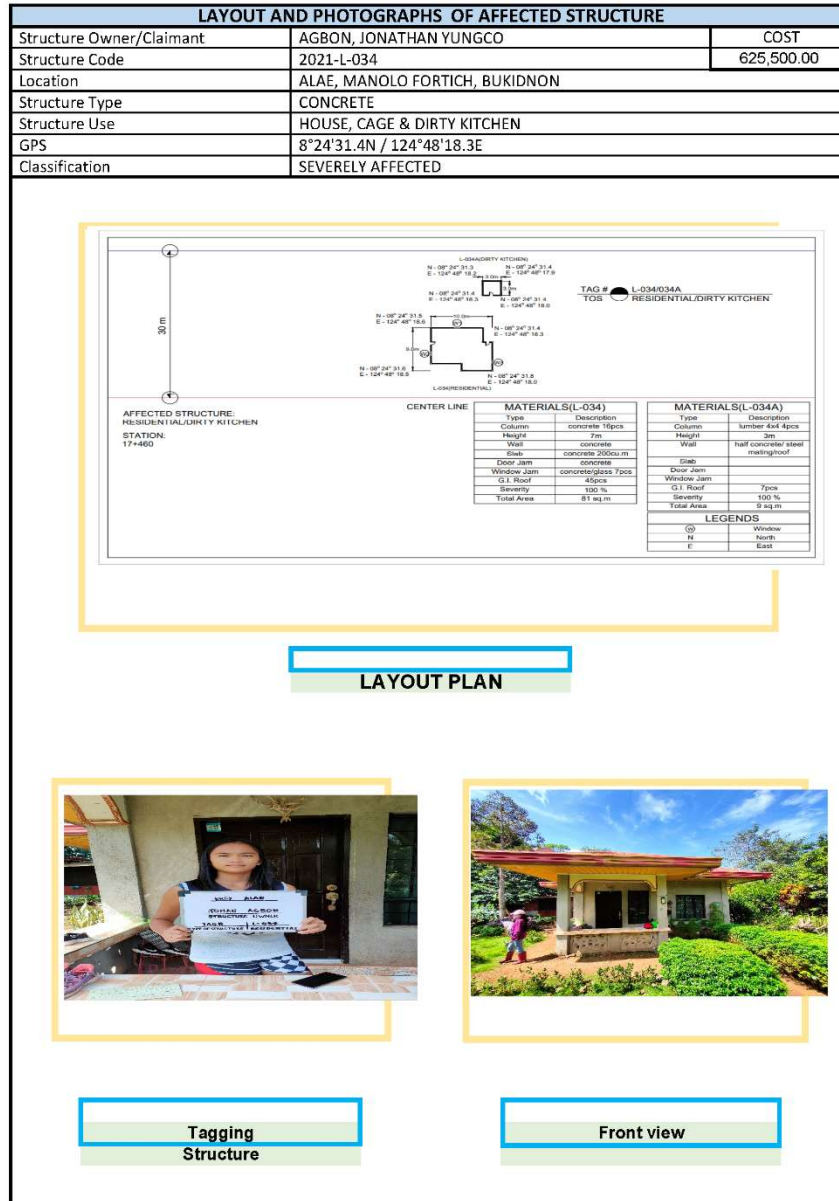
Back View



Left side view

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



Back View



Left side view

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View

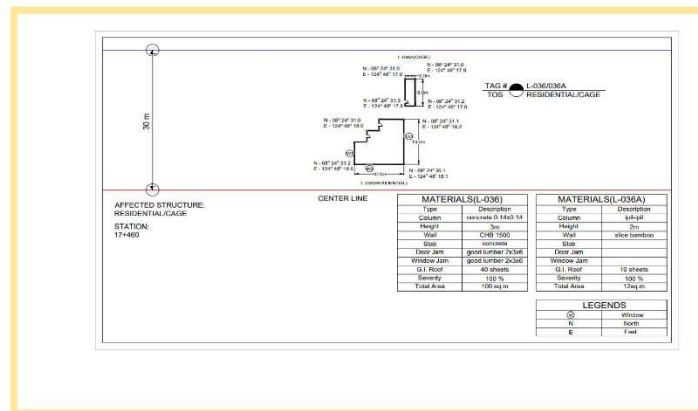


Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	AMBROCIO, DANTE	COST
Structure Code	2021-L-036	714,400.00
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE & CAGE	
GPS	8°24'31.0N / 124°48'18.6E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of Residential



Tagging of Cage



Right Side View



Back/Left Side View

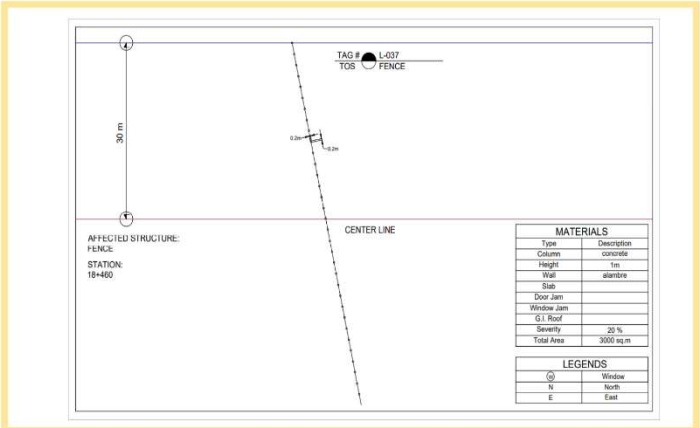


Picture of Cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)


LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HOGADOR, MARIO	COST
Structure Code	2021-L-037	45,000.00
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE	
GPS	8°24.388 / 124°48.350	
Classification	MARGINALLY AFFECTED	




MATERIALS	
Type	Description
Columns	concrete
Height	1m
Wall	alambré
Gate	
Door Jam	
Window Jam	
G.I. Rod	
Severely	20 %
Total Area	3000 sq.m

LEGENDS	
(N)	Window
N	North
E	East

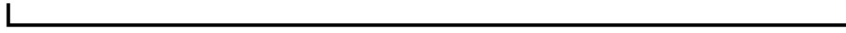
LAYOUT PLAN



Front Side View with tagging.

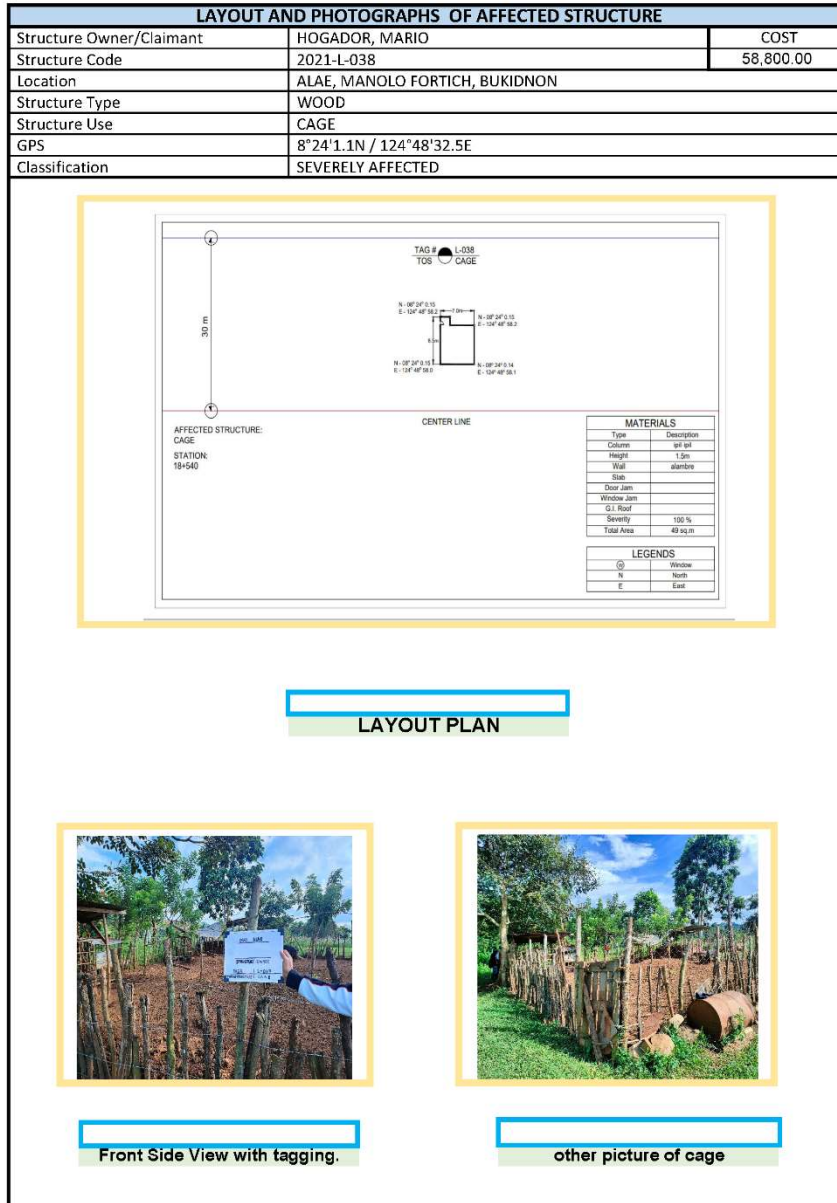


other picture of fence



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

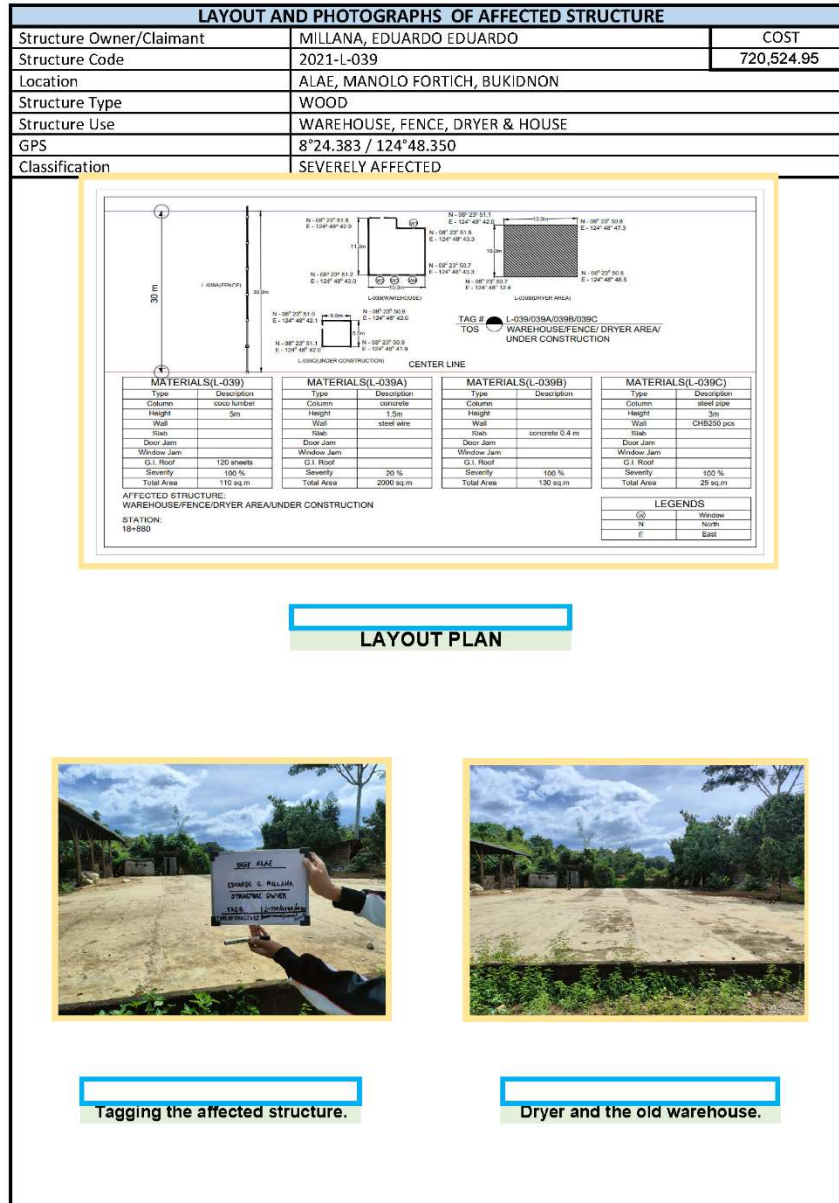
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)





Fence configuration



New warehouse underconst.



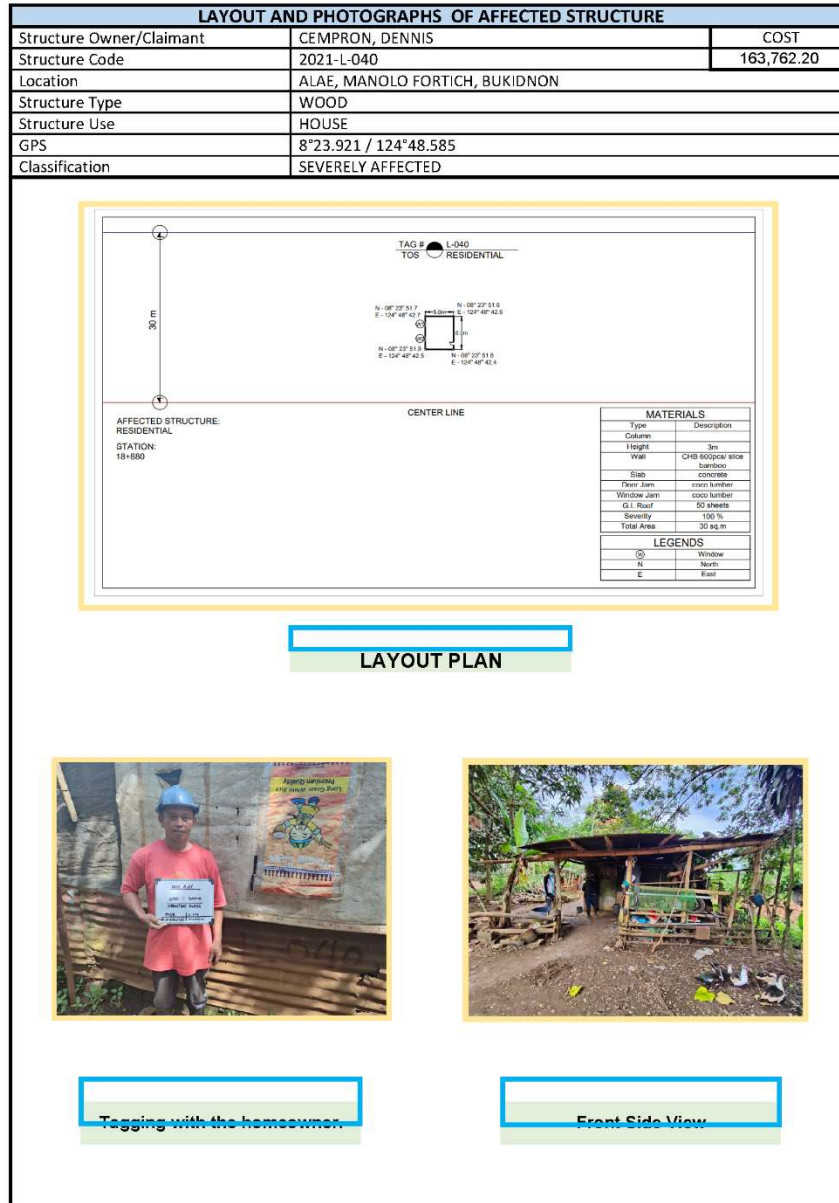
Other view of the warehouse.



Cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



Right Side View

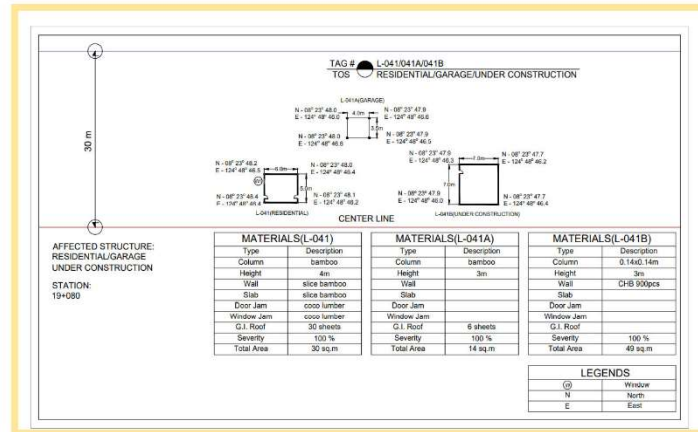


Back Side View

Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project (Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	SALVADOR, LEONARDO DEL ROSARIO	COST
Structure Code	2021-L-041	536,951.10
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	HOUSE & GARAGE	
GPS	8°23.921 / 124°48.590	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN

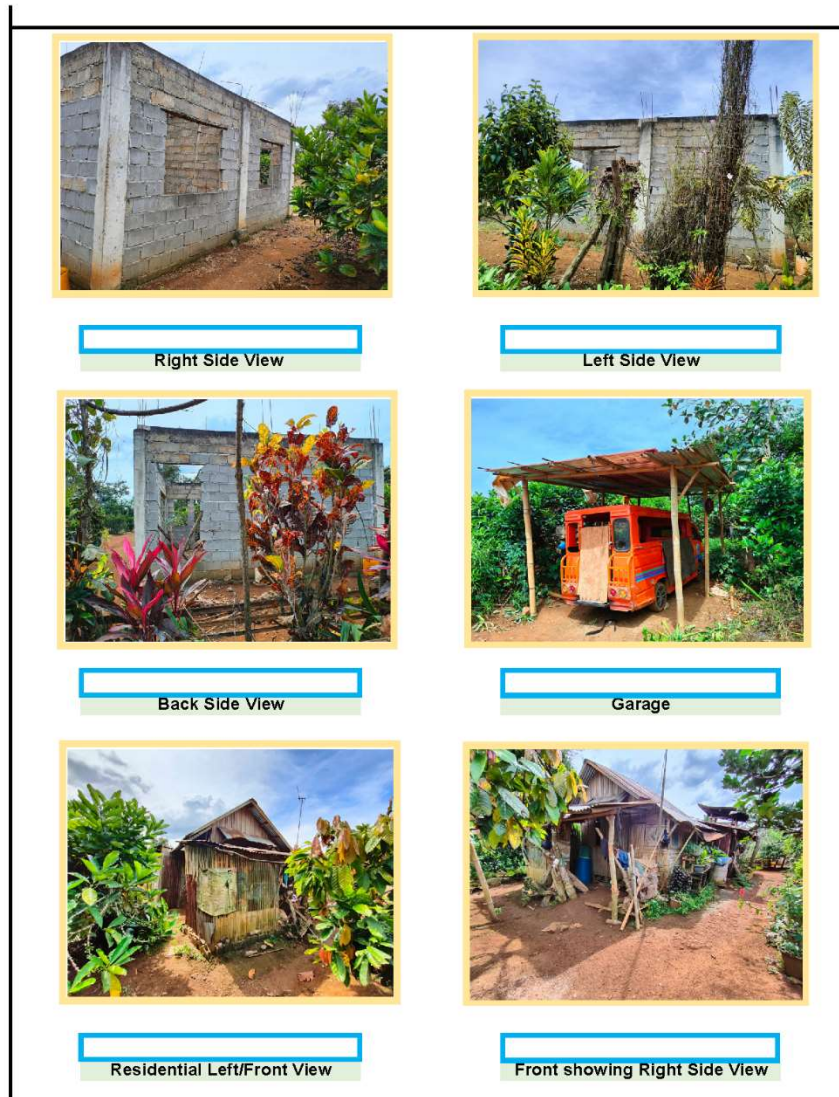


Tagging with the homeowner



House under construction
Front / Right Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



PREPARATION OF RESETTLEMENT ACTION PLAN
FOR THE JICA PREPARATORY SURVEY ON CENTRAL MINDANAO HIGHWAY
CONSTRUCTION PROJECT
(CAGAYAN DE ORO - MALAYBALAY SECTION)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	Rosalina Salvador	COST
Structure Code	L-041	536,951.10
Barangay, Municipality, Province	Barangay Alae, Manolo Fortich, Bukidnon	
Structure Type	Concrete	

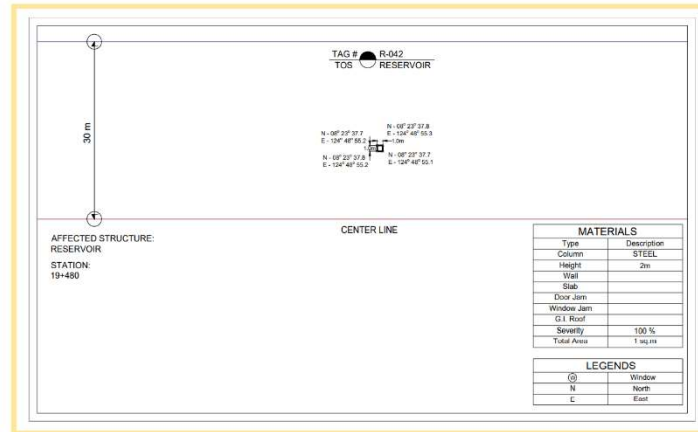
Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Structure Use	Residential
Classification	SEVERELY DAMAGED
	
Right Side View	Back View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HOGADOR, ANABEL	COST
Structure Code	2021-L-042	27,500.00
Location	ALAE, MANOLO FORTICH, BUKIDNON	
Structure Type	STEEL	
Structure Use	WATER TANK	
GPS	8°23'37.8N / 124°48'55.2E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the water tank.



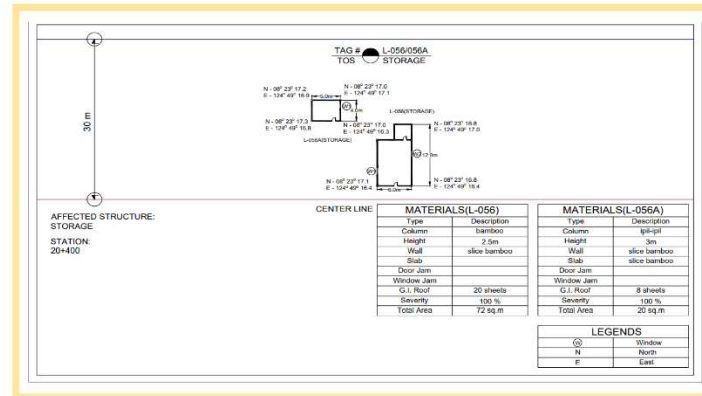
Full view of the water tank.



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	LASTIMOSA, DAMIAN JR. JIPULAN	COST
Structure Code	2021-L-056	132,627.20
Location	SAN MIGUEL, MANOLO FORTICH, BUKIDNON	
Structure Type	WOOD	
Structure Use	STORAGE	
GPS	8°23.480 / 124°49.070	
Classification	SEVERELY AFFECTED	



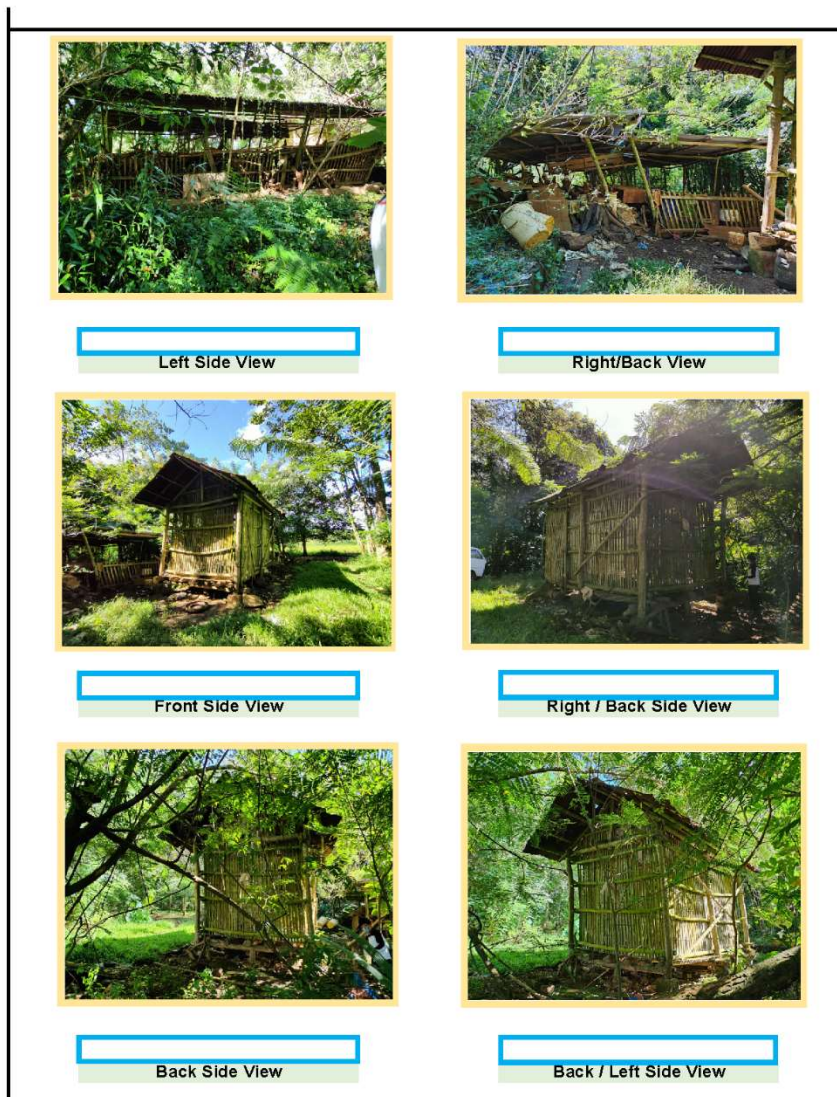
LAYOUT PLAN



Tagging with the homeowner.



Right Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-L-057	20,499.15
Location	SANKANAN, MANOLO FORTICH, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°20'40.2N / 124°51'37.8E	
Classification	SEVERELY AFFECTED	

MATERIALS	
Type	Description
Column	Concrete
Height	13m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severity	100 %
Total Area	

LEGENDS	
GP	Window
N	North
E	East

LAYOUT PLAN

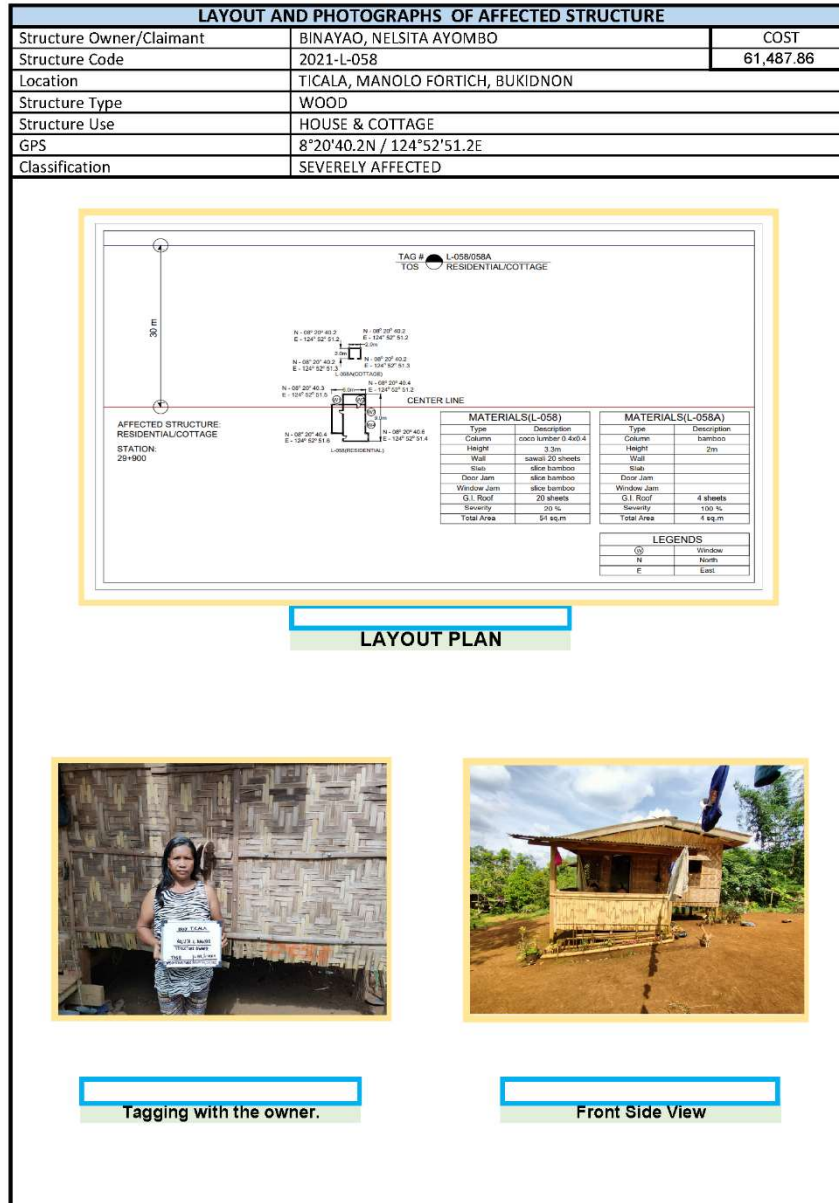
Structure tagging

Other side of the picture



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



Right Side View



Back Side View

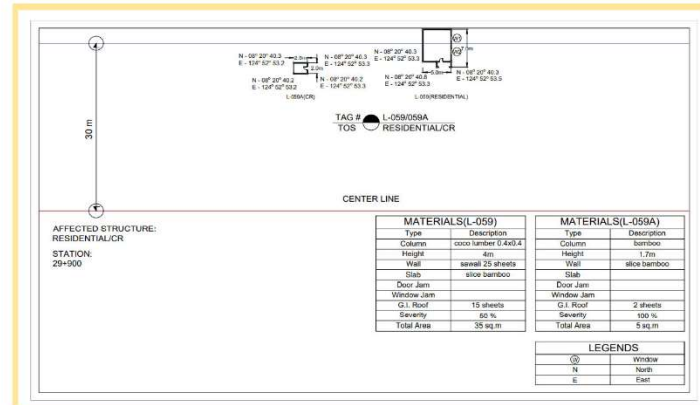


Cottage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HELUCAN, FELIX	COST
Structure Code	2021-L-059	225,539.05
Location	TICALA, MANOLO FORTICH, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE & CR	
GPS	8°20.655 / 124°52.893	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the affected structure.



Front Side View



Left/Front Side View



Right Side View

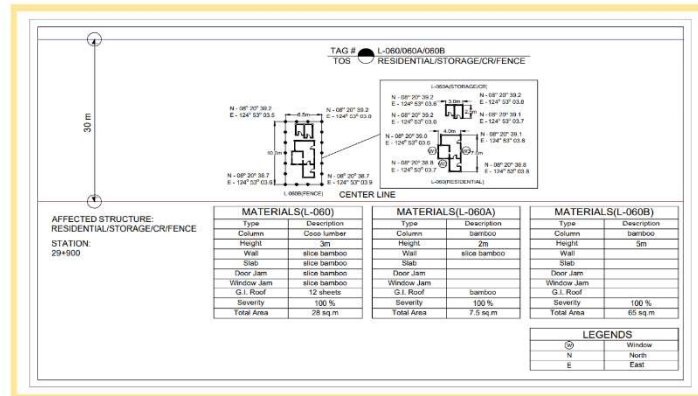


The Toilet

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ALIMBOG, MARLON GUMONAN	COST
Structure Code	2021-L-060	203,569.51
Location	TICALA, MANOLO FORTICH, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE, CR & FENCE	
GPS	8°20'38.7N / 124°53'3.5E	
Classification	SEVERELY AFFECTED	



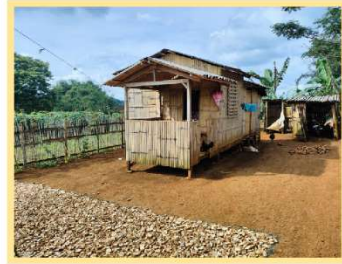
LAYOUT PLAN



Structure tagging with the owner.



Front Side View



Left/Front Side View



Right Side View



Back Side View



The Garage



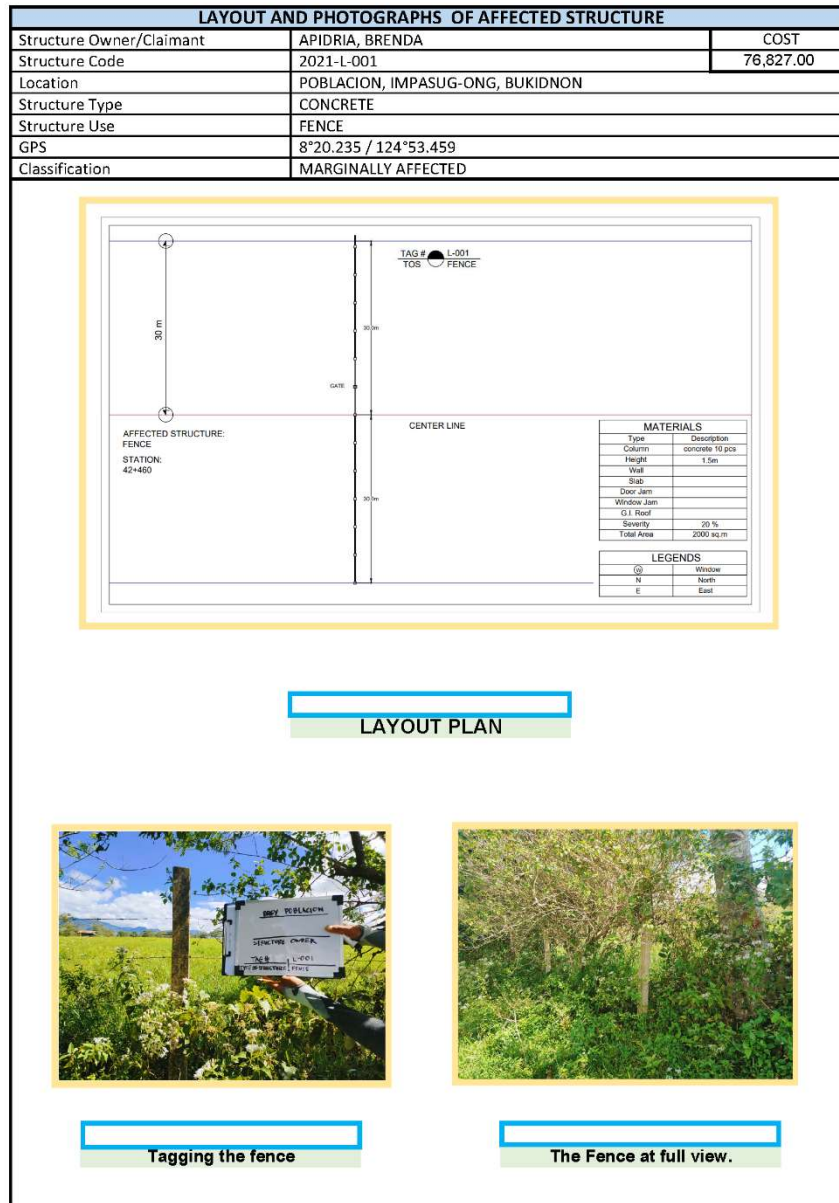
The Toilet



The Fence

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

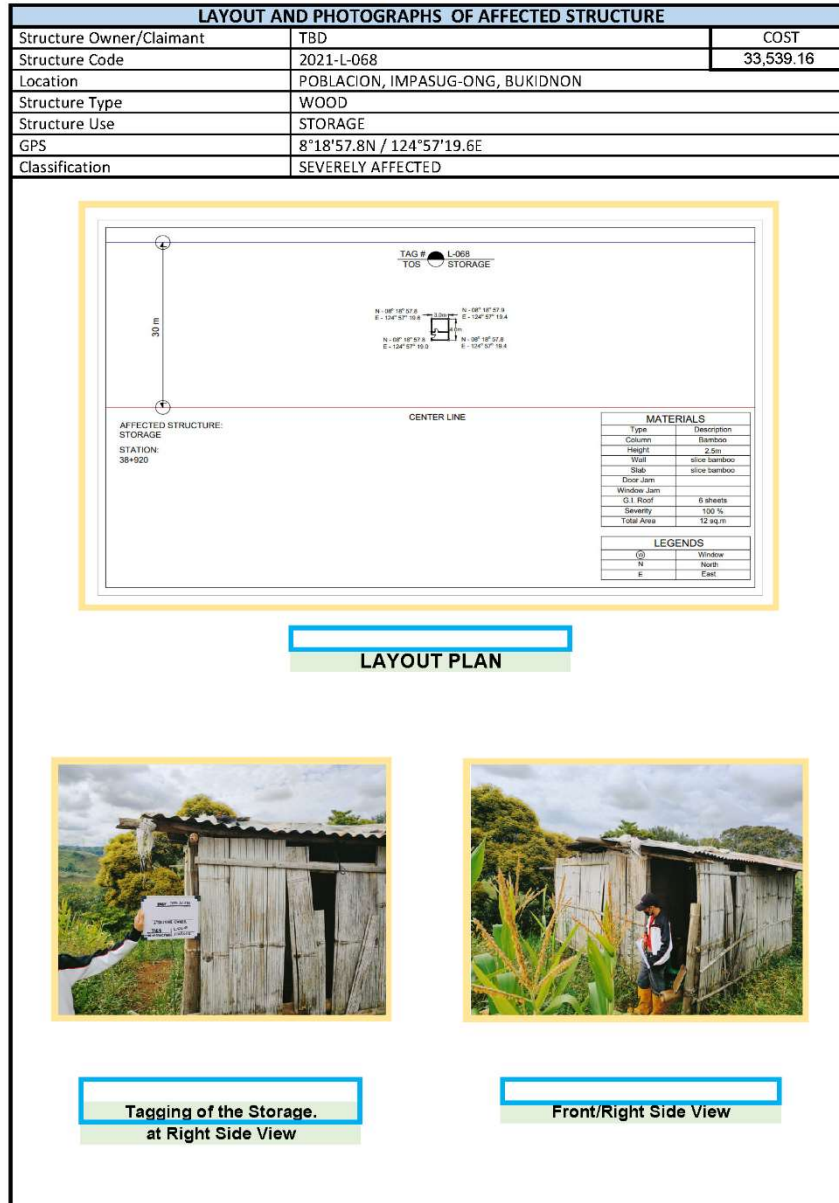
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Back/Right Side View



Left Side View

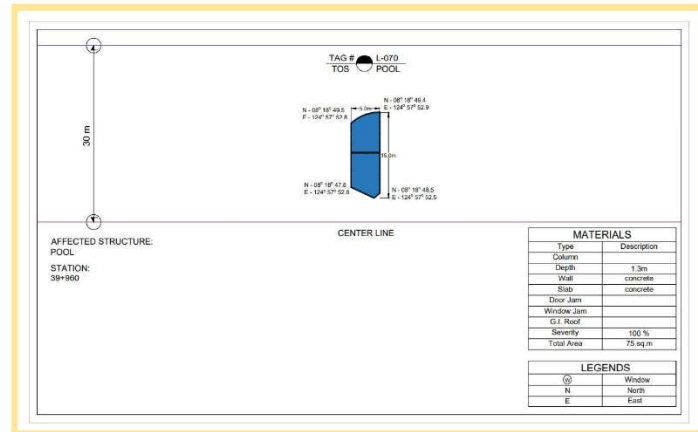


Inside View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BENOUNG, ROBERT	COST
Structure Code	2021-L-070	118,240.16
Location	POBLACION, IMPASUG-ONG, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	POOL	
GPS	8°18'48.5N / 124°57'52.8E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



View of electric post
with geo tag.

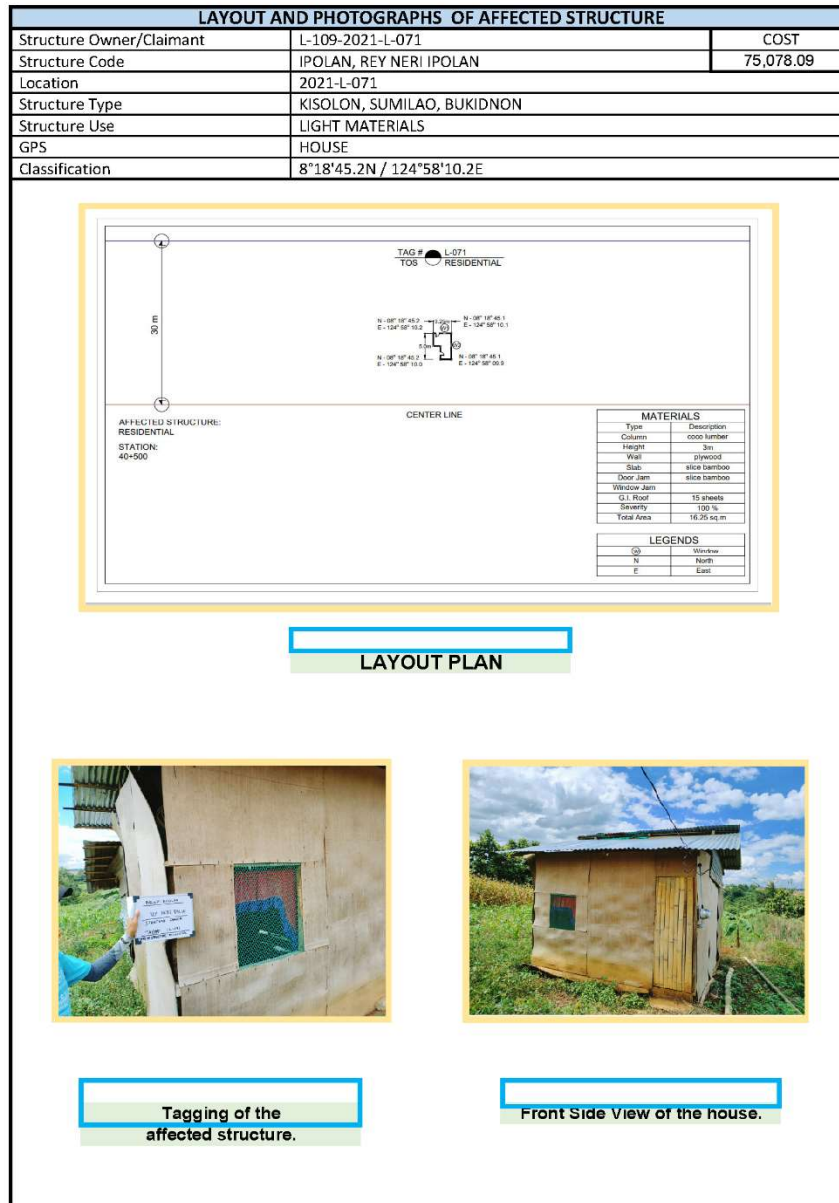


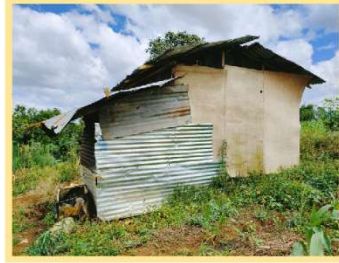
Other view of the
electric post.



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2021-L-072	32,400.00
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	STEEL	
Structure Use	ELECTRIC POST	
GPS	8°18'45.1N / 124°58'11.0E	
Classification	SEVERELY AFFECTED	

MATERIALS	
Type	Description
Column	erecting steel pole
Height	9m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severity	100 %
Total Area	

LEGENDS	
(O)	Window
N	North
E	East

LAYOUT PLAN

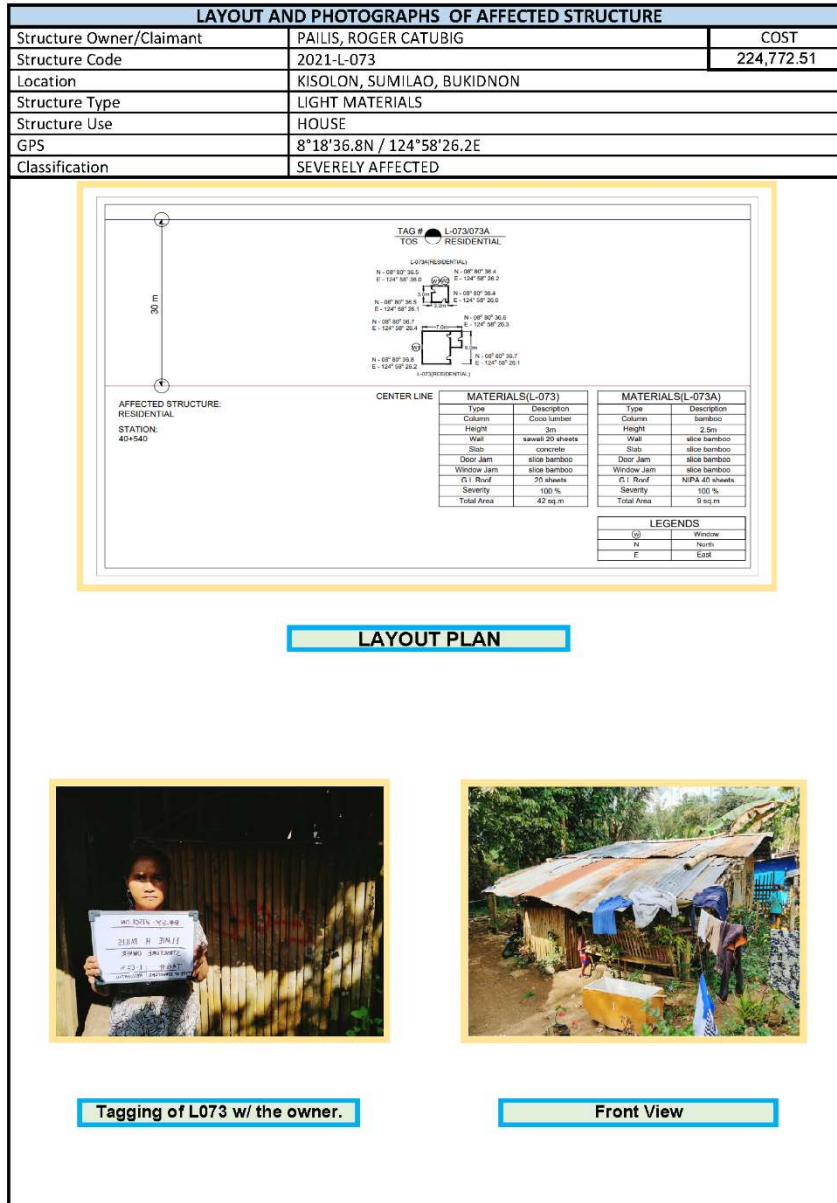
Tagging of the electric post.

Full view of the electric post.

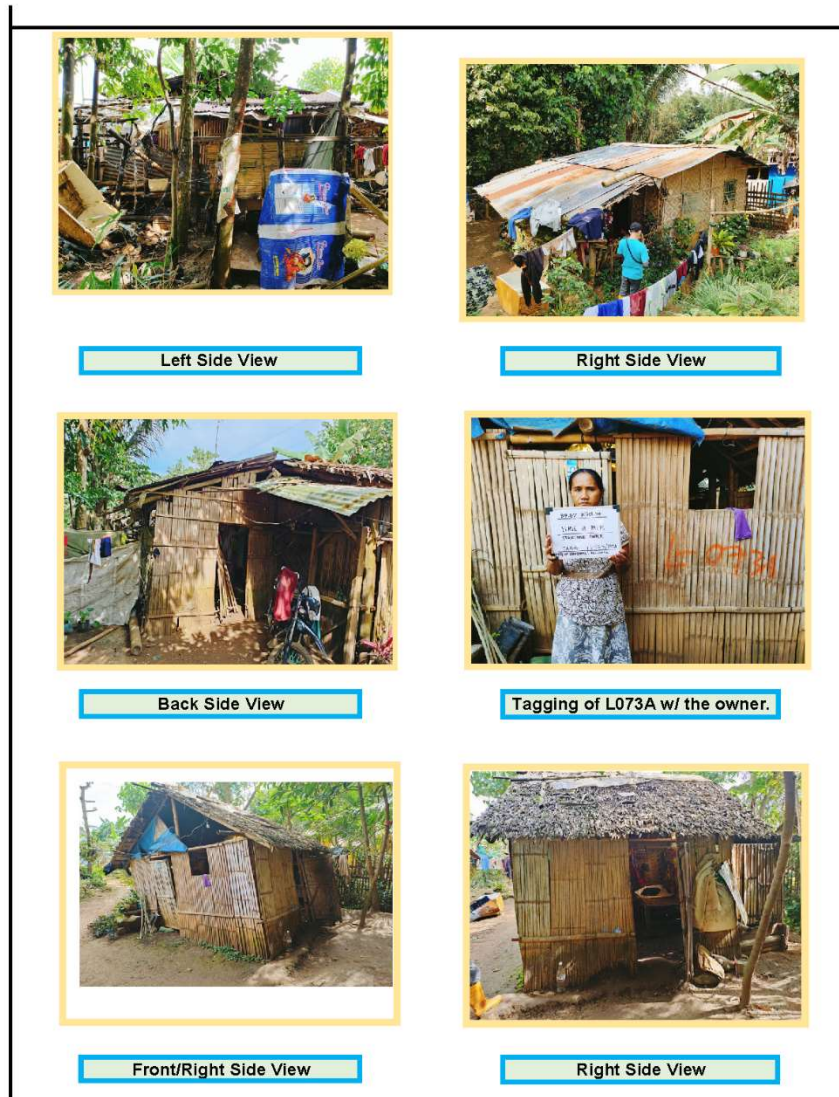


Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



PREPARATION OF RESETTLEMENT ACTION PLAN
FOR THE JICA PREPARATORY SURVEY ON CENTRAL MINDANAO HIGHWAY
CONSTRUCTION PROJECT
(CAGAYAN DE ORO - MALAYBALAY SECTION)

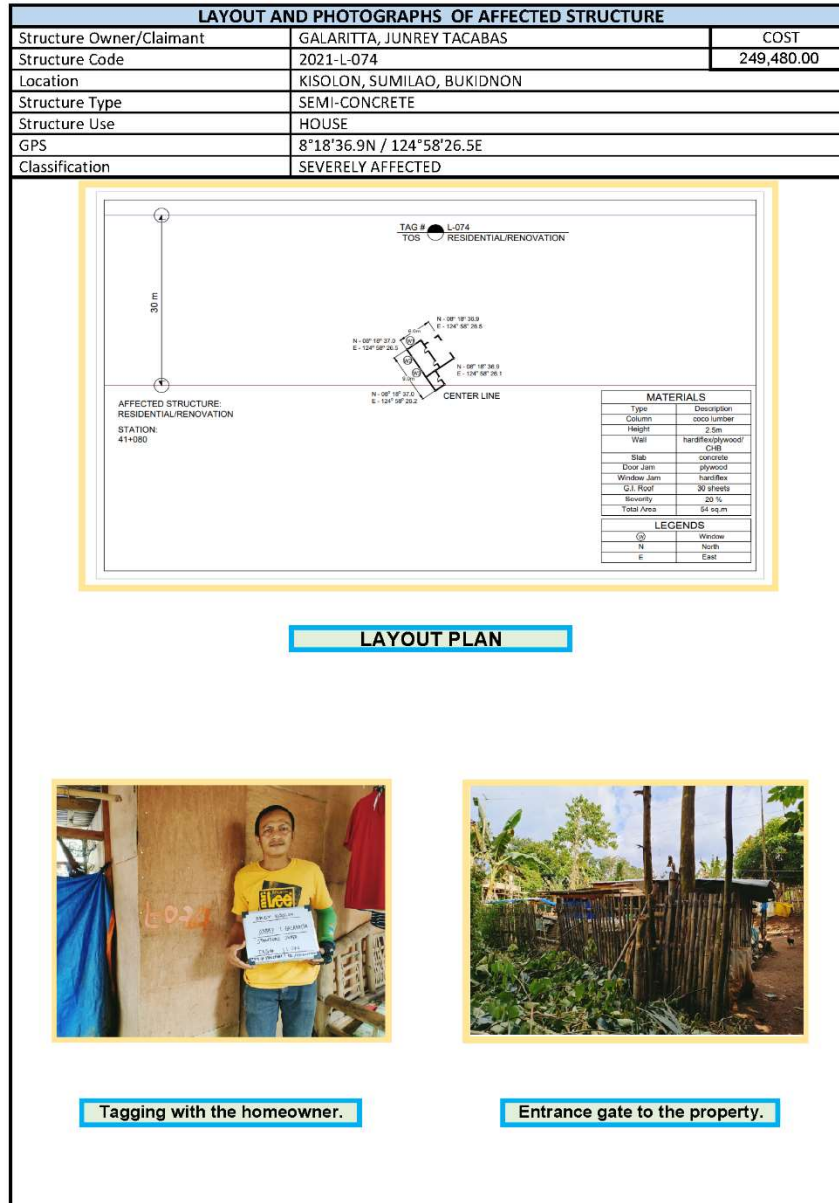
LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner	Elmie H. Pailis	COST
Structure Code	L-073	224,772.51
Barangay, Municipality, Province	Barangay Kisolon, Sumilao, Bukidnon	
Structure Type	Light Materials	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

Structure Use	Residential
Classification	SEVERELY DAMAGED
<div><div><p>Left Side View</p></div><div><p>Back Side View</p></div></div>	

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Frontal View from the fence.



Back/Left Side View



Back Side View



Right Side View



Toilet and Bathroom

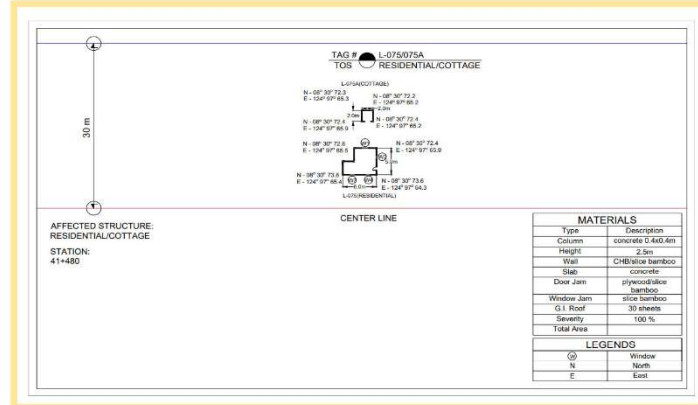


Dirty Kitchen

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ROSALES, JOVANIE	COST
Structure Code	2021-L-075	252,612.30
Location	KISOLON, SUMILAO, BUKIDNON	
Structure Type	SEMI-CONCRETE	
Structure Use	STORAGE & COTTAGE	
GPS	8°18.614 / 124°58.440	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the property and the cottage on the background.



Left/Front Side View



Left Side View



Front/Right Side View



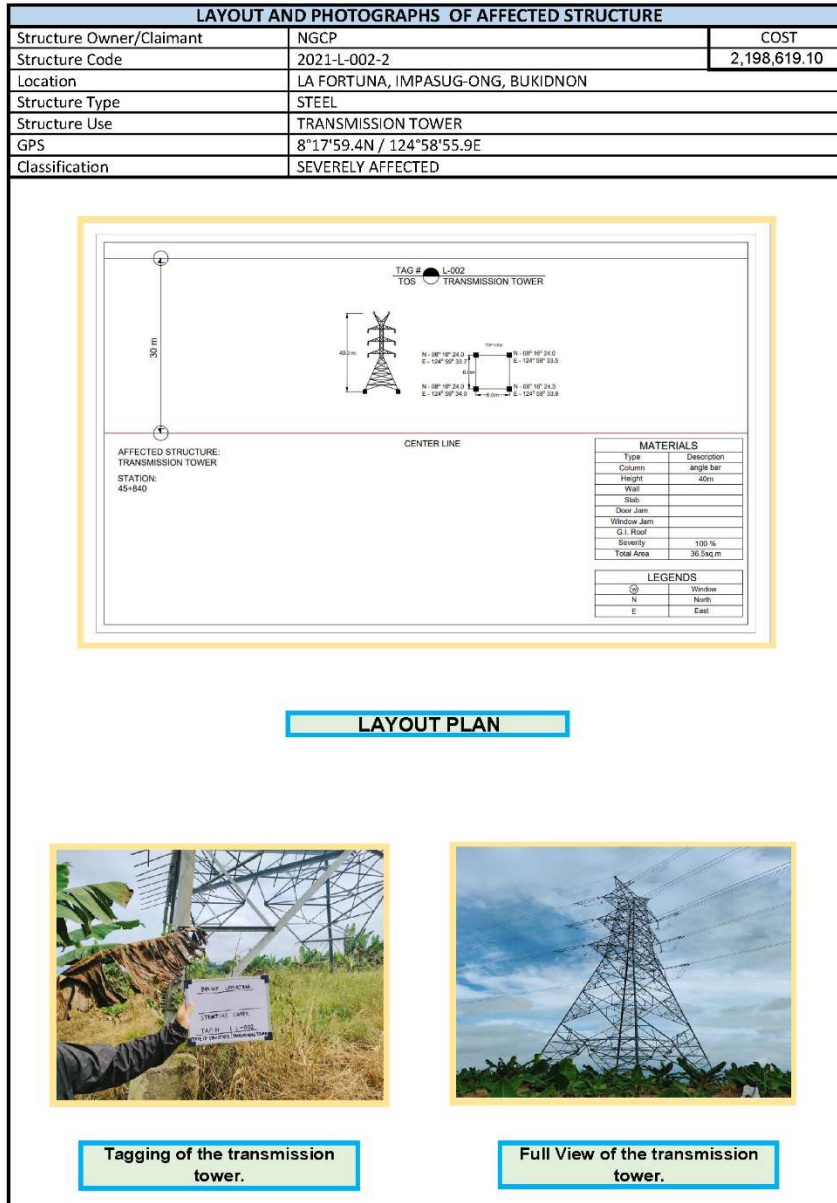
Back Side View



Storage Room

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

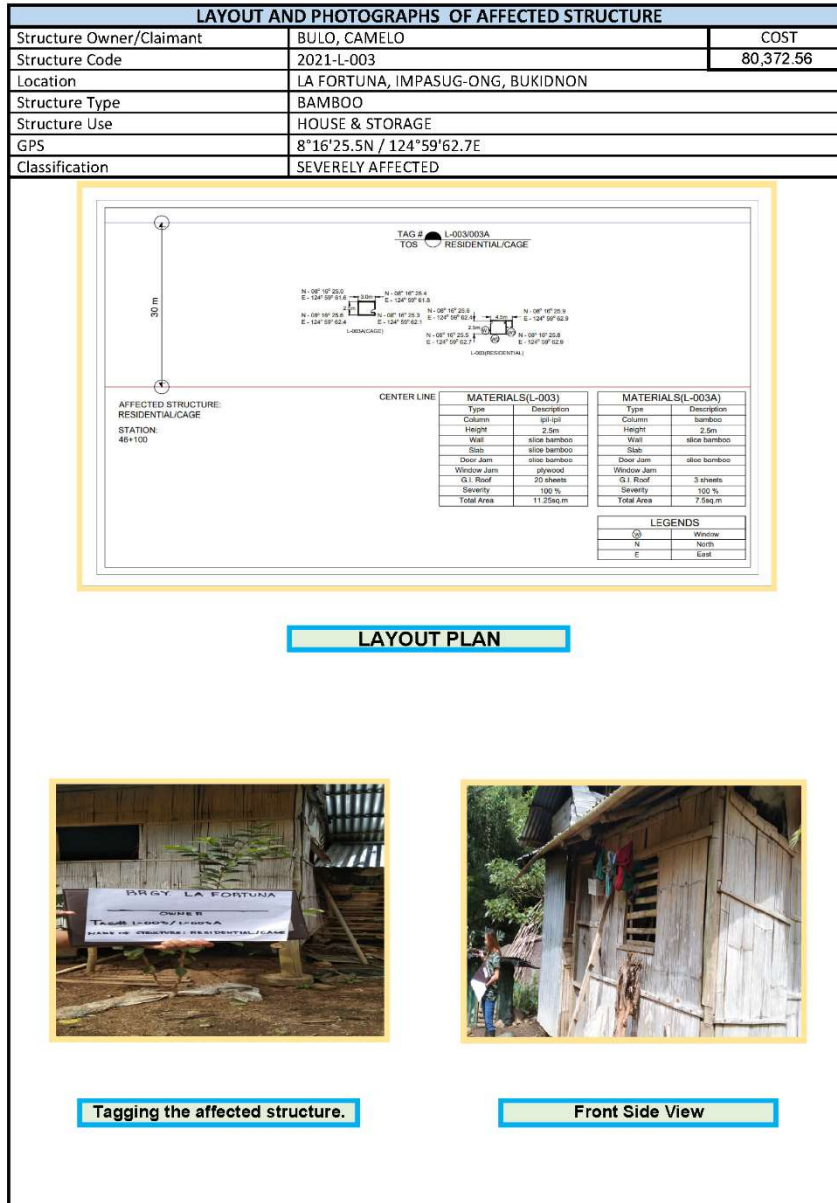
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Right Side View



Right side closer view.



Back Side View

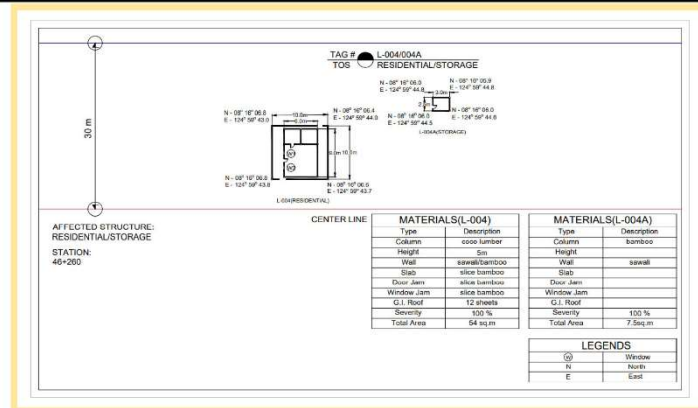


The Cage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TAN, LUCITA	COST
Structure Code	2021-L-004	214,767.23
Location	LA FORTUNA, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE, STORAGE & FENCE	
GPS	8°16.700 / 124°59.357	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the affected structure.



Front/Left Side View



Right Side View



Storage front side view.

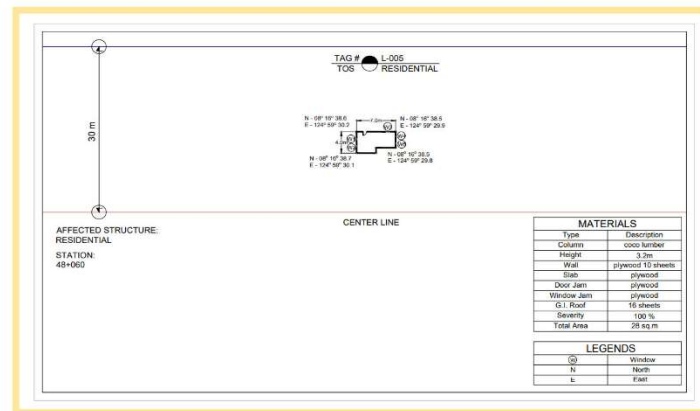


Storage back side view.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	HUMAYNOM, LEONILYN SALAIT	COST
Structure Code	2021-L-005	76,421.80
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°15.622 / 125°0.512	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with the homeowner.



Front Side View



Left Side View



Right Side View

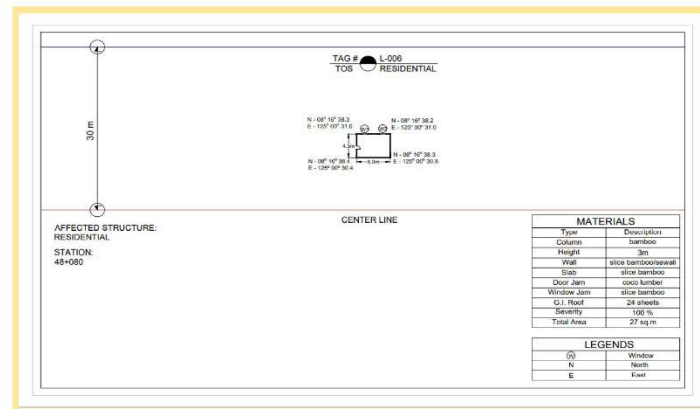


Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	GOMINTONG, JEROME LUPAG	COST
Structure Code	2021-L-006	68,292.45
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	HOUSE	
GPS	8°15.632 / 125°05.520	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with the homeowner.



Front Side View



Left Side View



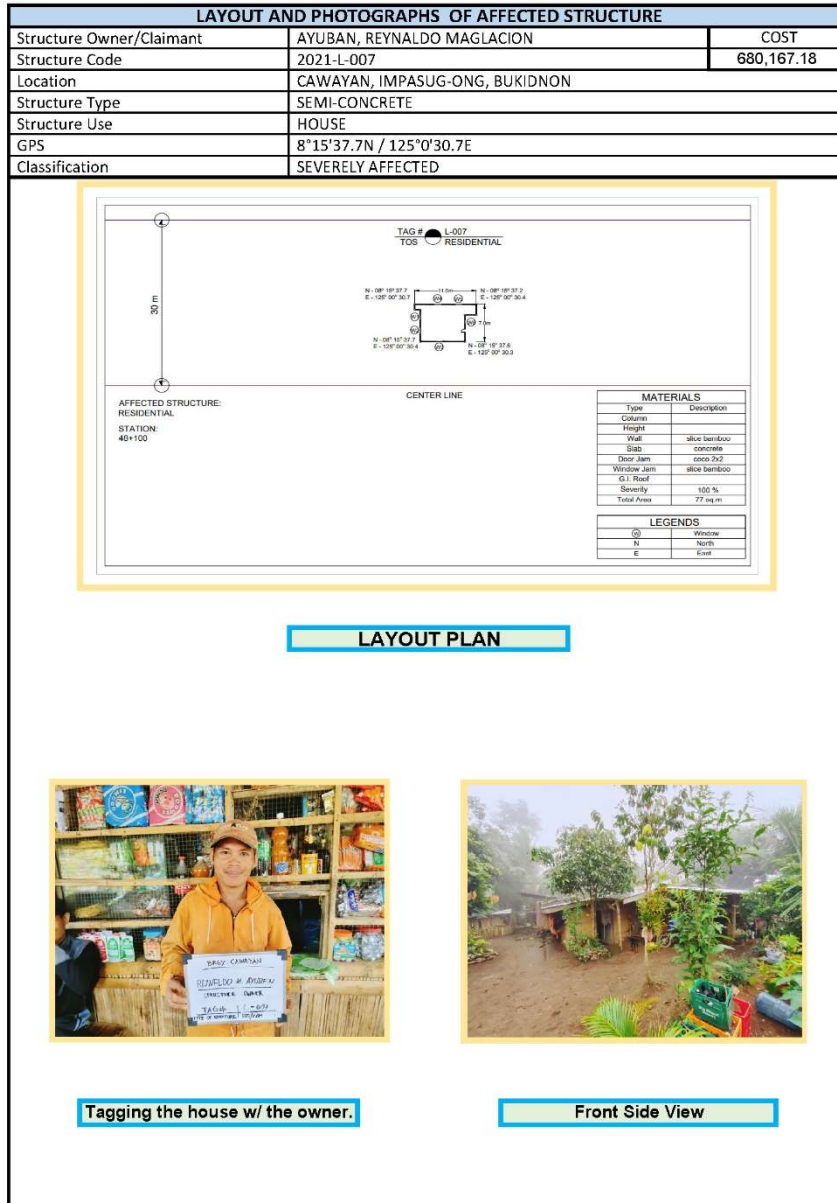
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left/Front Side View



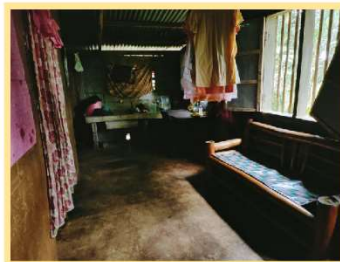
Other shot for the Left/Front view



Right Side View



Back Side View



The Living Room

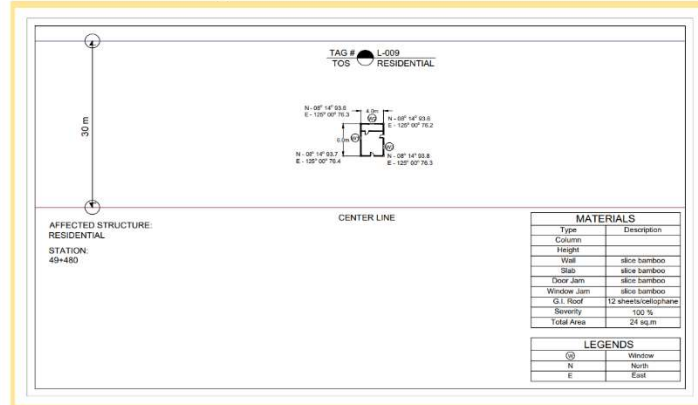


Dining Room

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	GAMA, JOEVERNI SUAY	COST
Structure Code	2021-L-009-2	60,704.40
Location	IMPALUTAO, IMPASUG-ONG, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	HOUSE	
GPS	8°14'93.6N / 125°0'76.3E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



House tagging w/ the owner.



Front Side View



Left/Front Side View



Right Side View



Back/Left Side View

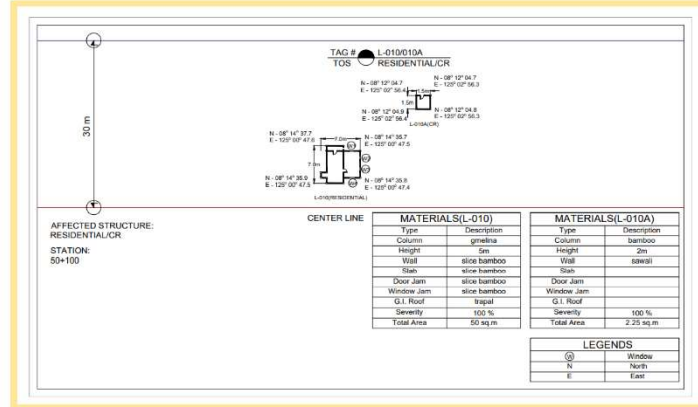


Inside view of the house.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	DURAN, ANIARS VALLES	COST
Structure Code	2021-L-010	132,158.54
Location	IMPALUTAO, IMPASUG-ONG, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	HOUSE & CR	
GPS	8°14'35.9N / 125°0'47.5E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Structure tagging w/ the owner.



Front Side View



Back/Left Side View



Right Side View



Back Side View



Kitchen and Dining Room



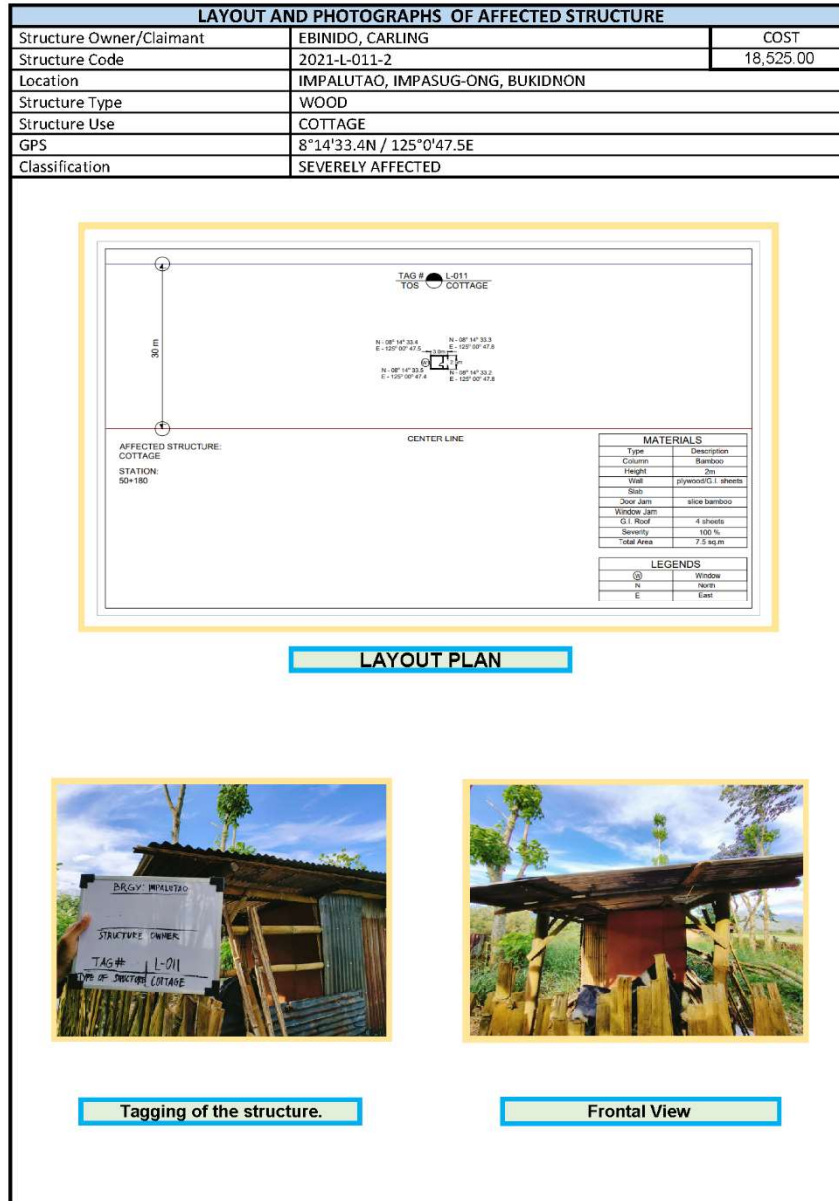
Toilet and bathroom



Side View of the T & B.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left/Front Side View



Right/Back Side View

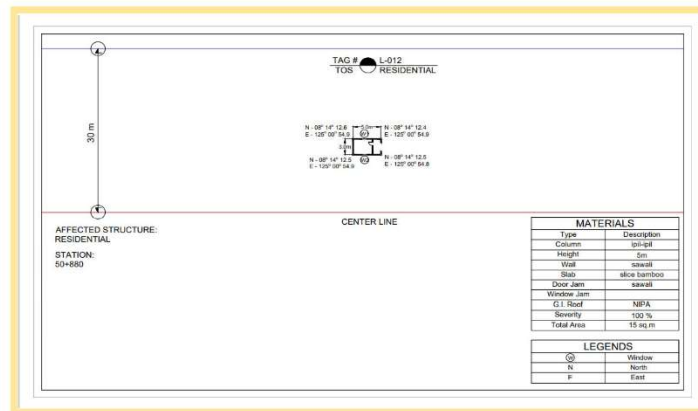


Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements	
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project	
(Cagayan De Oro – Malaybalay Section)	

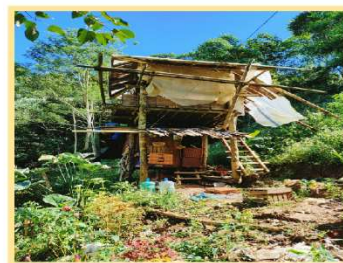
LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	TBD	COST
Structure Code	2021-L-012-2	71,041.05
Location	IMPALUTAO, IMPASUG-ONG, BUKIDNON	
Structure Type	WOOD	
Structure Use	STORAGE	
GPS	8°14'12.6N / 125°0'54.9E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Geo tagging the residential house



Front Side View



Left / Front View



Front / Right Side View

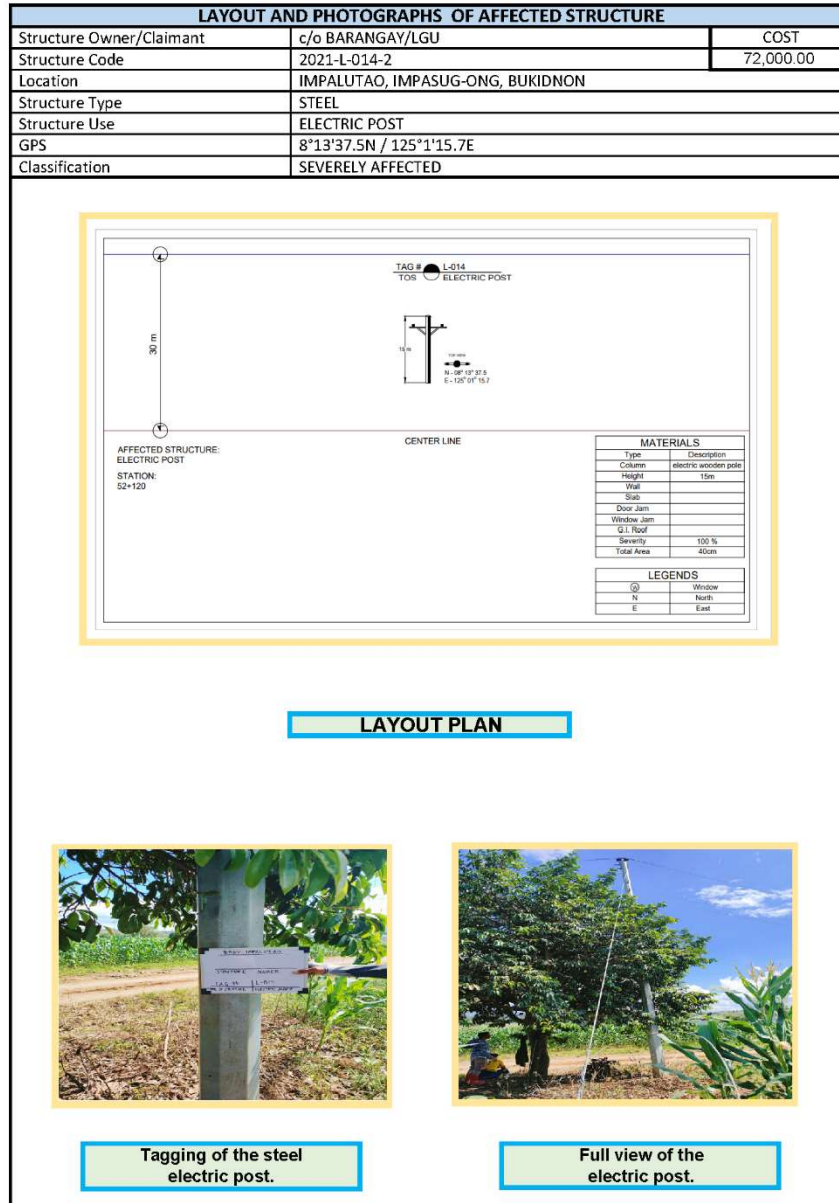


Back Side View



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

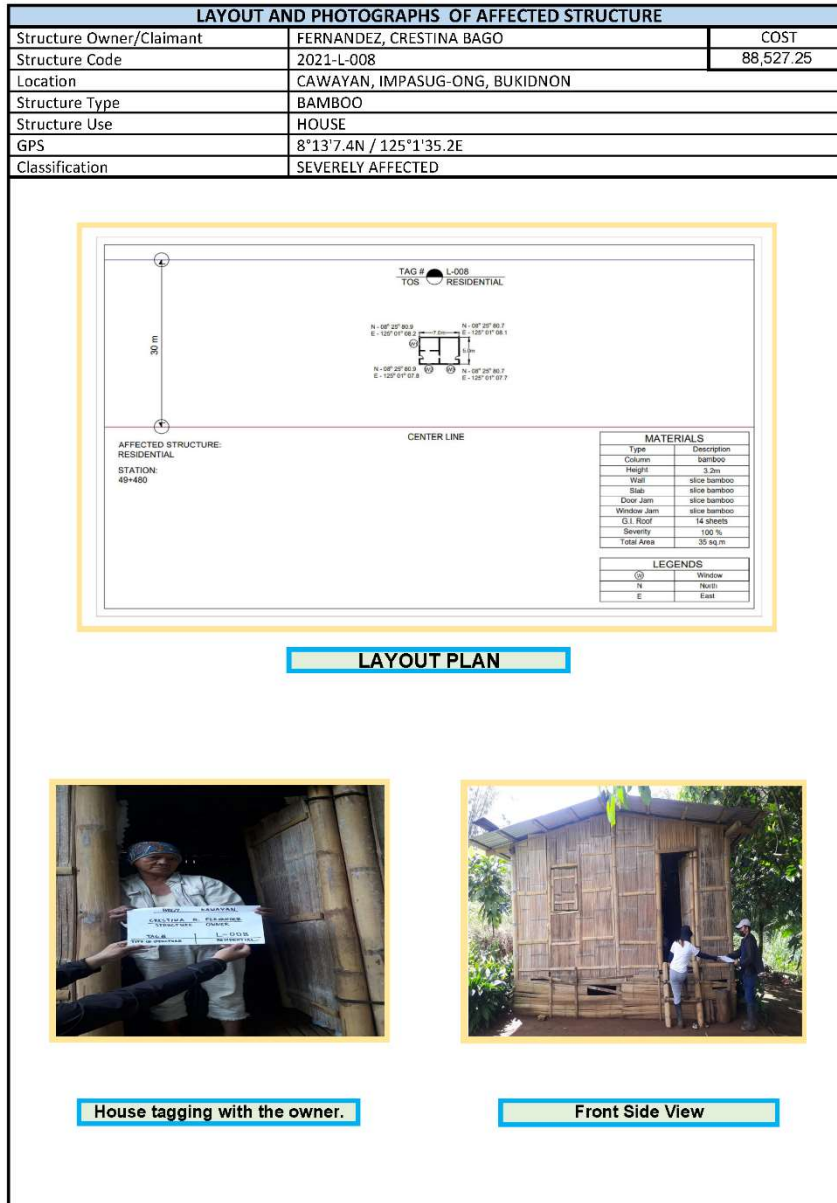
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Front/Right Side View



Back Side View

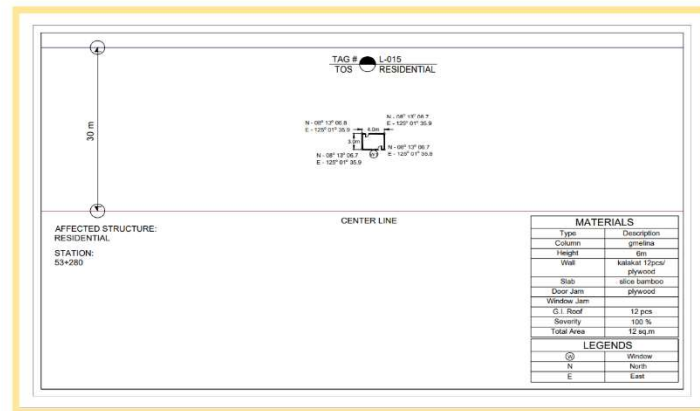


Closer view of the back entrance.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	ESCONDE, FERNANDO ESCOLTOR	COST
Structure Code	2021-L-015-2	37,640.04
Location	CAWAYAN, IMPASUG-ONG, BUKIDNON	
Structure Type	LIGHT MATERIALS	
Structure Use	HOUSE	
GPS	8°13'6.8N / 125°1'35.9E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the structure.



Front Side View



Left Side View



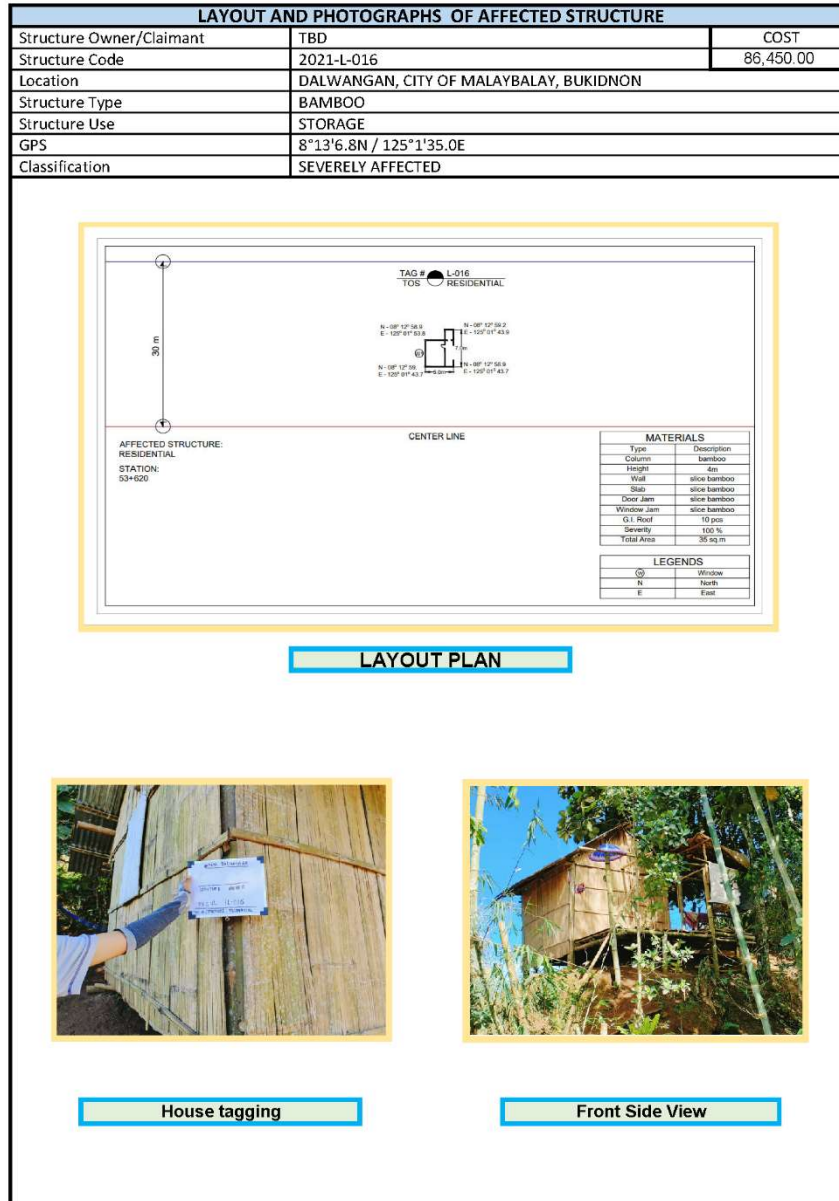
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





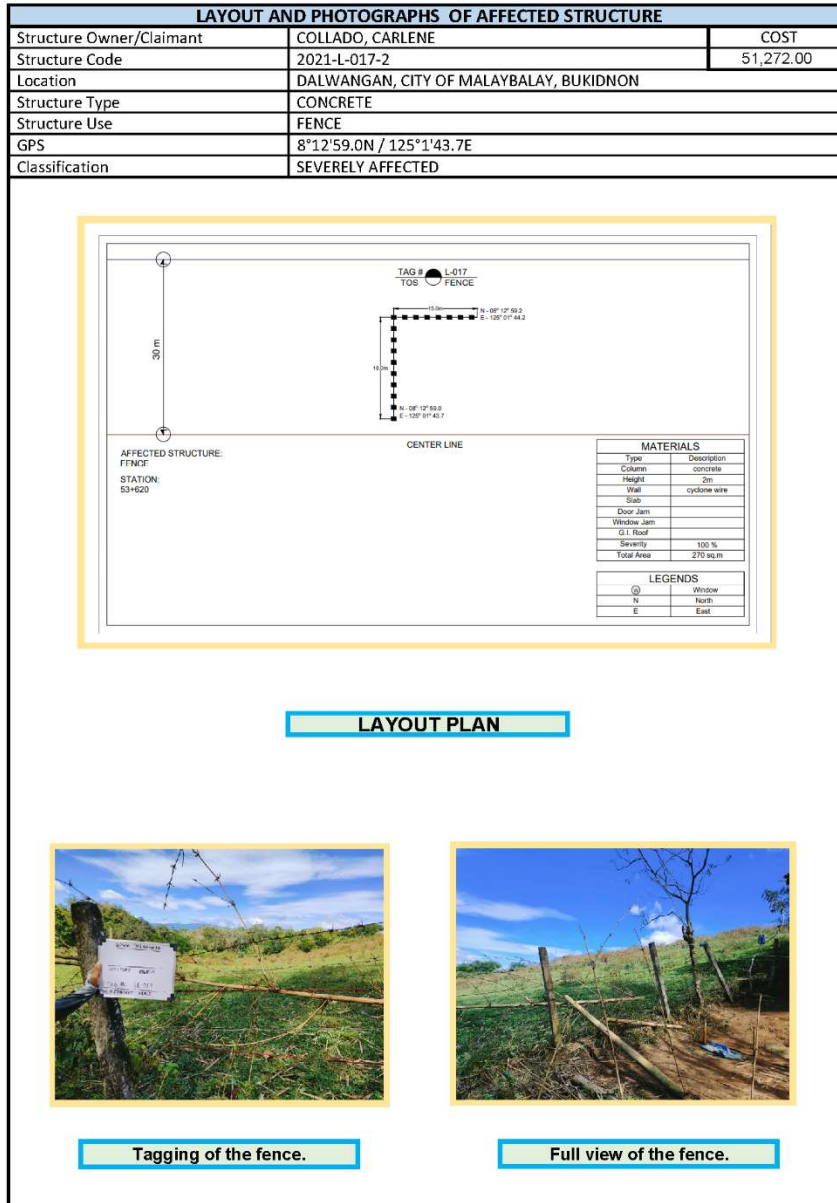
Left Side View



Back/Left Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

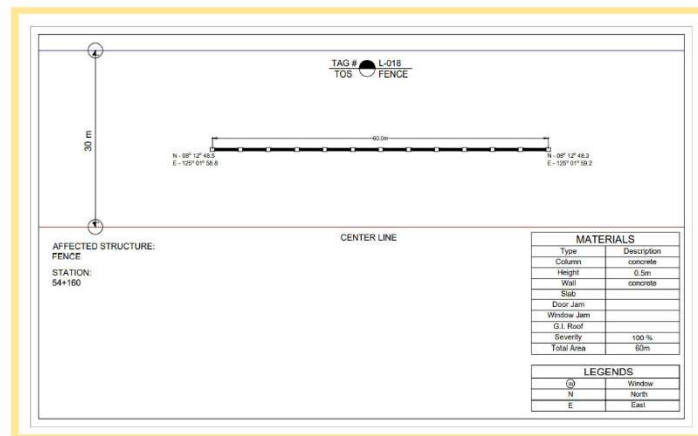




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

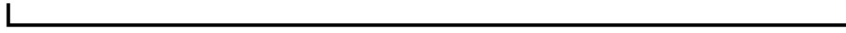
LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	COLLADO, CARLENE	COST
Structure Code	2021-L-018	39,208.00
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	FENCE	
GPS	8°12'48.5N / 125°1'58.8E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN

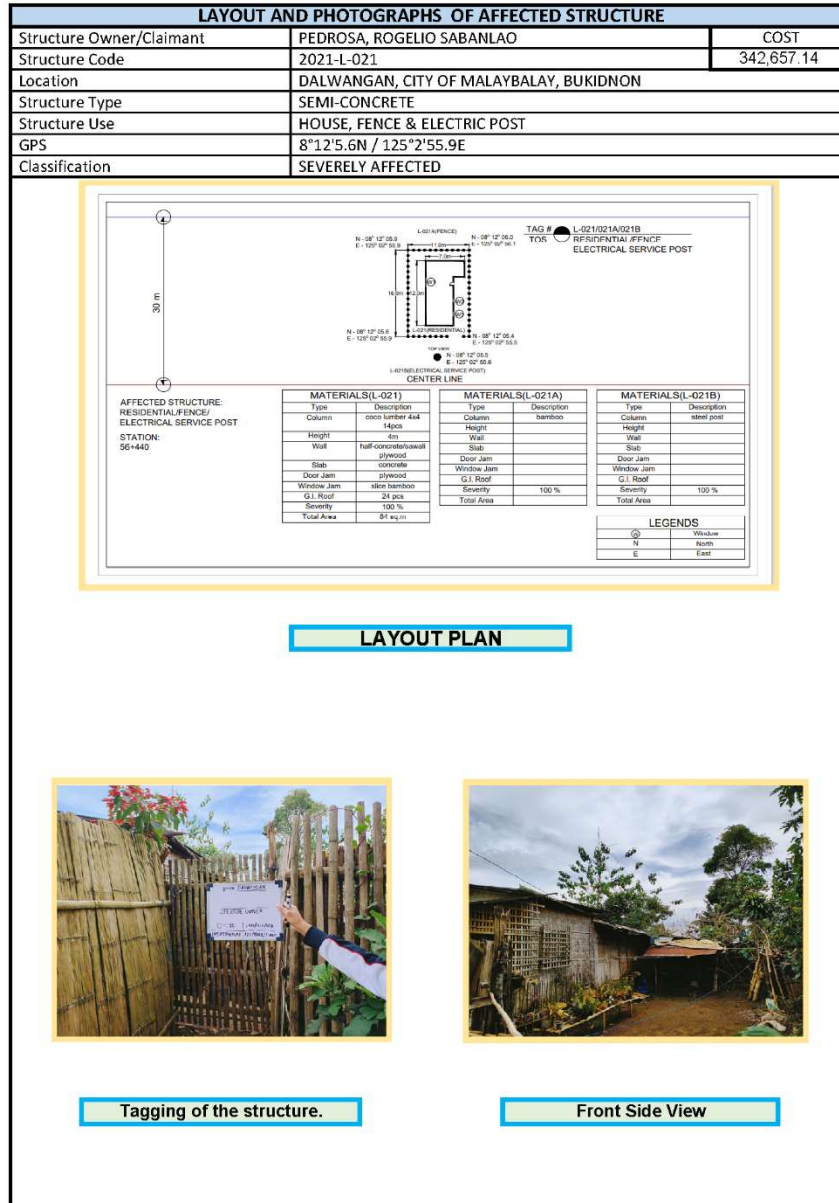


Tagging of the fence.



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View with fence.



Back View with fence.

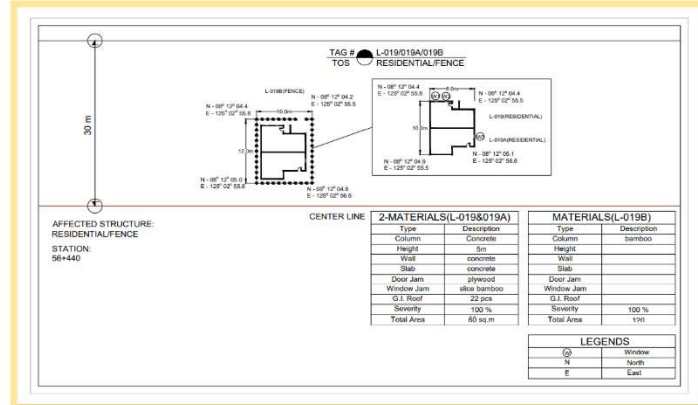


The fence and the electric post.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	BUTALID, LOURDES	COST
Structure Code	2021-L-019	290,537.00
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	SEMI-CONCRETE	
Structure Use	HOUSE	
GPS	8°12'4.9N / 125°2'55.5E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Structure tagging w/ the owner.



L019 Front/Right Side View



L019 Back/Left Side View



Fence at the back of L019.



Fence in front of L019A



Left Side View of L019A



Back/Left Side View of L019A

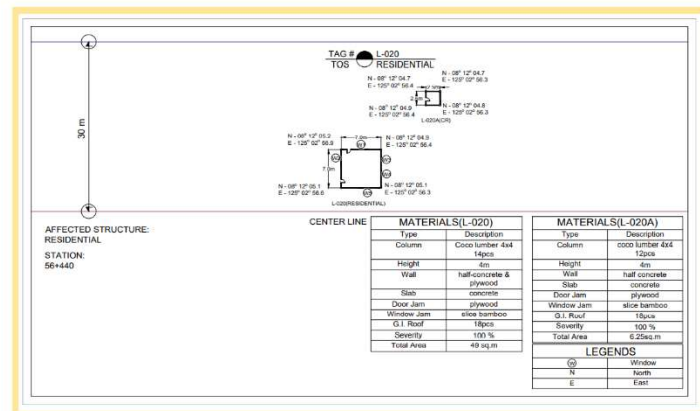


Back Side View of L019A

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	IMHAY, TRESHAKAYE LUMARAS	COST
Structure Code	2021-L-020-3	334,333.00
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	BAMBOO	
Structure Use	COTTAGE	
GPS	8°12'4.7N / 125°2'56.4E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging with the homeowner.



Front Side View



Front/Right Side View



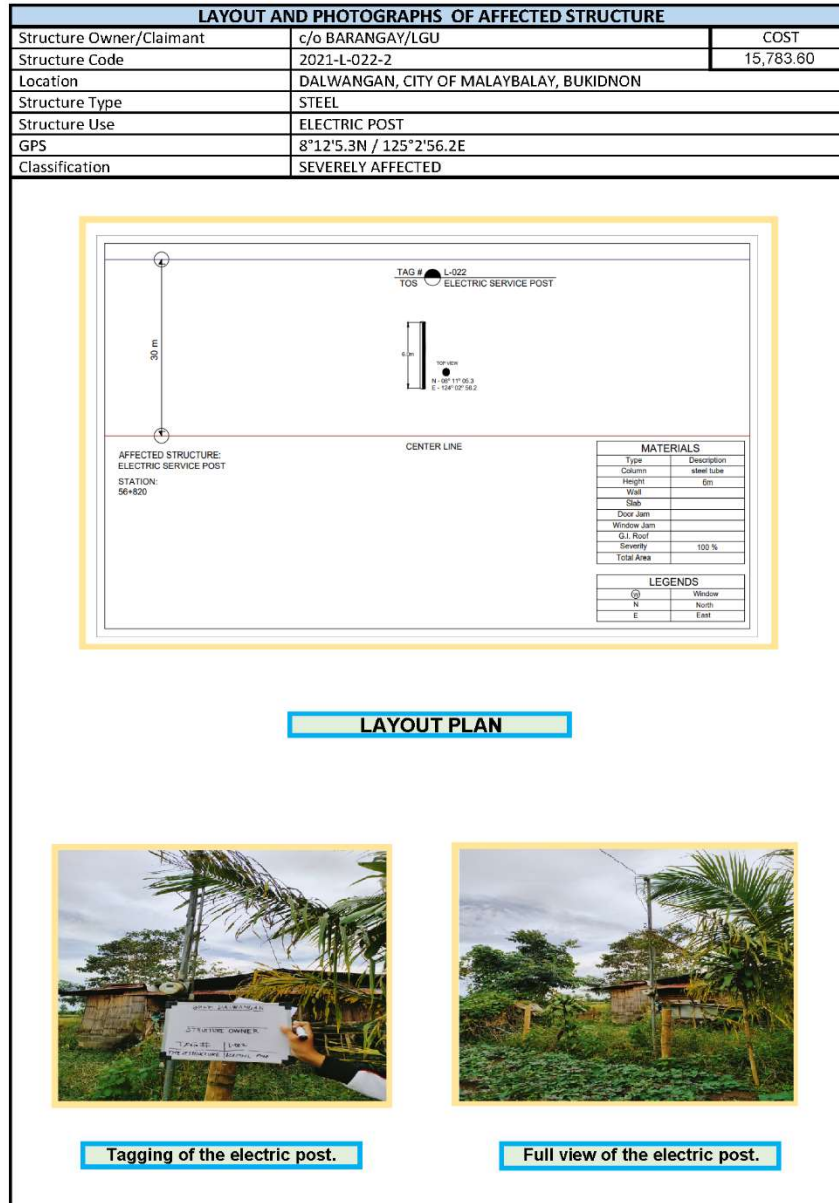
Right/Back Side View



The Cottage

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

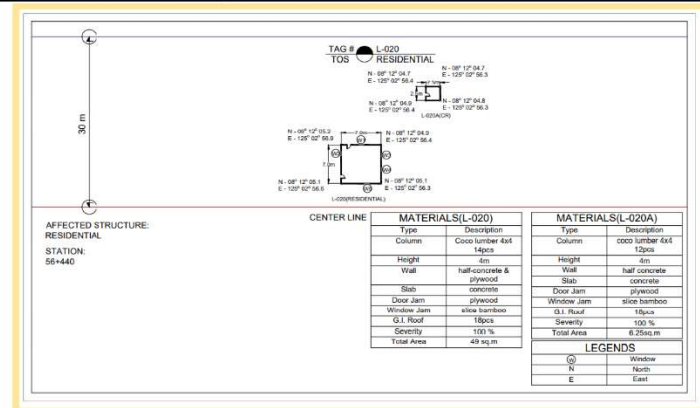




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	IMHAY, TRESHAKAYE LUMARAS	COST
Structure Code	2021-L-020	252,303.69
Location	DALWANGAN, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	SEMI-CONCRETE	
Structure Use	HOUSE	
GPS	8°12'5.2N / 125°2'56.4E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging of the residential house.



Front Side View



Left Side View



Front/Right Side View



Right/Back Side View



Cottage tagging L020A.



Frontal view of the cottage.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

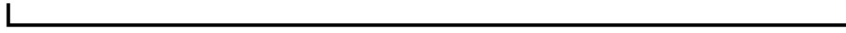
LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2022-L-028	28,833.96
Location	KALASUNGAY, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°10'28.6N / 125°3'67.5E	
Classification	SEVERELY AFFECTED	

MATERIALS	
Type	Description
Column	steel tube
Height	30m
Wall	
Slab	
Door Jam	
Window Jam	
G.I. Roof	
Severely	100%
Total Area	

LEGENDS	
(O)	Window
N	North
E	East

LAYOUT PLAN

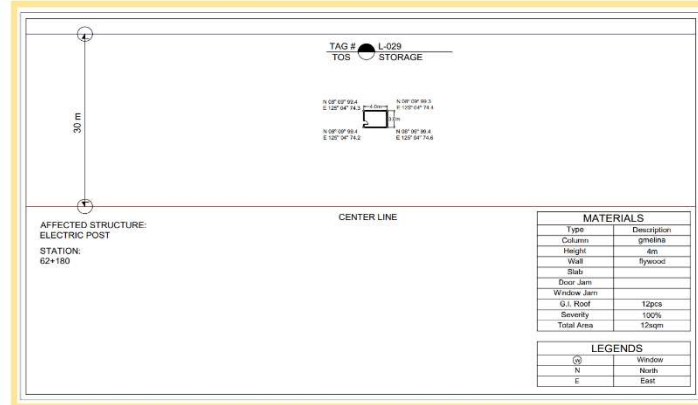
Tagging of the electric post.



Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	AMBUAYAN, BENNY	COST
Structure Code	2022-L-029	22,966.99
Location	KALASUNGAY, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	WOOD	
Structure Use	STORAGE	
GPS	8°9'99.4N / 125°4'74.2E	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Tagging the structure.



Front Side View



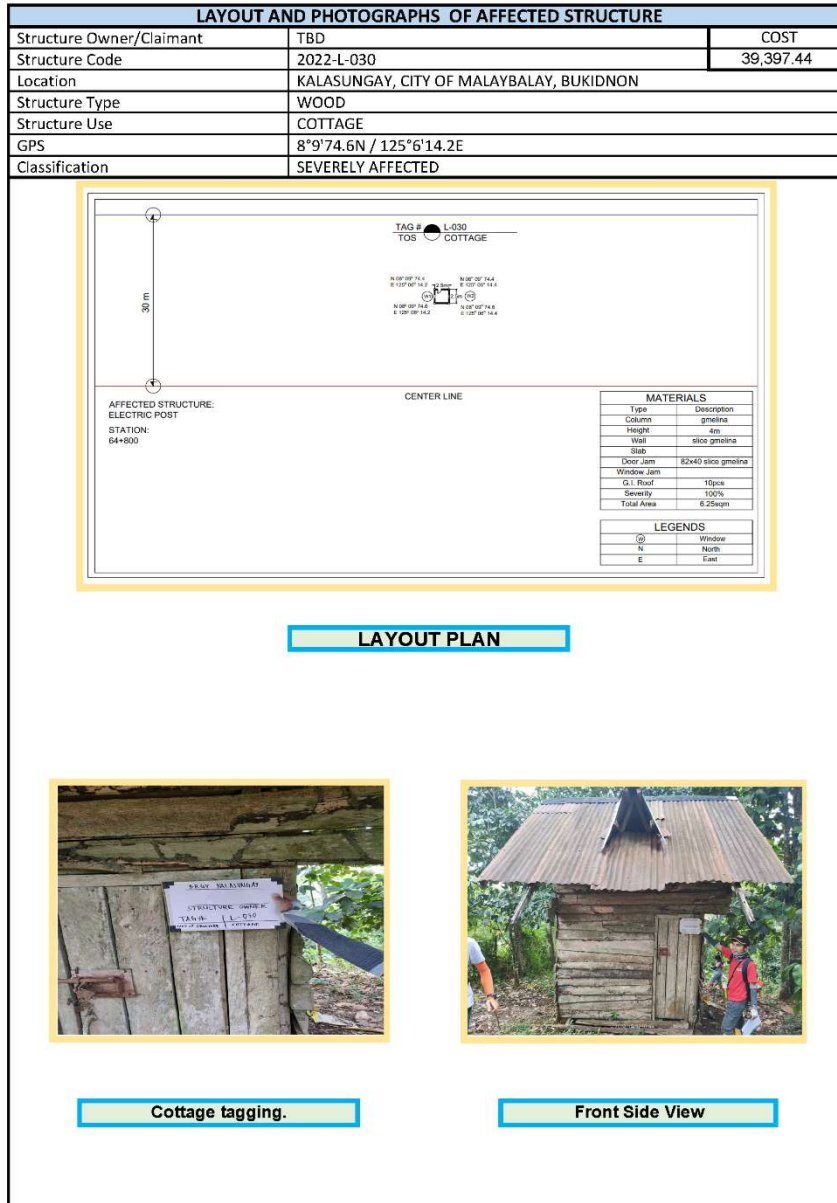
Right Side View



Back/Left side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





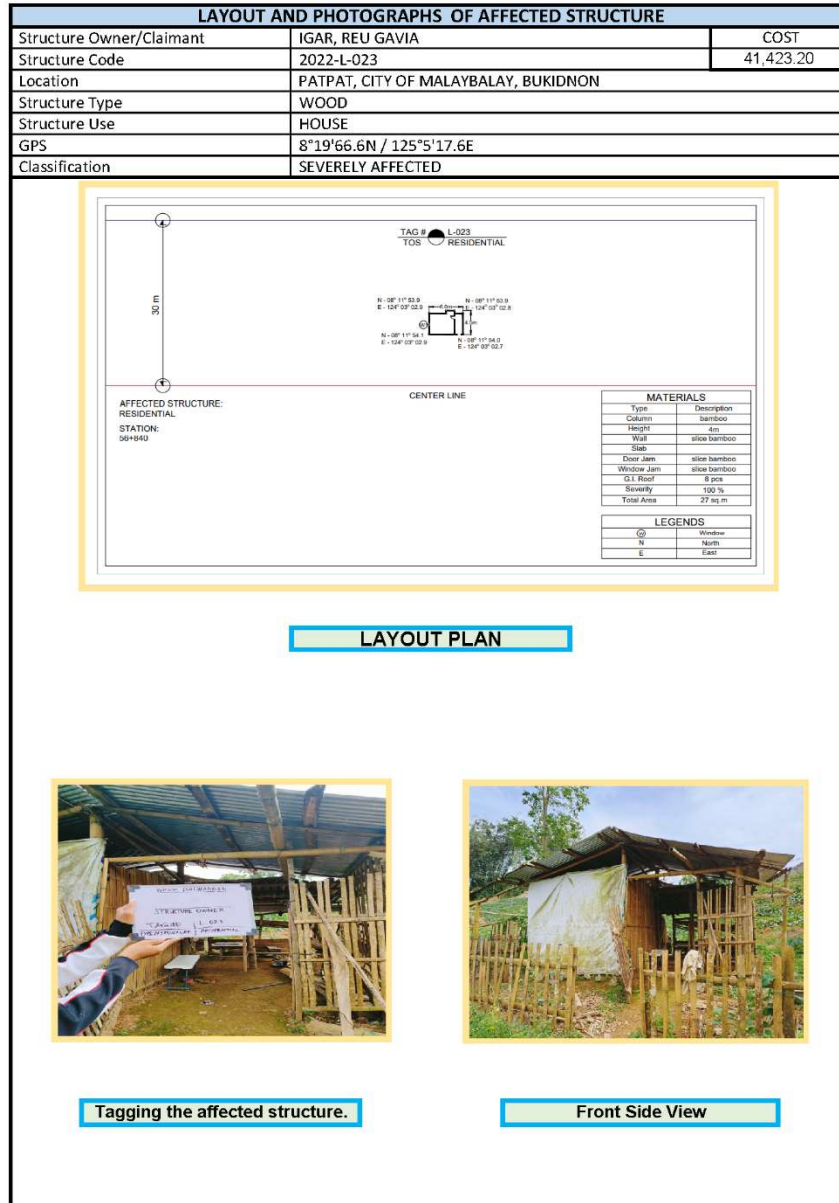
Left/Front Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Left Side View



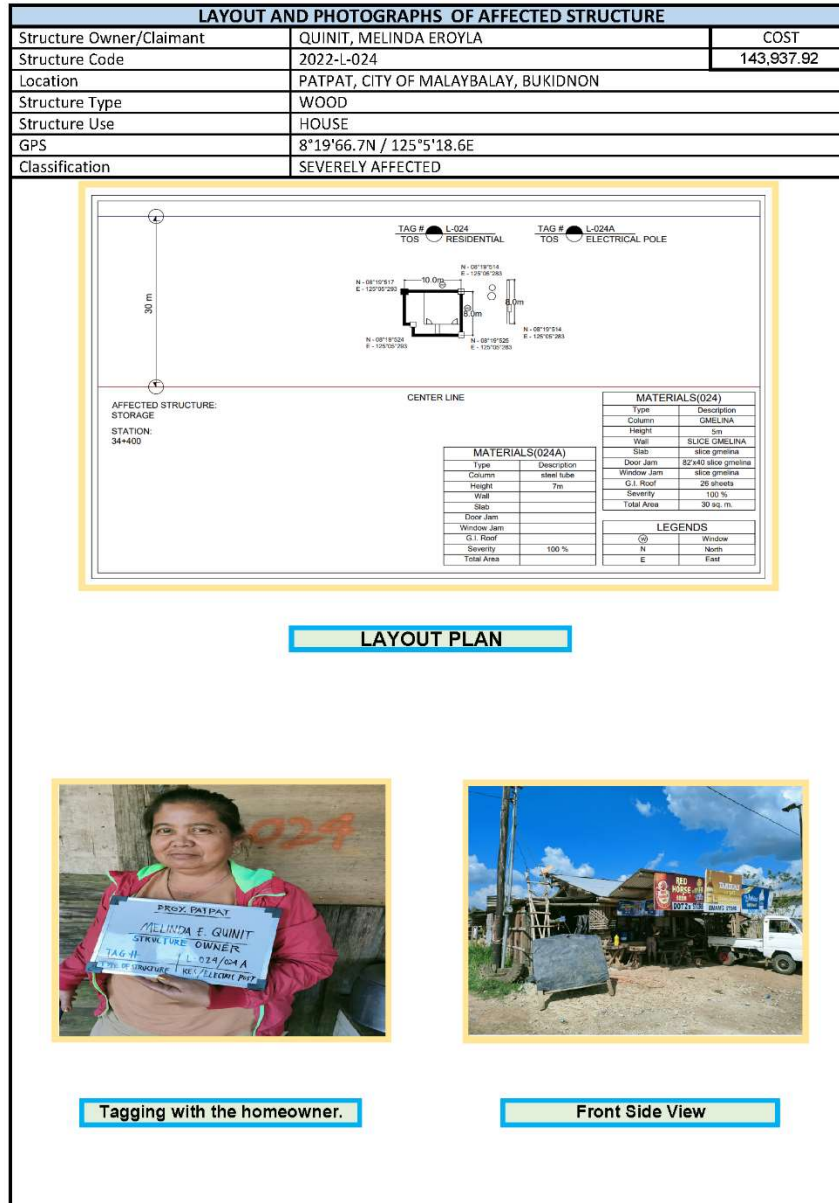
Right Side View



Back Side View

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)



LAYOUT PLAN



Tagging with the homeowner.



Front Side View



Left Side View



Back/Left Side View



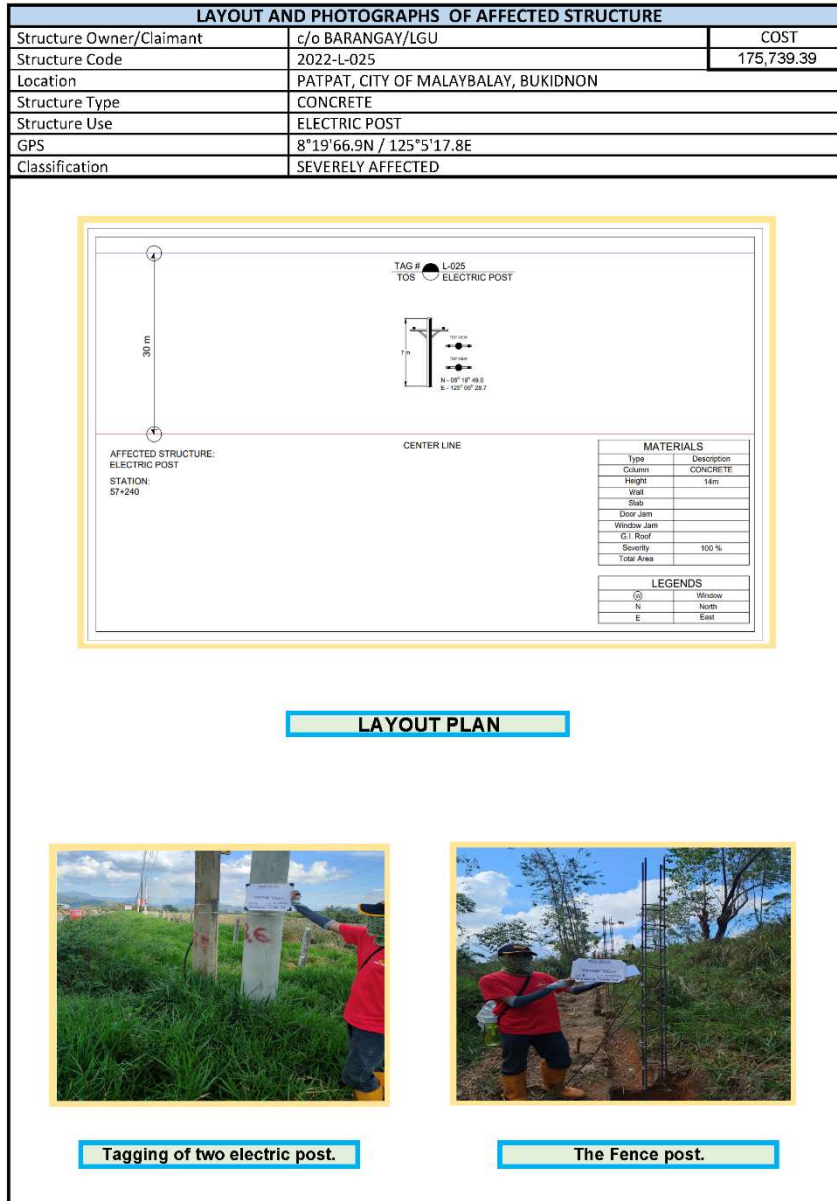
Electric post near the house.



Full view of the electric post.

Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

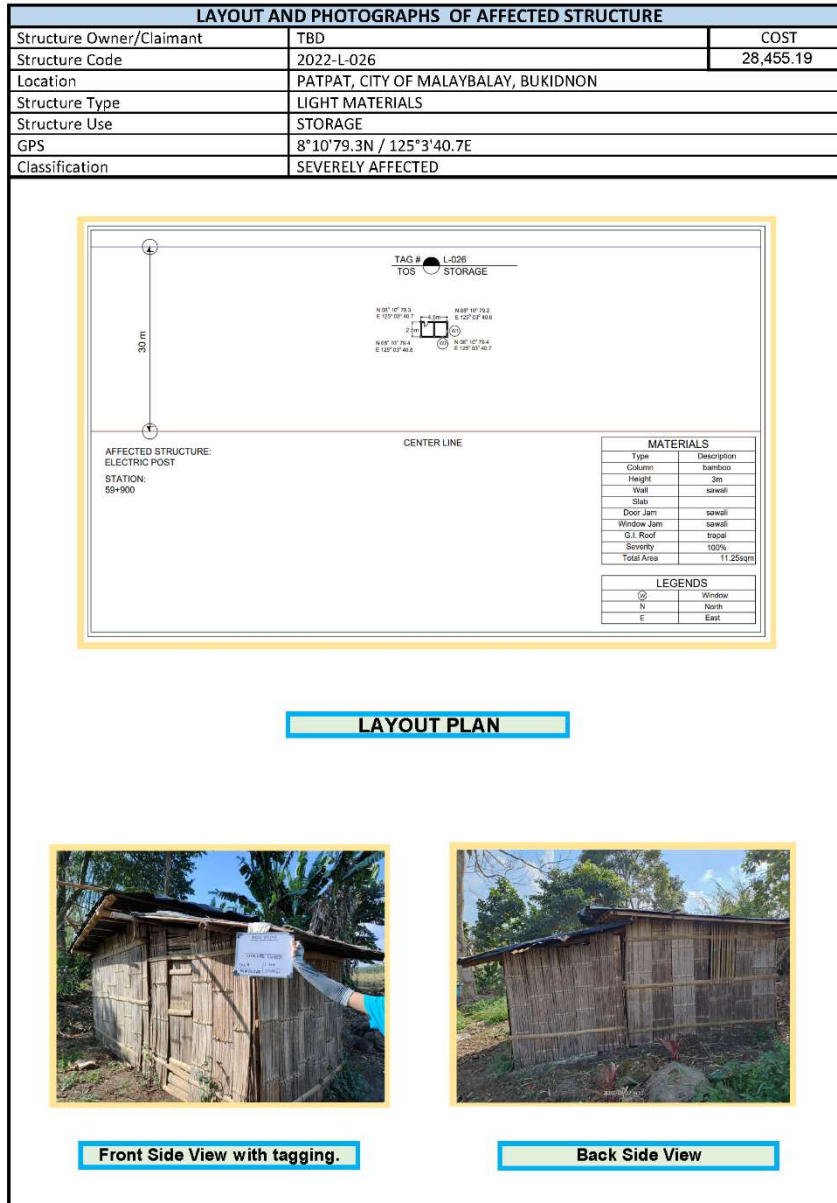
RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)





Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

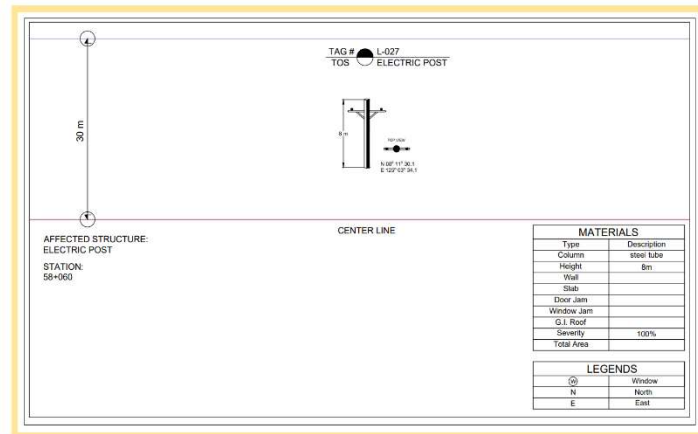




Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

RAP Preliminary Cost Estimates for Structures/Improvements
The JICA Preparatory Survey on Central Mindanao High Standard Highway Construction Project
(Cagayan De Oro – Malaybalay Section)

LAYOUT AND PHOTOGRAPHS OF AFFECTED STRUCTURE		
Structure Owner/Claimant	c/o BARANGAY/LGU	COST
Structure Code	2022-L-027	47,352.32
Location	PATPAT, CITY OF MALAYBALAY, BUKIDNON	
Structure Type	CONCRETE	
Structure Use	ELECTRIC POST	
GPS	8°11.846 / 125°3.067	
Classification	SEVERELY AFFECTED	



LAYOUT PLAN



Electric post tagging.

